



APOPKA PLANNING COMMISSION AGENDA

MAY 19, 2020 5:30 PM

APOPKA CITY HALL COUNCIL CHAMBERS

APOPKA PLANNING COMMISSION MEETING WILL BE LIVE-STREAMED ON YOUTUBE. TO WATCH, PLEASE VISIT:

<https://www.youtube.com/channel/UCJKvoQzZuYfgsqrtpjYLCw>

CALL TO ORDER

OPENING AND INVOCATION

APPROVAL OF MINUTES

1. Approve minutes of the Planning Commission meeting held April 14, 2020.

PUBLIC COMMENT PERIOD

TO ACCESS A PUBLIC COMMENT FORM, PLEASE VISIT: <http://www.apopka.net/planningcommissionform>

The Public Comment Period is for City-related issues that may or may not be on today's Agenda. If you are here for a matter that requires a public hearing, please wait for that item to come up on the agenda. If you wish to address the Council, you must fill out an Intent to Speak form and provide it to the City Clerk prior to the start of the meeting. If you wish to speak during the Public Comment Period, please fill out a green-colored Intent-to-Speak form. If you wish to speak on a matter that requires a public hearing, please fill out a white-colored Intent-to-Speak form. Speaker forms may be completed up to 48 hours in advance of the Council meeting. Each speaker will have four minutes to give remarks, regardless of the number of items addressed. Please refer to Resolution No. 2016-16 for further information regarding our Public Participation Policy & Procedures for addressing the City Council.

LEGISLATIVE

Public Hearing

1. Comprehensive Plan – Future Land Use Element - Text Amendment – Policy 3.1.i - Commercial
Applicant: City of Apopka
Project: To expand opportunities where assisted living facilities can locate.
Project Manager: David Moon, AICP, Planning Manager
2. Change of Zoning/KPI Neighborhood Overlay District; Master Plan/Major Development Plan – Park View Place
From: T (Transitional)
To: "City" MU-KPI (Mixed Use Kelly Park Interchange)
Owner: Cantero Holdings, LLC
Applicant: Jimmy D. Crawford
Location: 3845 and 4011 Golden Gem Road
Project: 91.94 +/- acres; 282 single family homes – 121 rear-loaded garages, 161 front-loaded garages
Project Manager: Bobby Howell, AICP, Senior Planner
3. PUD Master Plan Amendment – Mid-Florida Logistics Park
Owner: Mid-Florida Freezer Warehouses, LTD; Mid-Florida Logistics Park Property Owners' Association
Applicants: Bluescope Properties; Kimley Horn and Associates, c/o Jason A. Lewis, P.E.
Location: West side of SR 429, south of General Electric Road, east of Hermit Smith Road
Project: 189.00 +/- acres; 1,781,060 square feet industrial buildings; developed in multiple phases
Project Manager: David Moon, AICP, Planning Manager

Site Plan

1. Preliminary Development Plan – DFL5 Apopka Last Mile
Owner: Mid-Florida Freezer Warehouses, LTD.
Applicant: Kimley Horn and Associates, c/o Jason A. Lewis, P.E.
Location: 2050 and 3150 Shelby Industrial Drive (Mid Florida Logistics Park)
Project: 41.55 +/- acres; 201,475 sq. ft. distribution facility for e-commerce retailer
Project Manager: Bobby Howell, AICP, Senior Planner

QUASI-JUDICIAL

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Planning Commission with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Planning Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Planning Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Planning Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the Planning Commission meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

Item Attachment Documents:

1. Approve minutes of the Planning Commission meeting held April 14, 2020.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON APRIL 14, 2020, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Linda Laurendeau, William Gusler, and Mary Norwood

ABSENT: Robert Ryan, Butch Stanley, Howard Washington, and Orange County Public Schools (Non-voting)

STAFF PRESENT: Joseph Byrd, Esq. – City Attorney, James Hitt, FRA-RA – Community Development Director, Robert Hippler – IT Director, Robert Shelton – Network Engineer, David Moon, AICP – Planning Manager, and Jeanne Green – Recording Secretary

OTHERS PRESENT: Allen Brinckenhoff, Dan O’Keefe, Heather Isaacs, Brian Martin, Dave Crosen, and Theresa Sargeant

OPENING AND INVOCATION: Chairperson Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of March 10, 2020, at 5:30 p.m.

Motion: William Gusler made a motion to approve the Planning Commission minutes from the regular meeting held on March 10, 2020, at 5:30 p.m. and seconded by Mary Norwood. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, and Mary Norwood (4-0)

PUBLIC COMMENT: Chairperson Greene opened the meeting to Public Comment. No one spoke.

LEGISLATIVE - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – 1056 PLYMOUTH, LLC - Chairperson Greene stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and to recommend approval of the Small Scale Future Land Use Amendment from “County” Rural to “City” Commercial, subject to the findings of the Staff Report, for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and to recommend approval of the Small Scale Future Land Use Amendment from “County” Rural to “City” Commercial, subject to the findings of the Staff Report, for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road. The current zoning is “T” (Transitional District). The existing use is vacant land. The existing maximum allowable development is one dwelling unit and the proposed maximum allowable development is 64,468 sq. ft. non-residential. The tract size is 5.92 +/- acres.

The subject property was annexed into the city on December 19, 2018 by Ordinance Number 2695. The proposed “Commercial” Future Land Use is compatible with the property due to the “Commercial” Future Land Use, and commercial-oriented uses, being found in the vicinity. This application is being processed simultaneously with an application to rezone the subject property from T (Transitional District) to C-N (Neighborhood Commercial District).

The proposed Future Land Use, “Commercial”, is consistent with the proposed zoning designation, “C-N

Neighborhood Commercial District”. Site development cannot exceed the density allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support an “Industrial” designation at the subject site:

Future Land Use Element

Policy 3.1.i Commercial

Primary uses shall be for business, commerce, and convenience shopping which may be neighborhood or community oriented. The maximum floor area ratio shall be .25 gross floor area. Institutional land uses of less than five acres; and public facilities or utilities of less than five acres.

The expansion of strip commercial areas shall be prohibited except in infill areas.

Special exception uses shall include:

- 1) Institutional land uses of five acres or more
- 2) Elementary schools, middle schools and high schools
- 3) Supporting infrastructure and public facilities of five acres or more

Planned Unit Development uses may include:

- 1) All primary land uses
- 2) All special exception uses
- 3) Multifamily development of up to fifteen dwelling units per acre, when located within a primary use structure
- 4) Other uses deemed compatible with and complimentary to the other proposed master planned uses and the surrounding neighborhoods.

The proposed future land use amendment will not impact public school enrollment. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on March 13, 2020.

The Development Review Committee found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of “Commercial” for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road.

Staff recommended the Planning Commission find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from “County” Rural to “City” Commercial, subject to the findings of the Staff Report.

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and to recommend approval of the Small Scale Future Land Use Amendment from “County” Rural to “City” Commercial, subject to the findings of the Staff Report, for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road. Motion Seconded by William Gusler. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, and Mary Norwood. (4-0)

LEGISLATIVE – CHANGE OF ZONING – 1058 PLYMOUTH, LLC – Chairperson Greene stated this is a request to find the proposed change of zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and recommend approval of the proposed Change of Zoning from “T” (Transitional District) to “C-N” (Neighborhood Commercial District) for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to find the proposed change of zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and recommend approval of the proposed Change of Zoning from “T” (Transitional District) to “C-N” (Neighborhood Commercial District) for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road. The current future land use designation is “County” Rural and an amendment is being processed in conjunction with the change of zoning to “City” Commercial. The existing use is vacant land. The existing maximum allowable development is one dwelling unit and the proposed maximum allowable development is 64,468 sq. ft. non-residential. The tract size is 5.92 +/- acres.

The subject property was annexed into the city on December 19, 2018 by Ordinance Number 2695. The subject area consists of approximately 5.92 acres and is vacant. The proposed C-N zoning is compatible with the property due to the C-C and C-R zoning, being found in the vicinity. This application is being processed simultaneously with an application for a small-scale future land use amendment from “County” Rural to “City” Commercial.

The proposed C-N (Neighborhood Commercial District) zoning is consistent with the proposed Commercial (Max. 0.25 FAR) Future Land Use Designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

The proposed zoning change will not create additional residential units and thus will not have an impact on school enrollment. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on March 13, 2020.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “T, Transitional District” to “C-N, Neighborhood Commercial District” for the property owned by 1058 Plymouth, LLC, and located at 1058 Plymouth Sorrento Road.

Staff recommended the Planning Commission find the proposed change of zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “T” (Transitional District) to “C-N” (Neighborhood Commercial District) for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road.

This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Mary Norwood made a motion to find the proposed Change of Zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and recommend approval of the proposed Change of Zoning from “T” (Transitional District) to “C-N” (Neighborhood Commercial District), subject to the findings of the staff report, for the property owned by 1058 Plymouth, LLC and located at 1058 Plymouth Sorrento Road. Motion seconded by William Gusler. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, and Mary Norwood. (4-0)

LEGISLATIVE - COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – RUBRIGHT AREA PROPERTIES - Chairperson Greene stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and recommend transmittal to the Florida Department of Economic Opportunity the change in Future Land Use from “County” Rural and “County” Industrial to “City” Industrial for the properties owned by American Sanford Four, LLC, Steven R. Rubright, JP Holdings, Inc., Rubright Properties, LLC, Rubright Family, LP, JP Holdings, Inc. & James Scott Pridgen, Douglas & Lisa Surret & James P. Purdy and generally located west of North Orange Blossom Trail and north of Hogshead Road.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and recommend transmittal to the Florida Department of Economic Opportunity the change in Future Land Use from “County” Rural and “County” Industrial to “City” Industrial for the properties owned by American Sanford Four, LLC, Steven R. Rubright, JP Holdings, Inc., Rubright Properties, LLC, Rubright Family, LP, JP Holdings, Inc. & James Scott Pridgen, Douglas & Lisa Surret & James P. Purdy and generally located west of North Orange Blossom Trail and north of Hogshead Road. The applicant is Poulos & Bennett, LLC, c/o Kathy Hattaway. The existing uses are single family homes; agriculture; container nursery, timber land, vacant land, and warehousing. The existing maximum allowable development is 34 dwelling units under the Orange County Rural (1 du/10 ac) future land use designation. The proposed maximum allowable development is a Max. 9,131,134 sq. ft. non-residential. The tract size is 349.37 +/- acres.

The subject properties were annexed into the City on May 15, 2019 via Ordinance Number 2723. The proposed Large-Scale Future Land Use Amendment is being requested for 11 properties, listed on the “Parcel Table”. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on

the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

The applicant, has a desire to develop the Rubright Area properties as a primarily industrial (light and heavy) with commercial and office uses through a Planned Development zoning and master plan. Prior to adoption of the Future Land Use Map amendment, the applicant will prepare a master plan and apply for a complementary zoning category. Additional information supporting the proposed Future Land Use Designation is provided by the applicant and provided in the exhibits.

A proposed FLUM Designation of Industrial (Policy 3.1.1, Future Land Use Element) is compatible with the Future Land Use Designation assigned to properties to the south of Airport Road and straddling Hogshead Road, as well as with the Industrial Future Land Use to the north. Through the Planned Development zoning, intensity and pattern of development will be managed to assure compatibility with airport land uses to the east and with environmentally sensitive lands within the SJRMWD lands to the west. An CSXT\Florida Central Rail Road track occurs within close proximity to the subject property, allowing potential for a spur to serve future industrial uses. Industrial Future Land Use is compatible with the airport use (Orlando-Apopka Airport) to the east. Through Planned Development zoning, the type and intensity of uses can be managed to further compatibility with the airport uses to the east and with environmentally sensitive lands to the west.

Policy 3.1.1. Industrial (Future Land Use)

The Primary use shall be industrial, intensive commercial, agriculture and business/research parks. Also allowed are public facilities and supporting infrastructure. The use of the Planned Unit Development process shall be encouraged. The maximum floor area ratio shall be 0.60.

Planned Unit Development uses may include:

- (1) All primary uses
- (2) Other uses deemed compatible with and complimentary to the other proposed master planned uses and the surrounding neighborhoods.

As the proposed Industrial Future Land Use Designation will not create an additional impact on school enrollment, a school capacity enhancement agreement is not required.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on October 10, 2019.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends transmittal of the change in Future Land Use from “County” Rural and “County” Industrial to “City” Industrial for the properties owned by American Sanford Four, LLC, Steven R. Rubright, JP Holdings, Inc., Rubright Properties, LLC, Rubright Family, LP, JP Holdings, Inc. & James Scott Pridgen, Douglas & Lisa Surret & James P. Purdy.

Staff recommended the Planning Commission find the proposed future land use amendment from “County” Rural and “County” Industrial to “City” Industrial consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and to recommend transmittal to the Florida Department of Economic Opportunity for the properties owned by American Sanford Four, LLC, Steven R. Rubright, JP Holdings, Inc., Rubright Properties, LLC, Rubright Family, LP, JP Holdings, Inc. & James Scott Pridgen, Douglas & Lisa Surret & James P. Purdy and generally located west of North Orange Blossom Trail and

north of Hogshead Road.

This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Daniel O’Keefe, Shutts & Bowen LLP, 300 S Orange Ave suite 1600, Orlando, stated that he represents the property owners of the Rubright Area Properties. He said they have had several meetings with the surrounding property owners. Once the future land use amendment is approved, they have applied for PD (Planned Development) zoning. The zoning request and the associated master plan will be brought before the Planning Commission for recommendation to the City Council.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: William Gusler made a motion to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and recommend transmittal to the Florida Department of Economic Opportunity the change in Future Land Use from “County” Rural and “County” Industrial to “City” Industrial for the properties owned by American Sanford Four, LLC, Steven R. Rubright, JP Holdings, Inc., Rubright Properties, LLC, Rubright Family, LP, JP Holdings, Inc. & James Scott Pridgen, Douglas & Lisa Surrent & James P. Purdy and generally located west of North Orange Blossom Trail and north of Hogshead Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, William Gusler, and Mary Norwood. (4-0)

OLD BUSINESS: None

NEW BUSINESS: None

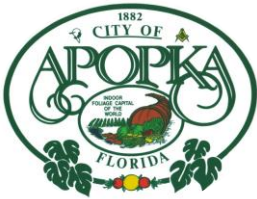
ADJOURNMENT: The meeting was adjourned at 5:50 p.m.

James Greene, Chairperson

James K. Hitt, FRA-RA
Community Development Director

Item Attachment Documents:

1. Comprehensive Plan – Future Land Use Element - Text Amendment – Policy 3.1.i - Commercial
Applicant: City of Apopka
Project: To expand opportunities where assisted living facilities can locate.
Project Manager: David Moon, AICP, Planning Manager



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ SITE PLAN
☐ SPECIAL REPORTS
☐ OTHER:

MEETING OF: May 19, 2020
FROM: Community Development
EXHIBIT: "A" Text Amendment

SUBJECT: COMPREHENSIVE PLAN – TEXT AMENDMENT – POLICY 3.1.i; FUTURE LAND USE AMENDMENT –TRANSMITTAL HEARING - ADMINISTRATIVE

REQUEST: RECOMMEND APPROVAL OF AN AMENDMENT TO THE APOPKA COMPREHENSIVE PLAN, FUTURE LAND USE ELEMENT, POLICY 3.1.I TO EXPAND OPPORTUNITIES WHERE ASSISTED LIVING FACILITIES CAN LOCATE WITHIN THE CITY OF APOPKA; AND TRANSMITTAL TO THE FLORIDA DEPARTMENT OF ECONOMIC OPPORTUNITY.

SUMMARY:

A text amendment to the Comprehensive Plan, per Florida Statute 163, is processed similar to a large-scale future land use amendment. After recommendation from the Planning Commission, the City Council transmits the amendment to the Florida Department of Economic Opportunity and other State agencies for a determination of consistency with State planning policies.

Based on a growing national need for assisted living facilities, nursing homes and independent care facilities to accommodate an aging population, an amendment to the Commercial Future Land Use Designation, Policy 3.1.i of the Future Land Use Element, will expand opportunities where such care facilities can locate within the City of Apopka.

The proposed amendment will allow assisted living facilities, nursing homes and independent care facilities within the Commercial FLUM District subject to Planning Commission approval of a special exception permit.

FUNDING SOURCE:

Not applicable

RECOMMENDATION ACTION:

Recommend approval of the amendment to Policy 3.1.i of the Future Land Use Element, Apopka Comprehensive Plan, and recommend transmittal to the Florida Department of Economic Opportunity.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

EXHIBIT “A”

Future Commercial Land Use Element: Proposed Text Amendment Apopka Comprehensive Plan 2030

Underscore – new language

Strike-through – ~~deleted language~~

Policy 3.1.i Commercial

Primary uses shall be for business, commerce, and convenience shopping which may be neighborhood or community oriented. The maximum floor area ratio (F A R) shall be .25 gross floor area. Institutional land uses of less than five acres; and public facilities or utilities of less than five acres.

The expansion of strip commercial areas shall be prohibited except in infill areas.

Special exception uses shall include:

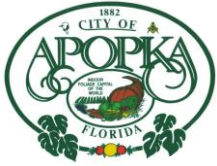
- 1) Institutional land uses of five acres or more
- 2) Elementary schools, middle schools and high schools
- 3) Supporting infrastructure and public facilities of five acres or more
- 4) Nursing homes, assisted living facilities and independent living facilities may be allowed as a Special Exception in the Commercial land use category to be consistent with a maximum intensity of up to 2.0 FAR-Floor Area Ratio, based on compatibility with the surrounding area, and shall be the primary use and a stand-alone development.

Planned Unit Development uses may include:

- 1) All primary land uses
- 2) All special exception uses
- 3) Multifamily development of up to fifteen dwelling units per acre, when located within a primary use structure
- 4) Other uses deemed compatible with and complementary to the other proposed master planned uses and the surrounding neighborhoods.

Item Attachment Documents:

2. Change of Zoning/KPI Neighborhood Overlay District; Master Plan/Major Development Plan – Park View Place
From: T (Transitional)
To: “City” MU-KPI (Mixed Use Kelly Park Interchange)
Owner: Cantero Holdings, LLC
Applicant: Jimmy D. Crawford
Location: 3845 and 4011 Golden Gem Road
Project: 91.94 +/- acres; 282 single family homes – 121 rear-loaded garages, 161 front-loaded garages
Project Manager: Bobby Howell, AICP, Senior Planner



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ SITE PLAN
☐ SPECIAL REPORTS
☒ OTHER: Master Plan/PDP

MEETING OF: May 19, 2020
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Kelly Park Form Based Code Area Map
Ex. A – Master Plan/PDP

SUBJECT: CHANGE OF ZONING, ASSIGNMENT OF KPI NEIGHBORHOOD OVERLAY DISTRICT, AND MASTER PLAN/MAJOR DEVELOPMENT PLAN – PARK VIEW PRESERVE RESIDENTIAL SUBDIVISION

REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING, OVERLAY DISTRICT, AND MASTER PLAN/PDP
FROM: T (TRANSITIONAL)
TO: “CITY” MU-KPI (MIXED USE KELLY PARK INTERCHANGE) AND KPI NEIGHBORHOOD OVERLAY

SUMMARY:

OWNER: Cantero Holdings, LLC
APPLICANT: Jimmy D. Crawford
LOCATION: 3845 and 4011 Golden Gem Road
PARCEL ID NUMBERS: 13-20-27-0000-00-054, 24-20-27-0000-00-097
EXISTING USE: Vacant
FLUM DESIGNATION: Mixed Use Interchange
CURRENT ZONING: Transitional (T)
PROPOSED DEVELOPMENT: 282 single family homes – 121 rear loaded, 161 front loaded
PROPOSED ZONING: Kelly Park Interchange Mixed-Use (KPI-MU)
TRACT SIZE: 91.94 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL INFORMATION: The owner of the subject property is requesting a rezoning of 91.94 acres of property from Transitional (T) to Mixed-Use Kelly Park Interchange (MU-KPI), with a Neighborhood character zone to develop a 282-unit single-family residential subdivision subject to the requirements of the Kelly Park Interchange Form Based Code. The subject property is comprised of two parcels and is located at 3845 and 4011 Golden Gem Road. The owner of the properties is Cantero Holdings, LLC.

In accordance with the requirements of the Kelly Park Interchange Form Based Code, the owner has submitted a Master Plan in conjunction with the rezoning application detailing the development of 282 single-family homes on approximately 91.94 acres. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange.

Master Plan/Major Development Plan Profile

Number of residential lots:	282 single family homes (121 alley loaded, 161 front loaded)
Proposed Density:	3.07 du/ac
Maximum Density Allowed:	5 du/acre
Lot width:	34-feet alley loaded, 50-feet front loaded, 75-foot front loaded
Minimum lot size:	3,400 square feet (alley loaded), 5,000 square feet (front loaded)
Minimum house livable area:	1,250 square feet (alley loaded), 1,400 – 1,750 square feet (front loaded)
Setbacks:	
Front:	15-feet (alley loaded), 20-feet (front loaded)
Rear:	5-feet (alley loaded), 20-feet (front loaded)
Side:	5-feet
Garage:	Rear entry (alley loaded), Same as front (front loaded)
Parking:	Two spaces per house located on the lot (enclosed or exterior; FBC does not require enclosed parking), on-street parking provided
Amenities:	
Park-1	Community Cabana and Pool
Park-2	Tot lot and gathering place
Park-3	Dog Park and gathering place
Park-4	Bike trail along Golden Gem Road frontage

PROJECT DESCRIPTION: The Master Plan/Major Development Plan proposes development of the property with a total of 282 single-family homes. Of the 282 units, 121 are alley loaded on 34-foot wide lots with a minimum living area of 1,250 square feet. 161 units are front loaded on 50-foot and 70-foot wide lots with a minimum living area of 1,400 square feet and 1,750 square feet respectively. There are no minimum and maximum lot size and living area requirements in the Form Based Code. Notes provided on the Master Plan indicate the project will be developed in two phases.

The Master Plan/Major Development Plan details design of the proposed subdivision in accordance with the requirements of the Kelly Park Interchange Form Based Code, and the Neighborhood character zone, which primarily allows single-family homes as permitted uses. The surrounding properties consist of residential, agricultural and rural uses.

Access to the site is proposed via Golden Gem Road. A dedication of a 15-foot wide strip for future right-of-way needs for Golden Gem Road is detailed on the Master Plan. Within this strip, a 12-foot wide bicycle trail will be constructed by the developer. Behind this strip, Tracts A and C are reserved for recreation and open space that is to be owned and maintained by the homeowners association. The master stormwater pond is located in the eastern portion of the site. In accordance with the requirements of the Form Based Code, 20-percent of the total site area is required to remain as open space. The Master Plan/Major Development Plan reserves 40.30 acres, or 43-percent of the site as open space. Common recreation elements include a clubhouse with a pool, an internal trail system, and passive open space/recreation areas, a tot lot and gathering place, a dog park and gathering place, and the dedication of the bike trail along Golden Gem Road.

The Master Plan/Preliminary Development Plan details the design of the internal street system with public streets utilizing a walkable street design with pedestrian connections to the north via a proposed street connection and through the proposed multi-use trail along Golden Gem Road. The developer will provide a 12-foot wide multi-purpose trail along the portion of the development abutting Golden Gem Road to help facilitate the construction of the regional trail system that is conceptually proposed within the Kelly Park Form Based Code area.

DEVELOPMENT AND ZONING CONDITIONS OF APPROVAL: That the zoning classification of the following described property be designated as Mixed-Use Kelly Park Interchange (MU-KPI), Neighborhood character zone, as defined in the Kelly Park Interchange Form Based Code, and with the following provisions:

1. Development of the property is subject to the requirements of the Kelly Park Interchange Form Based Code, Neighborhood character zone.
2. The architectural design of the buildings must be consistent with Section K.2.g, and Appendix A of the Kelly Park Interchange Form Based Code.
3. A 12-foot wide multi-purpose trail will be constructed along the portion of the development abutting Golden Gem Road to facilitate the construction of a regional trail system. (Policy 20.19, FLUE; Sec. Q, FBC). The trail shall be placed in a tract that is dedicated to the City of Apopka.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Mixed-Use Interchange Future Land Use designation and is consistent with the Kelly Park Interchange Form Based Code.

SCHOOL CAPACITY REPORT: A School Capacity Enhancement Agreement (CEA) has not been approved by Orange County Public Schools (OCPS) as of this time. This item will not be presented to the City Council for Second Reading and final adoption without an approved CEA from OCPS. The location is served by the following schools: Zellwood Elementary, Wolf Lake Middle, and Apopka High School. Additionally, no development activity shall occur on the subject property until the developer has obtained a school concurrency mitigation agreement or letter from OCPS.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, Orange County was notified on March 30, 2020.

PUBLIC HEARING SCHEDULE:

May 19, 2020 - Planning Commission (5:30 pm)
June 3, 2020 - City Council (1:30 pm) - 1st Reading
June 17, 2020 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

May 1, 2020 – Apopka Chief

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed rezoning to Mixed-Use Kelly Park Interchange (MU-KPI), and assignment of a Neighborhood character zone consistent with the Comprehensive Plan and Kelly Park Interchange Form Based Code, and recommends approval of the Park View Place Master Plan/Major Development Plan.

Recommended Motion: Find the proposed Rezoning, Master Plan/Major Development Plan consistent with the Comprehensive Plan and Land Development Code and Neighborhood Overlay District, and recommend to approve the rezoning of the subject parcels from Transitional (T) to Mixed-Use Kelly Park Interchange (MU-KPI), and to assign the Neighborhood Overlay District, and to approve the Master Plan/Major Development Plan, based on the findings and facts presented in the staff report and exhibits subject to the applicant obtaining a Capacity Enhancement Agreement (CEA) from Orange County Public Schools prior to City Council Second and Final Reading.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City, County)	Rural (County), Mixed-Use Interchange (City)	A-1 (County), T (City)	Agricultural, Vacant property
East	Rural Settlement	AG	Vacant
South	Rural Settlement, Conservation	AG, T	Manufactured home, future site of City water reservoir
West (County)	Rural	Hubbard Construction Company	Vacant

LAND USE & TRAFFIC COMPATIBILITY:

The property is accessed via Golden Gem Road. Internal streets are public and will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential, agricultural, and rural.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed Mixed-Use Kelly Park Interchange (MU-KPI) zoning is compatible with policies set forth in the Comprehensive Plan.

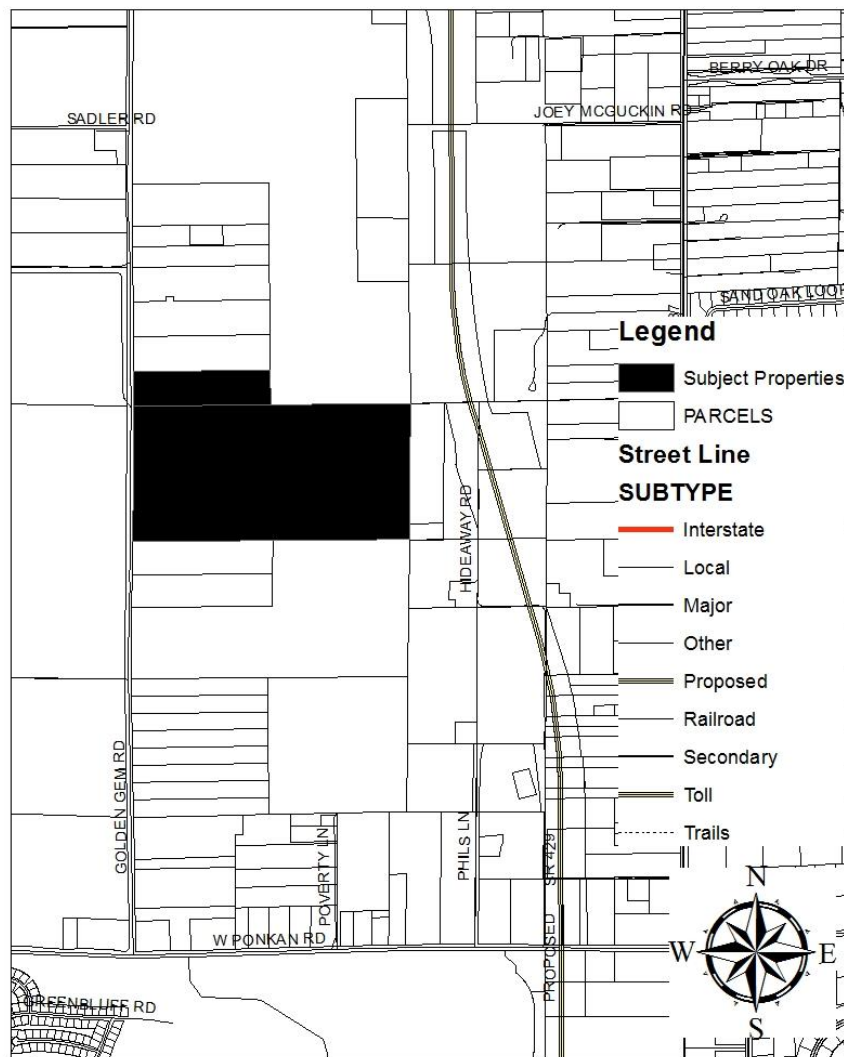
ALLOWABLE USES:

Single-family residential uses as set forth within the Master Plan.

Project: Park View Place
Owned by: Cantero Holdings, LLC
Location: 3845 and 4011 Golden Gem Road
Parcel ID#s: 13-20-27-0000-00-054, 24-20-27-0000-00-097



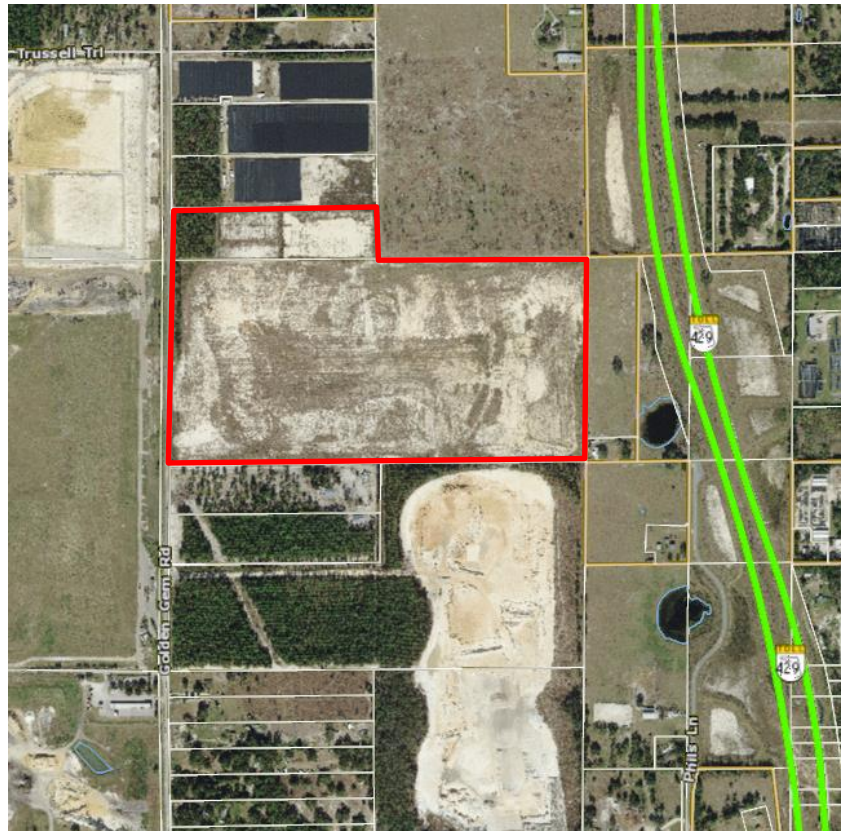
VICINITY MAP





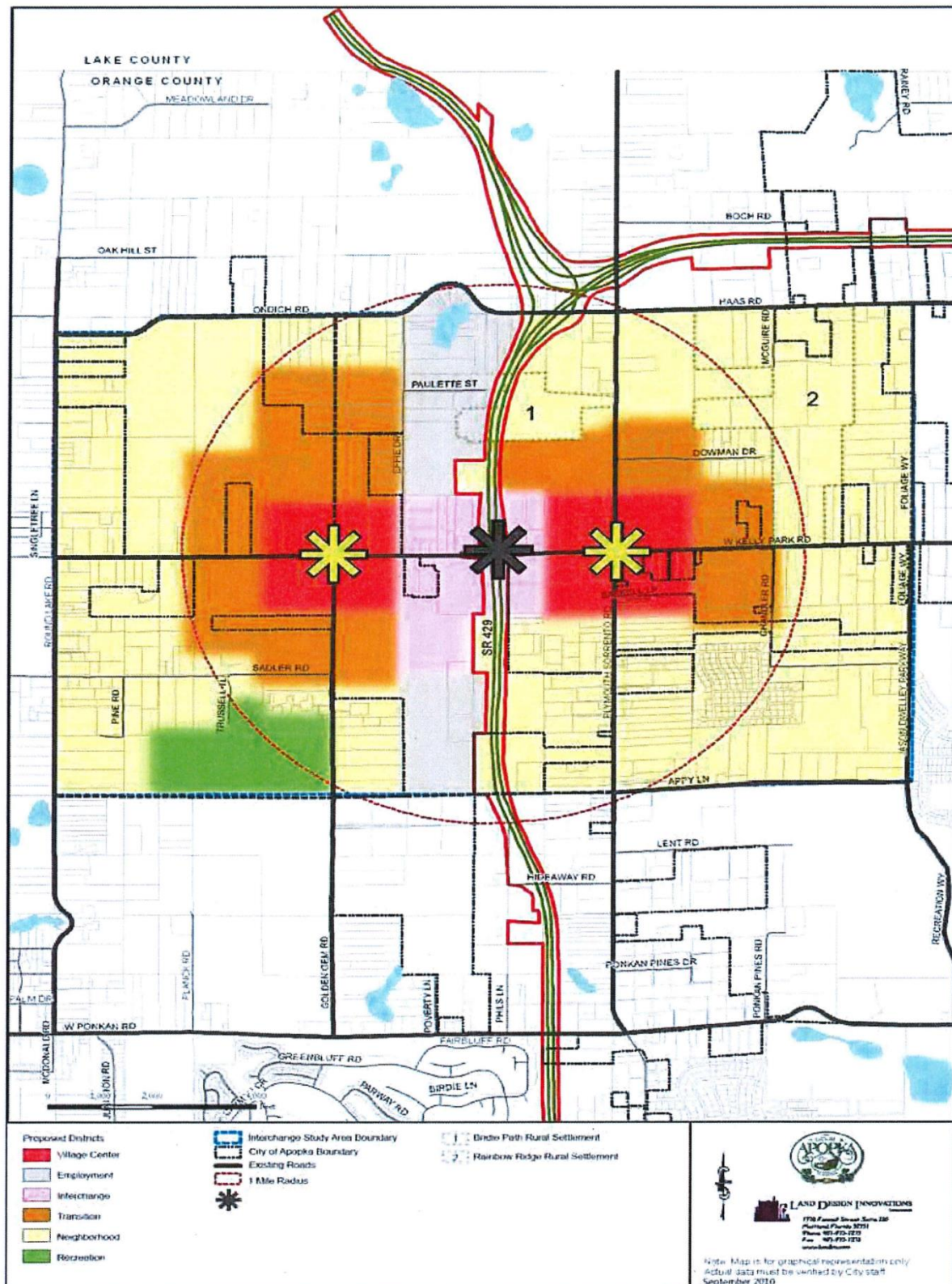


ADJACENT USES





Kelly Park Crossing Form-Based Code Area



Park View Preserve KPI Master/Major Development Plan

City of Apopka Florida Parcel I.D. # 13-20-27-0000-00-054

24-20-27-0000-00-097

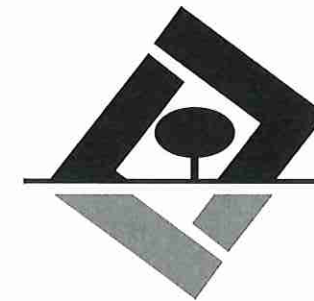
for

Cantero
Holdings,
LLC

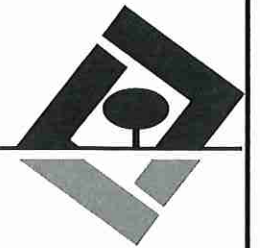
NOTE:

1. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET CITY OF APOPKA AND A.D.A. SPECIFICATIONS.
2. THESE CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, FDOT GREEN BOOK AND CITY OF APOPKA REGULATIONS & SPECIFICATIONS.
3. THIS PROJECT IS SUBJECT TO AN EXISTING DEVELOPER'S AGREEMENT APPROVED AS PART OF THE COMPREHENSIVE PLAN AMENDMENT PROCESS.

by



G L SUMMITT
— ENGINEERING INC —



G L SUMMITT
— ENGINEERING INC —
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GL.Seng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development Plan

Coversheet

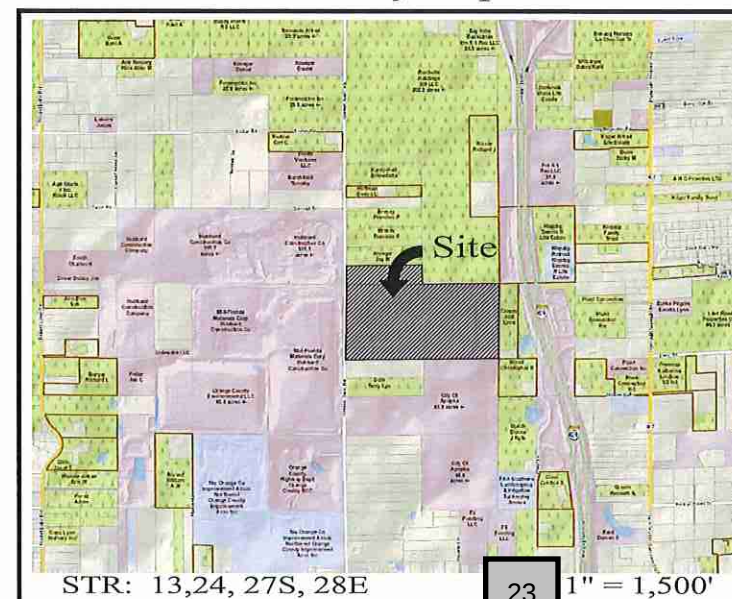
Project Team

Owner Cantero Holdings, LLC 7252 LAKE WILLIS DR Orlando, FL 32821 Ph: Fx:	Surveyor Allen & Company, Inc. 16 E. Plant St. Winter Garden, FL 34787 Ph: (407) 654-5355 Fx: (407) 654-5356
Developer Cantero Holdings, LLC 7252 LAKE WILLIS DR Orlando, FL 32821 Ph: Fx:	Civil Engineer G L Summitt Engineering, Inc. 3667 Simonton Place Lake Mary, FL 32746 Ph: (407) 323-0705 Fx: (407) 992-8650
	Landscape Architect Ravensdale Planning & Design, Inc. 3208-C E. Colonial Dr. #294 Orlando, FL 32803 Ph: (407) 647-1213 Fx:

Utilities

Drinking Water City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	Electric Service Duke Energy 3250 Bonnet Creek Rd. Orlando, FL 32830 Ph: (800) 700-8744
Sanitary Sewer City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	Phone Provider AT&T 1227 S. Division Ave. Orlando, FL 34805 Ph: (407) 351-7100
Garbage Disposal City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	Cable Provider Spectrum Networks 100 Gordon St. Sanford, FL 32771 Ph: (321) 805-3081
Reclaim Water City of Apopka 748 E. Cleveland St. Apopka, FL 32703 Ph: (407) 703-1731 Fx: (407) 703-1748	

Vicinity Map



Drawing Index

No.	Title	Revised
1	Coversheet	03-24-20
2	Symbols & Abbreviations	03-24-20
3	Boundary & Topo Survey	03-24-20
4	Overall Site Plan	03-24-20
5	Open Space Rec. Plan	03-24-20
6	Neighborhood Block Plan	03-24-20
7	Design Standards Plan	03-24-20
8	Phasing Plan	03-24-20
9	Key Map Plan	03-24-20
10-13	Detailed Site Plan(s)	03-24-20
14-17	Utility Plan(s)	03-24-20
18-21	Drainage & Grading Plan(s)	03-24-20
22-25	Landscape Plan(s)	03-24-20
26-27	Landscape Details	03-24-20
28-31	Truck Turning Plan(s)	03-24-20
32-33	General Details	03-24-20
34-37	Architectural Elevations	03-24-20

Plans not valid unless Signed,
Dated and Sealed below.

GEORGE L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #48775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	03-24-20	Initial Design
2	03-24-20	Revised Design
3	03-24-20	Revised Design
4	03-24-20	Revised Design
5	03-24-20	Revised Design
6	03-24-20	Revised Design
7	03-24-20	Revised Design
8	03-24-20	Revised Design
9	03-24-20	Revised Design
10	03-24-20	Revised Design

SHEET NUMBER

1 OF 37

A	AREA ANCHOR BOLT ASPHALT ACRE(S) AC-FEET AC-ABSSTOS CEMENT PIPE ADDL ADT AVERAGE DAILY TRAFFIC AL ALUMINUM ALT ALTERNATE APT ABOVE HOOD AMP AMPERE(S) APPROX APPROXIMATE ARV AIR RELEASE VALVE ARVV AIR RELEASE VACUUM VALVE ASPH ASPHALT ASSY ASSEMBLY AV AVENUE AVG AVERAGE AZ AZIMUTH	F F&C FRAME AND COVER FD FLOOR DRAIN FDI FOUNDATION FDOT FLORIDA DEPARTMENT OF TRANSPORTATION FF FINISHED FLOOR FG FINISHED GRADE FI FIRE HYDRANT FNI FURNISH AND INSTALL FIG FIGURE FIN FINISHED FIT FITTING FL FLEXIBLE LINE FLR FLOOR FLX FLEXIBLE FLT FLANGE FM FORCE MAIN FND FOUND FNS FEET PER HOUR FNT FEET PER MINUTE FPS FEET PER SECOND FTCY FOOT CYCLE FTCS FOOTING	P PC POINT OF CURVATURE PEP POLYETHYLENE PIPE PFPP PROFILE GRADES POINT PI POINT OF INTERSECTION PL PROPERTY LINE POB POINT OF BEGINNING PUSH ON JOINT PP POWER POLE PRI PHONE RISER PRC POINT OF REVERSE CURVATURE PRES PRESSURE PRO PROJECT PROP PROPOSED PRVC POINT OF REVERSE VERTICAL CURVE PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT POINT OF TANGENCY PVC POLYVINYL CHLORIDE PAWENT PAWMENT PWR POWER
B BTP BACKFLOW PREVENTER BL BASELINE BLDG BUILDING BLVD BOULEVARD BW BENCH MARK BWD BOUNDARY BO BLOWOFF BOC BACK OF CURB BOT BOTTOM BRG BEARING BS BOTTOM OF SLOPE BV BUTTERFLY VALVE	G GA GAUGE GAL GALLON GALV GALVANIZED GM GAS MAIN GPD GALLONS PER DAY GPM GALLONS PER HOUR GPH GALLONS PER MINUTE GLS GALLONS PER SECOND GR GUARD RAIL GRD GROUND/GRADE GSP GALVANIZED STEEL PIPE GV GATE VALVE GBWS GATE VALVE AND BOX GW GWYRE GTW GROUND WATER TABLE	R RAD RADUS RCFP REINFORCED CONCRETE PIPE RD REINFORCED CONCRETE PIPE ARCH RD ROAD RDY ROADWAY RED REDUCER REF REFERENCE REINF REINFORCE(D) REQ REQUIRED REV REVISE/REVISION RMH REVOLUTIONS PER MINUTE RR RAILROAD RT RIGHT RV RELIEF VALVE RW RIGHT-OF-WAY RWM REUSE WATER MAIN	
C CAP CAPACITY CB CATCH BASIN CC CENTER TO CENTER CEM CEMENT CF CURB FEET CFM CURB FEET PER MINUTE CFS CURB FEET PER SECOND CG CURB AND GUTTER CI CAST IRON CIL CAST IRON PIPE CJ CONSTRUCTION JOINT CL CENTER LINE CLS CONCRETE LIGHT POLE CLR CLEARANCE/CLEARANCE CLS CLASS CN CONCRETE CURB CMP CORRUGATED METAL PIPE CMHA CORRUGATED METAL PIPE ARCH CRD CRUDOUT CO COUNTY JA CLEANOUT COL COLUMN COMP COMPLETE CON CONCRETE CORN CORNER CONST CONSTRUCTION(ION) CONT CONTINUOUS COORD COORDINATE(S) COR CORNER CPGS COUPLING CNP CONCRETE POWER POLE CS CONTROL STRUCTURE CTG COATING CTR CENTER CTV CABLE TELEVISION CUV CURB VALVE CY CURB YARD CYL CYLINDER	H HB HOSE BIBB HD HIGH DENSITY POLYETHYLENE HM HARMONY HZP HORIZONTAL HP ROSEPOWER HR HOUR HT HEIGHT HW HEADWALL HWL HIGH WATER LEVEL HWY HIGHWAY HYD HYDRAULIC	S S SOUTH SANITARY SEWER SB SPLASH BLOCK SCH SCHEDULE SD SIDE DRAIN SEN SNELL DRAIN SEC SE SECT SECTION SH SHEET SGM SEASONAL HIGH GROUND WATER TABLE SM SIMILAR SL SETBACK LINE SL SLOPE SM SHEET METAL SPEC SPECIFICATION(S) SQ SQUARE SQ IN SQUARE INCHES SQ FT SQUARE FOOT/FEET SQ YD SQUARE YARD/YARDS SR STATE ROAD SS STAINLESS STEEL ST STREET STA STATION STD STANDARD STL STEEL STR STRUCTURE STS STORM SEWER SUP SUPPORT SUSP SUSPENSION/SUSPENSION SV SERVICE SW SOUTHWEST SWK SIDEWALK SYMB SYMBOL(S) SYM SYMMETRICAL SYS SYSTEM	
D DBL DOUBLE DIR OR * DIRIGEE DEF DEFLECTION DEPT DEPARTMENT DET DETAIL DNVL DESIGN HIGH WATER LEVEL DI DIUCTILE IRON DMA DIMETER DIAG DIAGONAL DIM DIMENSION DIS DIUCTILE IRON PIPE DISCH DISCHARGE DIST DISTANCE DNH DROP MANHOLE DN DOWN DRI DRAIN DWG DRAWING DSRY DERIVATIVE E EAST EA EACH EC EDGE OF CONCRETE ED ENERGY DISSIPATOR EF EACH FACE EFF EFFLUENT EG EXISTING GRADE EL EASEMENT LINE ELB ELBOW ELE ELECTRIC ELV ELEVATION ELLIP ELLIPS(E)/ELLIPTICAL ENC ENCASEMENT ENG ENGINEERING EQ EDGE OF PAVEMENT EQ EQUALIZATION EQUB EQUIPMENT EQUP EQUIVALENT EQU EQUIVALENT EST ESTIMATE EAT EACH WAY EW ENDWALL EXC EXCAVATE/EXCAVATION EXIST EXISTING EXP EXPAND/EXPANSION EXT EXTEND/EXTENSION	I I-I INTERSTATE HIGHWAY IA INTERSECTION ANGLE ID INSIDE DIAMETER IF INSIDE FACE IN INCHES INL INLET INS INSET INST INSTANT IP IRON PIPE IR INCH AND INT INTERSECT/INTERSECTION INV INVERT	T TA TAUGHT TB TURBLOCK TBD TOP AND BOTTOM TEMP TEMPORARY MARK TC TIME OF CONCENTRATION TD TRUCK DRAIN TOH TOTAL DYNAMIC HEAD TECH TECHNICIAN/TECHNICAL TEMP TEMPORARY TL TECHNICAL LAMP/HOLE TBA TOP OF BANK TOC TOP OF CURB TS TOP OF SLOPE TOT TOTAL TS TOP OF SLOPE TYP TYPICAL	
E E EAST EA EACH EC EDGE OF CONCRETE ED ENERGY DISSIPATOR EF EACH FACE EFF EFFLUENT EG EXISTING GRADE EL EASEMENT LINE ELB ELBOW ELE ELECTRIC ELV ELEVATION ELLIP ELLIPS(E)/ELLIPTICAL ENC ENCASEMENT ENG ENGINEERING EQ EDGE OF PAVEMENT EQ EQUALIZATION EQUB EQUIPMENT EQUP EQUIVALENT EQU EQUIVALENT EST ESTIMATE EAT EACH WAY EW ENDWALL EXC EXCAVATE/EXCAVATION EXIST EXISTING EXP EXPAND/EXPANSION EXT EXTEND/EXTENSION	J JB JUNCTION BOX JC JUNCTION JOINT JOINT JT JOINT	U UNDERDRAIN UNLESS OTHERWISE NOTED UNDERGROUND TELEPHONE CABLE	
F F&C FRAME AND COVER FD FLOOR DRAIN FDI FOUNDATION FDOT FLORIDA DEPARTMENT OF TRANSPORTATION FF FINISHED FLOOR FG FINISHED GRADE FI FIRE HYDRANT FNI FURNISH AND INSTALL FIG FIGURE FIN FINISHED FIT FITTING FL FLEXIBLE LINE FLR FLOOR FLX FLEXIBLE FLT FLANGE FM FORCE MAIN FND FOUND FNS FEET PER HOUR FNT FEET PER MINUTE FPS FEET PER SECOND FTCY FOOT CYCLE FTCS FOOTING	L L LENGTH LAT LATITUDE LATL LATERAL LB POUND LF LINEAR FEET/FOOT LG LONG LHS LEFT(HAND) LP LIGHT POLE LONG LONG LT LEFT LV LOW WATER LEVEL	V VALVE BOX VC VERTICAL CURVE VCP VERIFIED CLAY PIPE VERT VERTICAL VPC VERTICAL POINT OF CURVE VPI VERTICAL POINT OF INTERSECTION VPT VERTICAL POINT OF TANGENCY	
G GA GAUGE GAL GALLON GALV GALVANIZED GM GAS MAIN GPD GALLONS PER DAY GPM GALLONS PER HOUR GPH GALLONS PER MINUTE GLS GALLONS PER SECOND GR GUARD RAIL GRD GROUND/GRADE GSP GALVANIZED STEEL PIPE GV GATE VALVE GBWS GATE VALVE AND BOX GW GWYRE GTW GROUND WATER TABLE	M MAINT MAINTENANCE MATL MATERIAL MEAS MEASURING MECH MECHANICAL ME MITERED END MFR MANUFACTURER MGD MILLION GALLONS PER DAY MH MANHOLE MHC MANHOLE COVER MWHL MEAN HIGH WATER LEVEL MDH MIDWINTER MSC MISCELLANEOUS MIC MECHANICAL JOINT MLP METAL LIGHT POLE MWL MEAN LOW WATER LEVEL MON MONUMENT MPH MILES PER HOUR MSL MEAN SEA LEVEL MTL MOUNTING	W WEST WZ WATER MAIN W/O WITHOUT WW WATER/WATERHEAT PROOF WVP WOOD POWER POLE WS WATER SURFACE WST WEST-SIDE WATER TABLE WT WEIGHT WV WATER VALVE WWF WELDED WIRE FABRIC WWW WELDED WIRE MESH	
H HB HOSE BIBB HD HIGH DENSITY POLYETHYLENE HM HARMONY HZP HORIZONTAL HP ROSEPOWER HR HOUR HT HEIGHT HW HEADWALL HWL HIGH WATER LEVEL HWY HIGHWAY HYD HYDRAULIC	N NORTH NA NOT APPLICABLE N&C NAIL AND CAP NE NORTH/EAST NG NATURAL GROUND NIC NOT IN CONTRACT NBUR BURIED NOH NONHOMOLOGICAL NTS NOT TO SCALE NW NORTHWEST RWL NORMAL WATER LEVEL	X YEAR	

LINES			
	CENTER LINE		BUILDING LINE
	WIRE FENCE		CONTOURS
	CHAIN LINK FENCE		RAILROAD TRACKS
	WOOD FENCE		GAS MAIN
	GUARDRAIL		UNDERGROUND ELECTRIC
	EXISTING PLATS		UNDERGROUND TELEPHONE
	RETAINING WALL		OVERHEAD ELECTRIC
	RIGHT-OF-WAY LINE		OVERHEAD TELEPHONE
	SHORELINE		UNDERGROUND CABLE TELEVISION
	SWALE		EASEMENT
SANITARY			
	SANITARY SEWER LINE		FORCE MAIN
	CLEANOUT		MANHOLE
WATER & REUSE WATER			
	WATER MAIN 6" PVC PIPE		WATER VALVE
	REUSE WATER MAIN		FIRE HYDRANT
	BACKFLOW PREVENTOR		WATER METER
STORM DRAIN			
	STORM SEWER		FDOT TYPE 1 INLET
	MANHOLE		FDOT TYPE 2 INLET
	MITERED END		FDOT TYPE 3 INLET
	STORM INLET		FDOT TYPE 4 INLET
	FDOT TYPE 6 INLET		FDOT TYPE 5 INLET
HIGHWAY & UTILITIES			
	BENCHMARK		GUY POLE
	RECOVERED 4x4 CM		WOOD UTILITY POLE
	SET 4x4 CM		CONCRETE UTILITY POLE
	SET IRON ROD		ELECTRIC MANHOLE
	RECOVERED IRON ROD		TELEPHONE MANHOLE
	CONCRETE		TELEPHONE RISER
	COUNTY ROADS		ELECTRIC BOX / TRANSFORMER
	INTERSTATE ROADS		WELL
	STATE ROADS		MONITORING WELL
	WOOD AND/OR METAL LIGHT POLE		DUMPSTER
	CONCRETE LIGHT POLE		RR CROSSING SIGN
	YARD LIGHT		RR CROSSING GATE
	MISCELLANEOUS SIGN		TRAFFIC SIGNAL POLE
	SECTION CORNER		SATELLITE DISH
	EDGE OF PAVEMENT W/O CURB		GUY WIRE
	EDGE OF PAVEMENT W/CURB		HANDICAP PARKING
			SPOT ELEVATION

LINES		STORM DRAIN	
	BOUNDARY		100 LF STS 24 RCP @ 0.20%
	CONSERVATION SETBACK		UNDERDRAIN 6" PVC PIPE
	CENTER LINE		DRAINAGE FLOW DIRECTION
	CHAIN LINK FENCE		FDOT INLET TYPE 1
	CONTOUR		FDOT INLET TYPE 2
	EASEMENT		FDOT INLET TYPE 3
	FENCE		FDOT INLET TYPE 4
	GUARDRAIL		FDOT INLET TYPE 5
	LOT LINE		FDOT INLET TYPE 6
	PROPERTY LINE		MANHOLE
	RETAINING WALL		MITERED END SECTION
	RIGHT-OF-WAY LINE		SLOPE DIRECTION ARROW FOR POND SIDE SLOPE
	SETBACK LINE		SPOT ELEVATION
	SHORELINE		STORM INLET
	SWALE		
	TREE LINE		
SANITARY		HIGHWAY & UTILITIES	
	100 LF SAN 8 PVC 0.40%		BOUND CORNER
	100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.40% SLOPE		CONCRETE
	CLEANOUT		COUNTY ROADS
	DOUBLE SANITARY SERVICE		DETAIL REFERENCE
	FORCE MAIN		DUMPSTER PAD
	MANHOLE		FINISHED FLOOR ELEVATION W/ R/A LDT TYPE
WATER & REUSE WATER			GUY POLE
	WM		HANDICAP PARKING
	11 1/2° BEND		INTERSTATE ROADS
	22 1/2° BEND		LIGHT POLE
	45° BEND		SIGNS
	90° BEND		SECTION CORNER
	TEE		STATE ROADS
	CROSS		SILT FENCE
	CHECK VALVE		TRAFFIC FLOW PAVEMENT MARKING
	DOUBLE DETECTOR CHECK VALVE		UTILITY POLE
	DOUBLE WATER SERVICE		BLDG OR STRUCTURE
	GATE VALVE		TYPE F CURB & GUTTER
	FIRE HYDRANT		MIAMI CURB
	METER		CROSS SECTION DETAIL
	REDUCER		
	BLOWOFF		
	BACKFLOW PREVENTER		
	SAMPLE POINT		
	UNDERDRAIN CLEANOUT		
	RM		
	REUSE WATER SYSTEM CONNECTION		
	DOUBLE REUSE WATER SERVICE		



Park View
Preserve Subdivision
City of Apopka, Florida

Symbols & Abbreviations

Plans not valid unless Signed,
Dated and Sealed below.

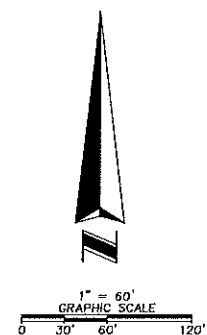
GEOFFREY L. SUMMITT, P.

Date: March 23, 2020
FL Registration #58775
Certificate of Authorization #2966

Revisions		
NO.	DATE	DESCRIPTION
1	12/20/17	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
2	1/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
3	2/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
4	3/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
5	4/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
6	5/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
7	6/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
8	7/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
9	8/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX
10	9/20/18	XXXXXXXXXXXXXXXXXXXXXXXXXXXX

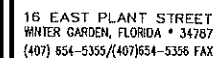
SHEET NUMBER
2 OF 37

SOUTH 1/2 OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 13,
TOWNSHIP 20 SOUTH, RANGE 27 EAST, LESS RIGHT OF WAY ON WEST, ORANGE COUNTY, FLORIDA.
CONTAINS 448,402 SQUARE FEET, OR 10.25 ACRES OF LAND, MORE OR LESS.



IRC	IRON ROD AND CAP
IR	IRON ROD
ORB.	OFFICIAL RECORDS BOOK
PG.	PAGE
CM	CONCRETE MONUMENT
LB	LICENSED BUSINESS
R/W	RIGHT-OF-WAY
ID	IDENTIFICATION
A/C	AIR CONDITIONER
CHUL	OVERHEAD UTILITY LINE
@	SET 1/2" IRC LB 5723
Q	RECOVERED MONUMENT AS LABELED
M	MAILBOX
E	ELECTRIC BOX
M	ELECTRIC METER
W	WELL
PO	POWER POLE
W	QUY WIRE
-----	BARBED WIRE FENCE
DIRT	DIRT ROAD
TBM	TEMPORARY BENCHMARK
NAV088	NORTH AMERICAN VERTICAL DATUM OF 1988

1. BEARINGS SHOWN HEREON ARE ASSUMED AND RELATIVE TO THE SOUTH LINE OF THE SW 1/4 OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BEING SOUTH 89°31'36" WEST.
2. THIS BOUNDARY SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A COMMITMENT TO INSURE TITLE, NO ABSTRACT FOR RIGHT-OF-WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD HAVE BEEN PROVIDED TO THIS FIRM.
3. THE LEGAL DESCRIPTION SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION FURNISHED BY THE CLIENT.
4. THIS MAP OF BOUNDARY SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND ORIGINAL, RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER IDENTIFIED BELOW.
5. UNLESS OTHERWISE NOTED OR SHOWN HEREON, ONLY THOSE APPARENT AND/OR UNOBSTRUCTED VISIBLE, ABOVE GROUND INTERIOR IMPROVEMENTS WERE LOCATED AT THE CLIENT'S REQUEST.
UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
6. THE LANDS SHOWN HEREON LIE IN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOODPLAIN, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATION FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, PER FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 1204980012S F. MAP REVISION SEPTEMBER 25, 2004.
THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.
7. ADJOINING PARCEL OWNER AND RECORDING INFORMATION DELINEATED HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER'S PUBLIC ACCESS SYSTEM.
8. THE PROPERTY SHOWN HEREON IS AN INACTIVE NURSERY. THERE MAY BE THE EXISTENCE OF ADDITIONAL UTILITIES WITHIN THE SURVEYED LANDS THAT WERE NOT LOCATED AS PART OF THIS SURVEY.
9. THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
10. THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OR FEDERAL, STATE, OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.
11. ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK NUMBER 5736018 BEING AN ELEVATION OF 114.206 FEET NAVD83 (NORTH AMERICAN VERTICAL DATUM).



BOUNDARY & TOPOGRAPHIC SURVEY
OF
401.1 GOLDEN GEM ROAD
SECTION 13, TOWNSHIP 20 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

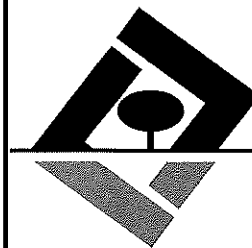
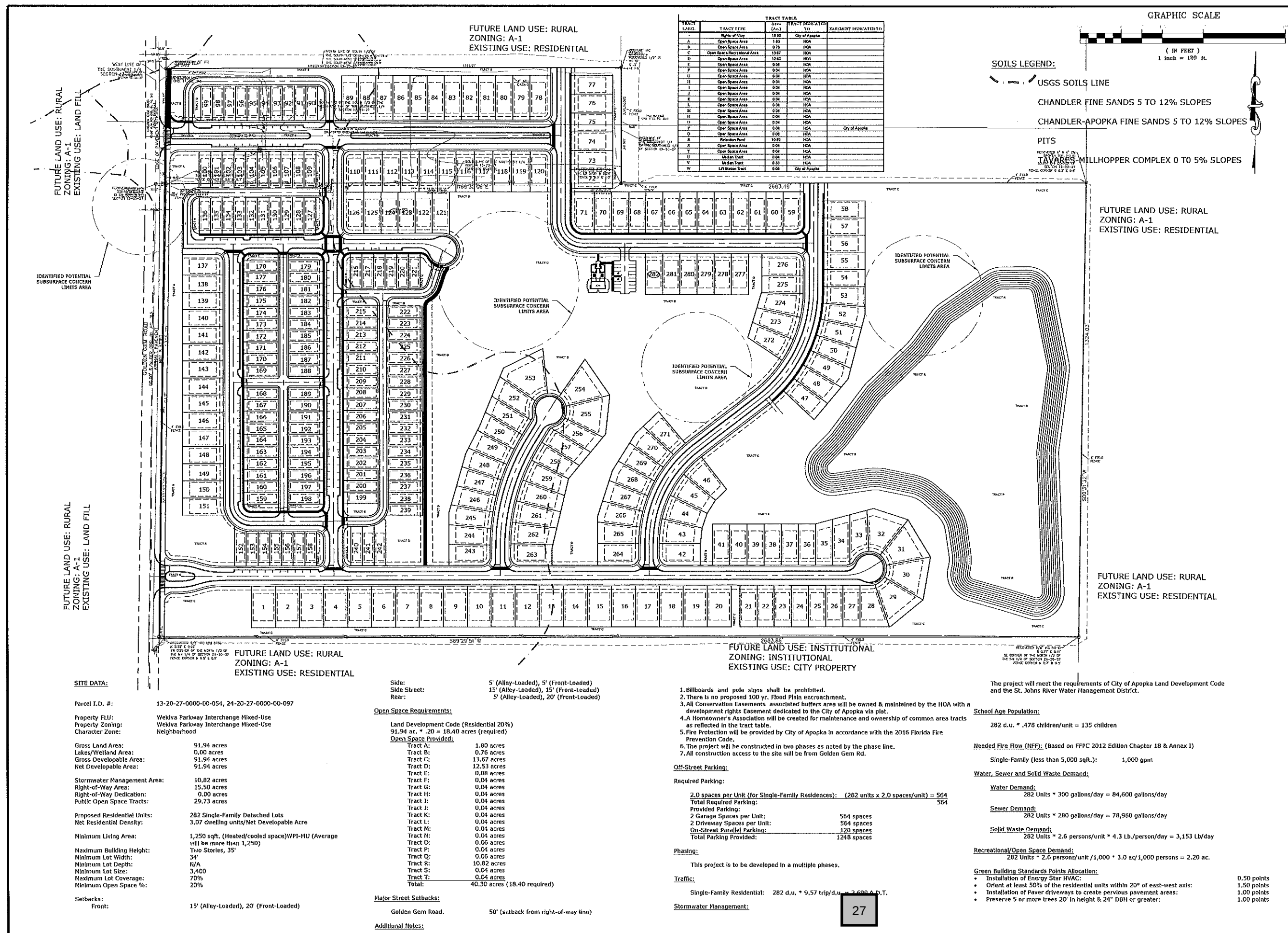
FOR: CANTERO HOLDINGS, LLC

[illegible]

[illegible]

JOB # 20170284
DATE: 06/20/2019
SCALE: 1 inch = 80 feet
CALC BY: JLR
FIELD BY: ST/DM
DRAWN BY: JPC/DR/NNH
CHECKED BY: JPC

SHEET 1 OF 1



G L SUMMITT
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Cantero Holding, LLC
12601 Avalon Road

Winter Garden, FL 34787
407-239-4565
407-239-6011

**Park View
Preserve Subdivision
City of Apopka, Florida
KPI Master/Major
Development Plan**

Overall Site Plan

**Plans not valid unless Signed,
Dated and Sealed below.**

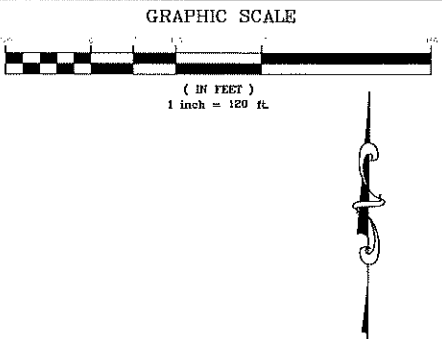
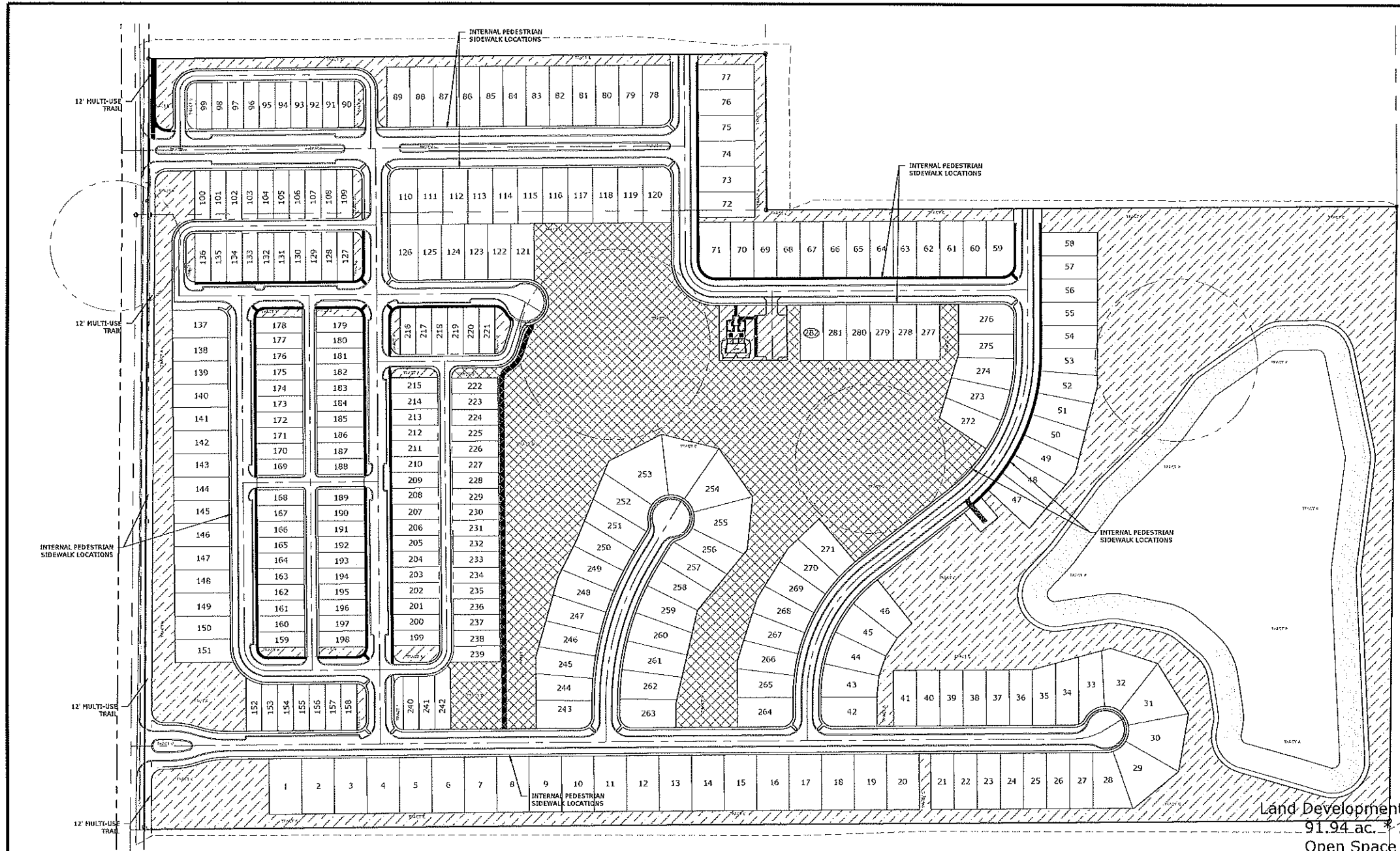
GEOFFREY L. SUMMITT, P.E.

Date: March 23, 2020
 FL Registration #58775
 Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	1/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
2	2/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
3	3/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
4	4/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
5	5/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
6	6/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
7	7/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
8	8/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
9	9/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
10	10/1/2017	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX

SHEET NUMBER

4 OF 37



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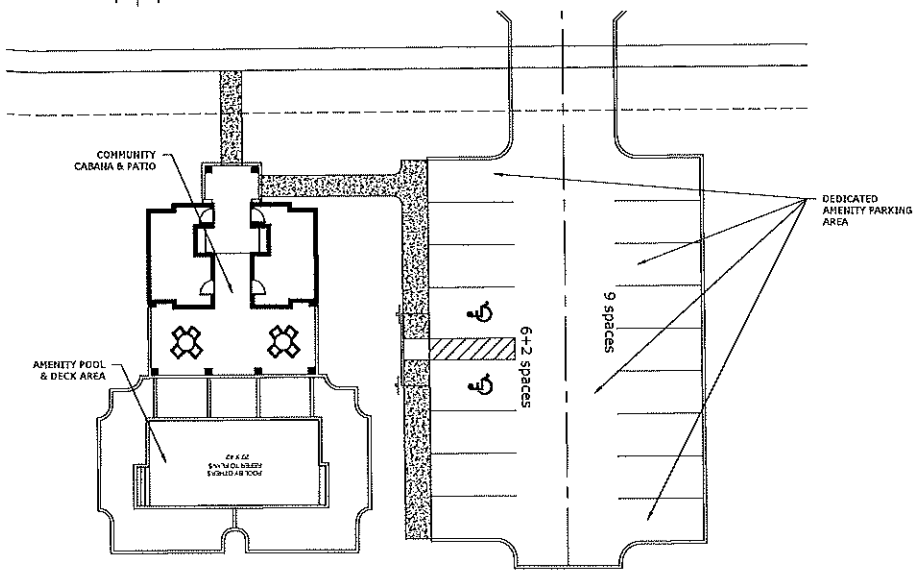
Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development Plan

Open Space Rec
Plan

Land Development Code (Residential 20%)
91.94 ac. x .20 = 18.40 acres (required)
Open Space Provided:

Tract A:	1.80 acres
Tract B:	0.76 acres
Tract C:	13.67 acres
Tract D:	12.40 acres
Tract E:	0.08 acres
Tract F:	0.04 acres
Tract G:	0.04 acres
Tract H:	0.04 acres
Tract I:	0.04 acres
Tract J:	0.04 acres
Tract K:	0.04 acres
Tract L:	0.04 acres
Tract M:	0.04 acres
Tract N:	0.04 acres
Tract O:	0.06 acres
Tract P:	0.04 acres
Tract Q:	0.06 acres
Tract R:	10.82 acres
Tract S:	0.04 acres
Tract T:	0.04 acres
Total:	40.17 acres (18.40 required)



ACTIVE RECREATIONAL AREA BLOW-UP DETAIL
1" = 20'

OPEN SPACE SET-ASIDE HATCH LEGEND

	ACTIVE RECREATIONAL OPEN SPACE
	COMMUNITY SQUARE OPEN SPACE AREAS
	GENERAL GREEN OPEN SPACE AREAS

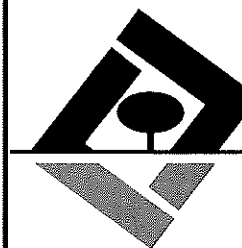
Plans not valid unless Signed,
Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: March 23, 2020
PL Registration #58775
Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	11/11/19	REVISIONS
2	11/11/19	REVISIONS
3	11/11/19	REVISIONS
4	11/11/19	REVISIONS
5	11/11/19	REVISIONS
6	11/11/19	REVISIONS
7	11/11/19	REVISIONS
8	11/11/19	REVISIONS
9	11/11/19	REVISIONS
10	11/11/19	REVISIONS

SHEET NUMBER

5 OF 37



Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

**Park View
Preserve Subdivision
City of Apopka, Florida
KPI Master/Major
Development Plan**

Neighborhood
Block Plan

Date: March 23, 2020
 FL Registration #58775
 Certificate of Authorization #29665

Revisions		
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1	2-2-82	012345678910111213141516171819
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3	2-2-82	323334353637383940414243444546474849
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5	2-2-82	7071727374757677787980818283848586878889
6	2-2-82	90919293949596979899100101102103104105106107108109
7	2-2-82	110111112113114115116117118119120121122123124125126127128129
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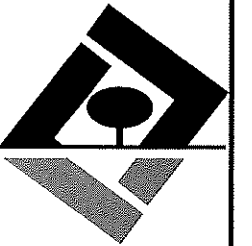
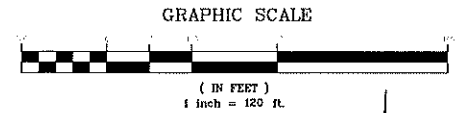
SHEET NUMBER

6 OF 37



-  NEIGHBORHOOD 'A' 34'
BUNGALOW LOTS
-  NEIGHBORHOOD 'B' 50'
SINGLE-FAMILY LOTS
-  NEIGHBORHOOD 'C' 70'
SINGLE-FAMILY LOTS

<u>NEIGHBORHOOD STREETS DESIGNATION</u>			
<u>STREET NAME</u>	<u>STREET DESIGNATION</u>	<u>STREET NAME</u>	<u>STREET DESIGNATION</u>
STREET 'A' 90' RIGHT-OF-WAY	STREET TYPE 'E'	STREET 'G' 90' RIGHT-OF-WAY	STREET TYPE 'E'
STREET 'B' 60' RIGHT-OF-WAY	STREET TYPE 'E'	STREET 'H' 60' RIGHT-OF-WAY	STREET TYPE 'E'
STREET 'C' 60' RIGHT-OF-WAY	STREET TYPE 'E'	ALLEYWAY '1' 30' RIGHT-OF-WAY	STREET TYPE 'F'
STREET 'D' 60' RIGHT-OF-WAY	STREET TYPE 'E'	ALLEYWAY '2' 30' RIGHT-OF-WAY	STREET TYPE 'F'
29 OF-WAY	STREET TYPE 'E'	ALLEYWAY '3' 30' RIGHT-OF-WAY	STREET TYPE 'F'
60' RIGHT-OF-WAY	STREET TYPE 'E'	ALLEYWAY '4' 30' RIGHT-OF-WAY	STREET TYPE 'F'



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Park View
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City of Apopka, Florida

KPI Master/Major
Development Plan

Design
Standards Plan

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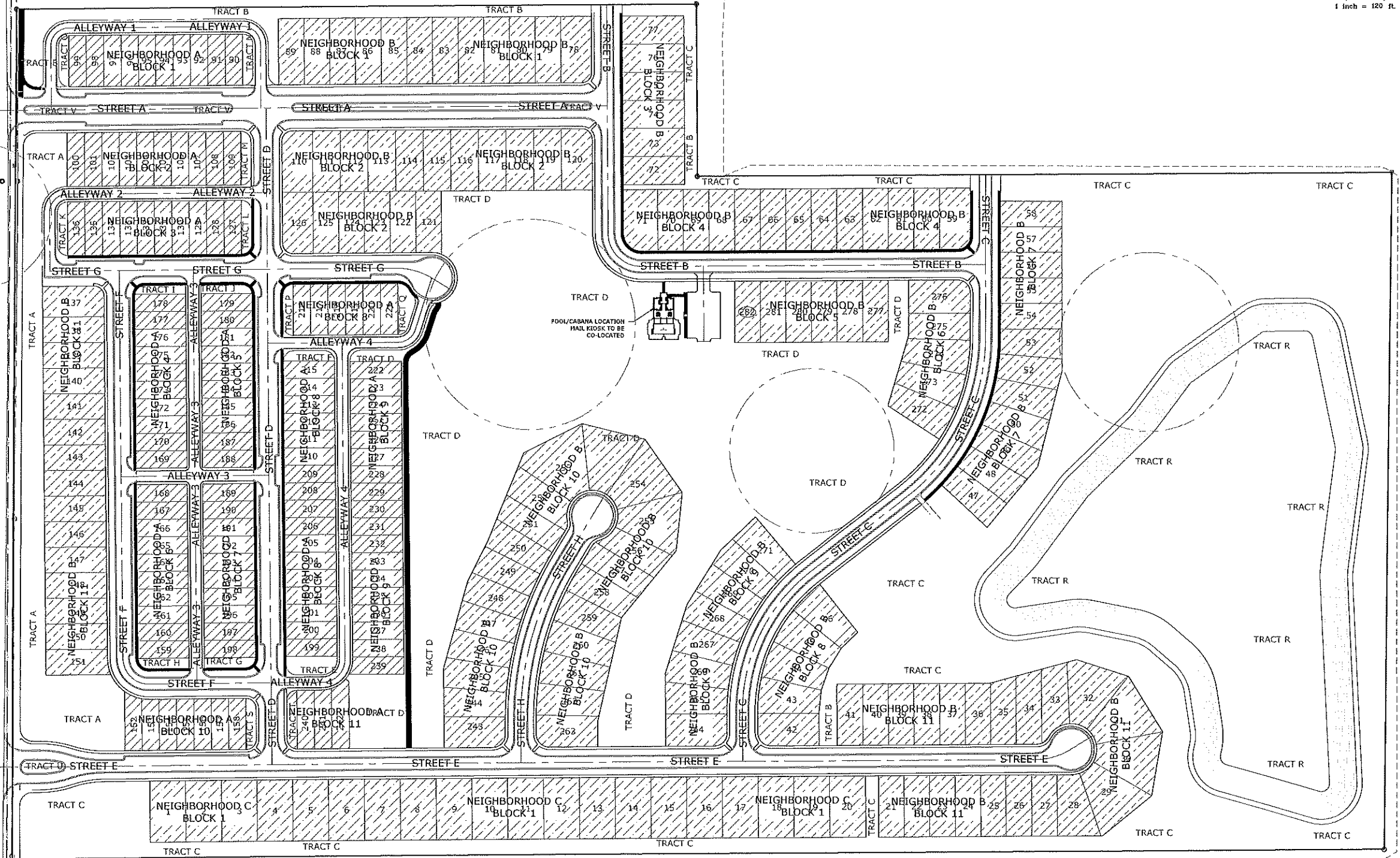
GEOFFREY L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #58775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	3/23/20	Initial Design
2	3/23/20	Revised Design
3	3/23/20	Revised Design
4	3/23/20	Revised Design
5	3/23/20	Revised Design
6	3/23/20	Revised Design
7	3/23/20	Revised Design
8	3/23/20	Revised Design
9	3/23/20	Revised Design
10	3/23/20	Revised Design

SHEET NUMBER

7 OF 37



SITE DESIGN STANDARDS PLAN:

NEIGHBORHOOD 'A' DESIGN DETAILS:

Minimum Living Area: 1,250 sqft. (Heated/cooled space)
Maximum Building Height: Two Stories, 35'
Minimum Lot Width: 34'
Minimum Lot Depth: 100'
Minimum Lot Size: 3,400
Maximum Lot Coverage: 70%
Minimum Open Space %: 20%
Garage Location: Rear-Entry (2-Car)

Setbacks:
Front: 15'
Side: 5'
Side Street: 15'
Rear: 5'

Accessory Uses: Those permitted by code
Architectural Design: Consistent with Section K of the form-based code

NEIGHBORHOOD 'B' DESIGN DETAILS:

Minimum Living Area: 1,400 sqft. (Heated/cooled space)
Maximum Building Height: Two Stories, 35'
Minimum Lot Width: 50'
Minimum Lot Depth: 120'
Minimum Lot Size: 5,000
Maximum Lot Coverage: 70%
Minimum Open Space %: 20%
Garage Location: Front-Entry (2-Car)

Setbacks:
Front: 20'
Side: 5'
Side Street: 20'
Rear: 5'

Accessory Uses: Those permitted by code
Architectural Design: Consistent with Section K of the form-based code

NEIGHBORHOOD 'C' DESIGN DETAILS:

Minimum Living Area: 1,750 sqft. (Heated/cooled space)
Maximum Building Height: Two Stories, 35'
Minimum Lot Width: 70'

Minimum Lot Depth: 120'
Minimum Lot Size: 5,000
Maximum Lot Coverage: 65%
Minimum Open Space %: 20%
Garage Location: Front-Entry (2-Car)

Setbacks:
Front: 20'
Side: 5'
Side Street: 20'
Rear: 5'

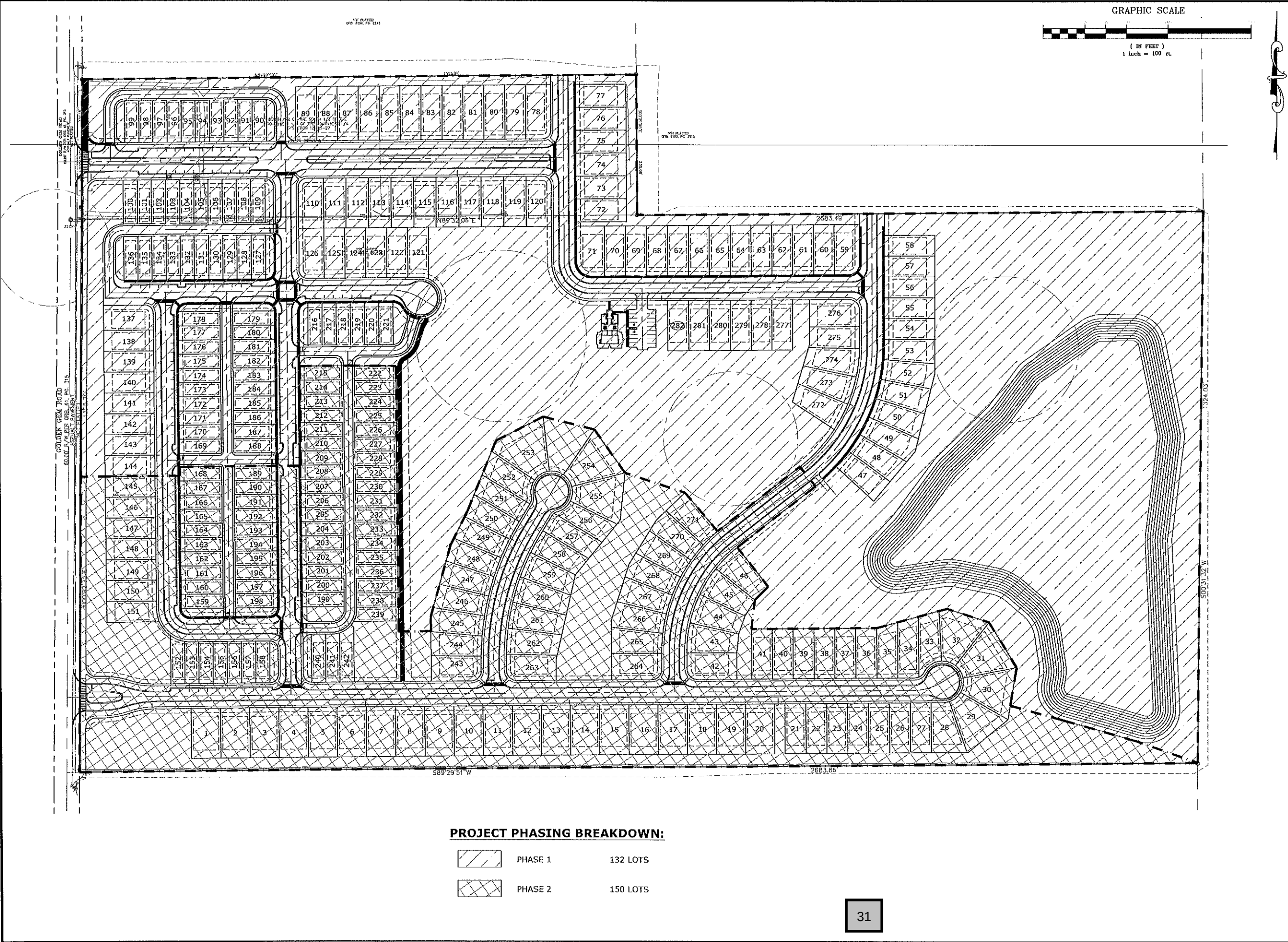
Accessory Uses: Those permitted by code
Architectural Design: Consistent with Section K of the form-based code

Green Building Standards Points Allocation:

- Installation of Energy Star HVAC: 0.50 points
- Orient at least 50% of the residential units within 20° of east-west axis: 1.50 points
- Installation of Paver driveways to create pervious pavement areas: 1.00 points
- Preserve 5 or more trees 20' in height & 24" DBH or greater: 1.00 points

Street Landscaping:

Landscaping shall be consistent with Section M of the form-based code or the City of Apopka LDR



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Park View
Preserve Subdivision
City of Apopka, Florida
KPI Master/Major
Development Plan

Phasing Plan

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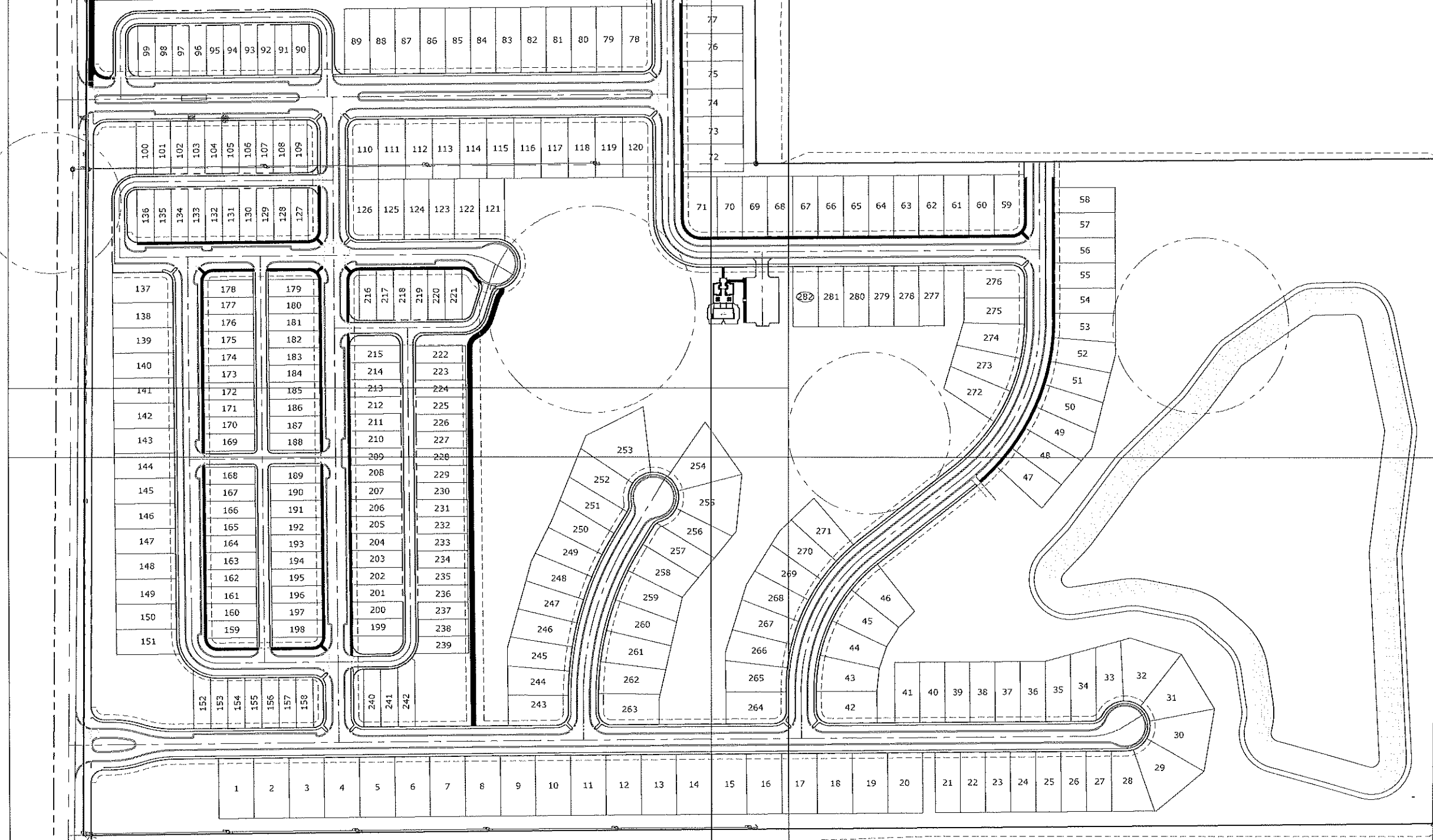
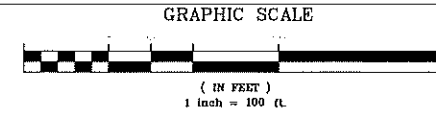
GEORGEY L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #88775
Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	3/23/20	INITIAL DESIGN
2	3/23/20	REVISIONS TO DESIGN
3	3/23/20	REVISIONS TO DESIGN
4	3/23/20	REVISIONS TO DESIGN
5	3/23/20	REVISIONS TO DESIGN
6	3/23/20	REVISIONS TO DESIGN
7	3/23/20	REVISIONS TO DESIGN
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SHEET NUMBER
8 OF 37

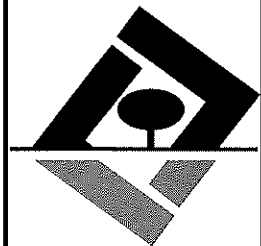
DETAILED SITE PLAN 11 OF 37
UTILITY PLAN 15 OF 37
PAVING & DRAINAGE PLAN 19 OF 37
LANDSCAPE PLAN 23 OF 37
TRUCK TURNING PLAN 29 OF 37

DETAILED SITE PLAN 13 OF 37
UTILITY PLAN 17 OF 37
PAVING & DRAINAGE PLAN 21 OF 37
LANDSCAPE PLAN 25 OF 37
TRUCK TURNING PLAN 31 OF 37



DETAILED SITE PLAN 10 OF 37
UTILITY PLAN 14 OF 37
PAVING & DRAINAGE PLAN 18 OF 37
LANDSCAPE PLAN 22 OF 37
TRUCK TURNING 28 OF 37

DETAILED SITE PLAN 12 OF 37
UTILITY PLAN 16 OF 37
PAVING & DRAINAGE PLAN 20 OF 37
LANDSCAPE PLAN 24 OF 37
TRUCK TURNING PLAN 30 OF 37



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407-239-6011

Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development Plan

Key Map Plan

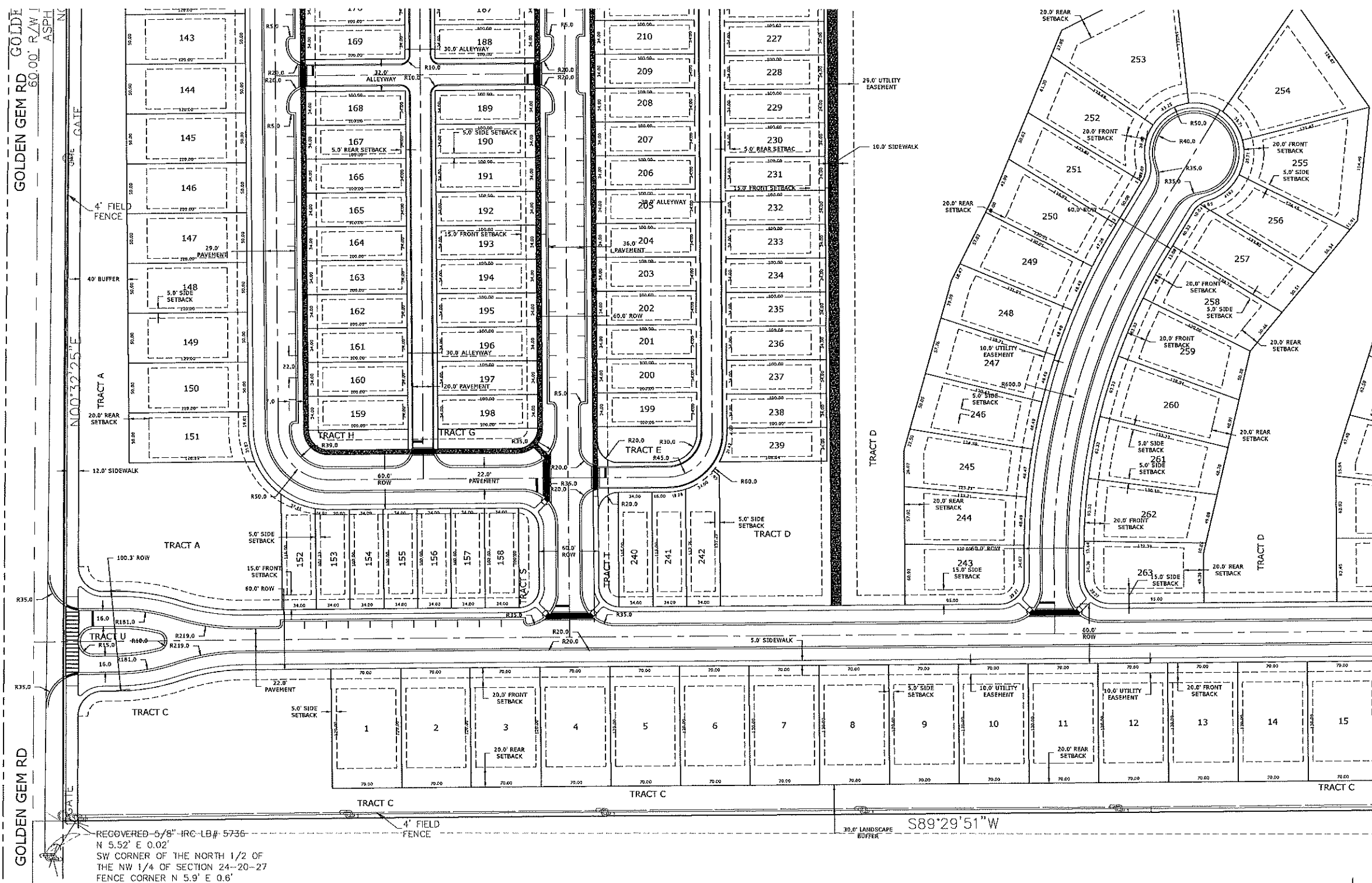
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Dated and Sealed below.

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Date: March 23, 2020
P.L. Registration #48775
Certificate of Authorization #29665

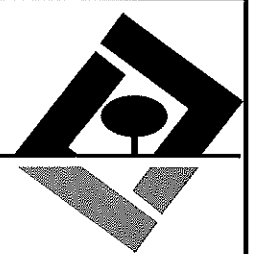
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6	11/11/11	Final Design
7	11/11/11	Final Design
8	11/11/11	Final Design
9	11/11/11	Final Design
10	11/11/11	Final Design

SHEET NUMBER
9 OF 37

SEE SHEET 11 OF 37



SEE SHEET 12 OF 37



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Park View
Preserve Subdivision
City of Apopka, Florida
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Development Plan

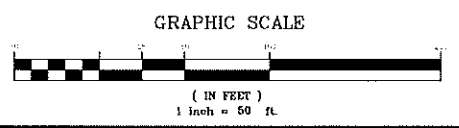
Site Plan 1

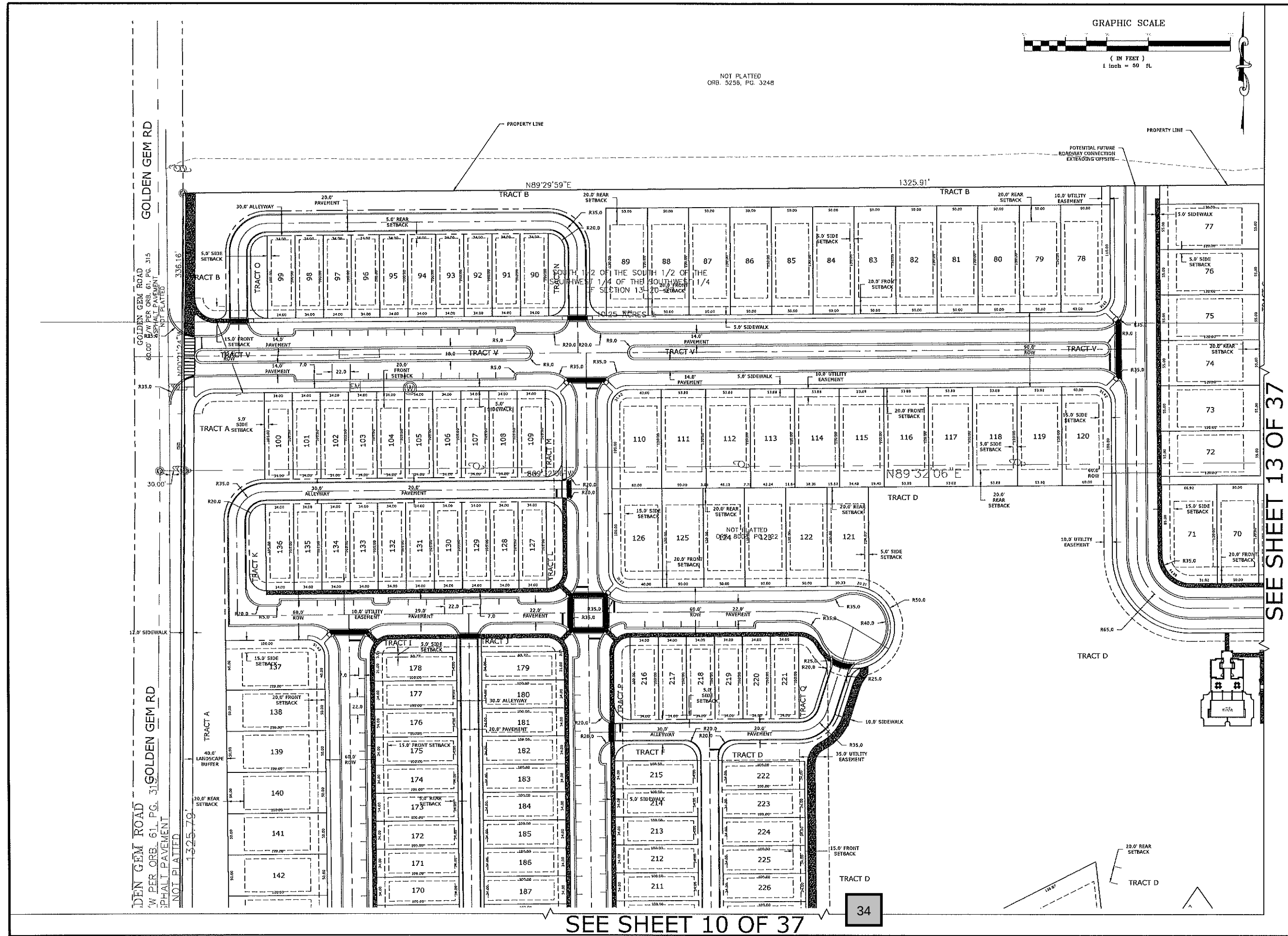
Plans not valid unless Signed,
Dated and Sealed below.

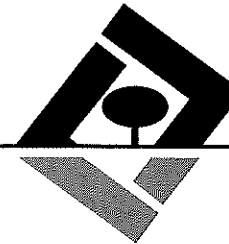
GEORGE L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #58775
Certificate of Authorization #29665

Revisions		
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2	3/23/20	ISSUED FOR PERMIT
3	3/23/20	ISSUED FOR PERMIT
4	3/23/20	ISSUED FOR PERMIT
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10	3/23/20	ISSUED FOR PERMIT

SHEET NUMBER
10 OF 37







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407-239-4565
407-239-6011

Park View
Preserve Subdivision
City of Apopka, Florida
KPI Master/Major
Development Plan

Site Plan 2

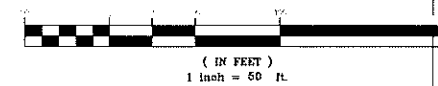
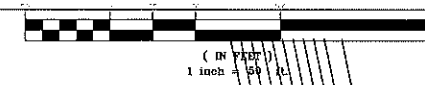
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Date: March 23, 2020
FL Registration #58775
Certificate of Authorization #29665

NO.	DATE	REVISION
1	11/13/19	REVISION FOR PERMITS
2	11/13/19	REVISION FOR PERMITS
3	11/13/19	REVISION FOR PERMITS
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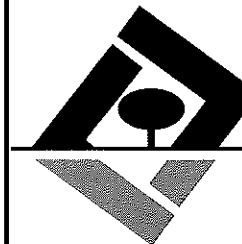
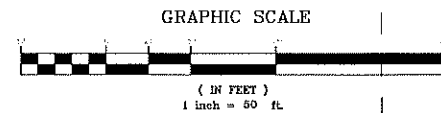
SHEET NUMBER
11 OF 37

SEE SHEET 10 OF 37



12 OF 37

SEE SHEET 11 OF 37



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Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development Plan

Site Plan 4

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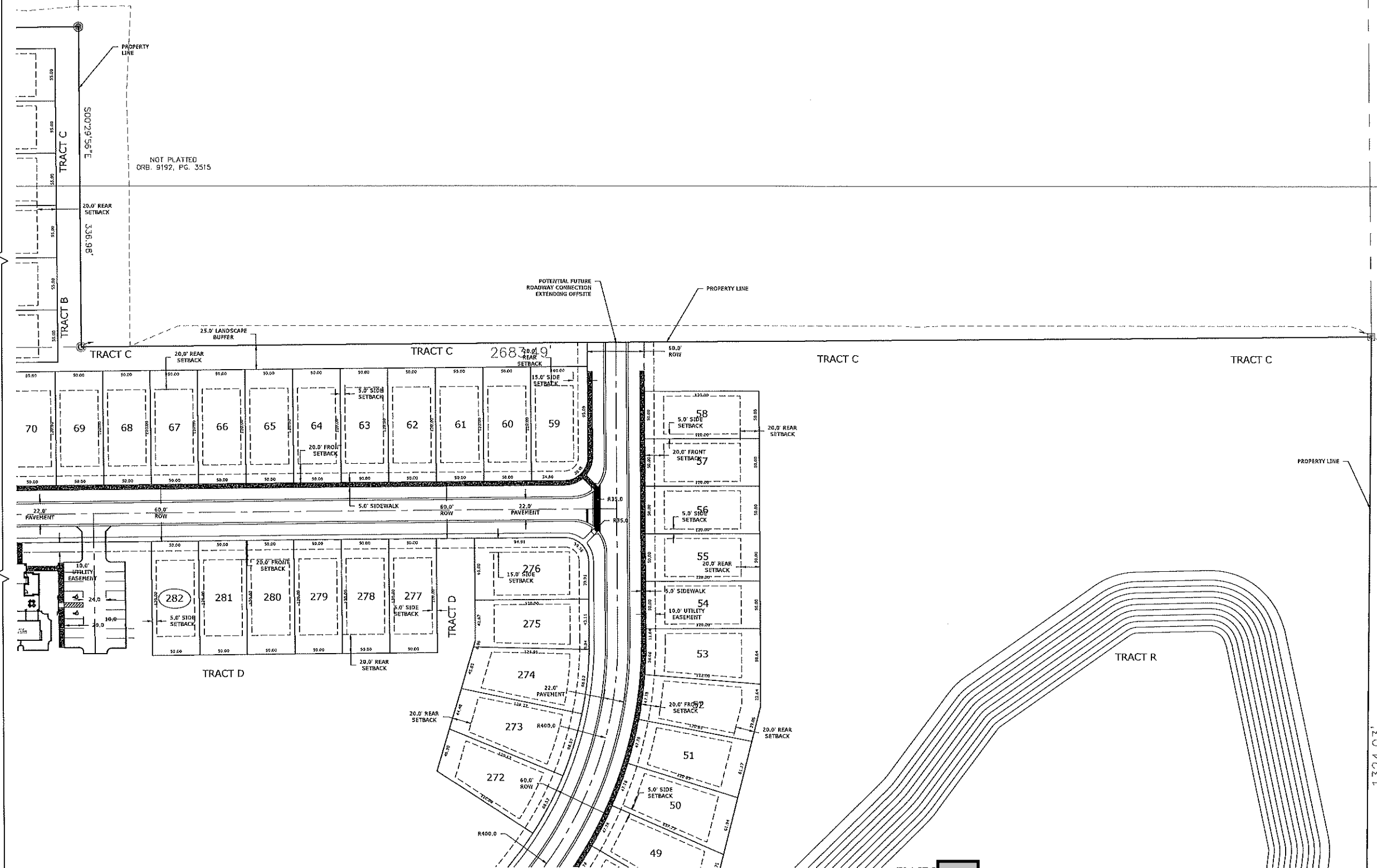
GEORGEY L. SUMMITT, P.E.
Date: March 23, 2020
P.L. Registration #58775
Certificate of Authorization #25665

Revisions

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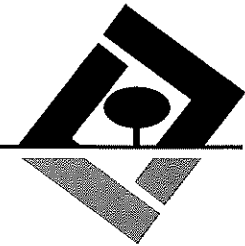
13 OF 37



SEE SHEET 12 OF 37

36

SEE SHEET 15 OF 37



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Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development Plan

Utility Plan 1

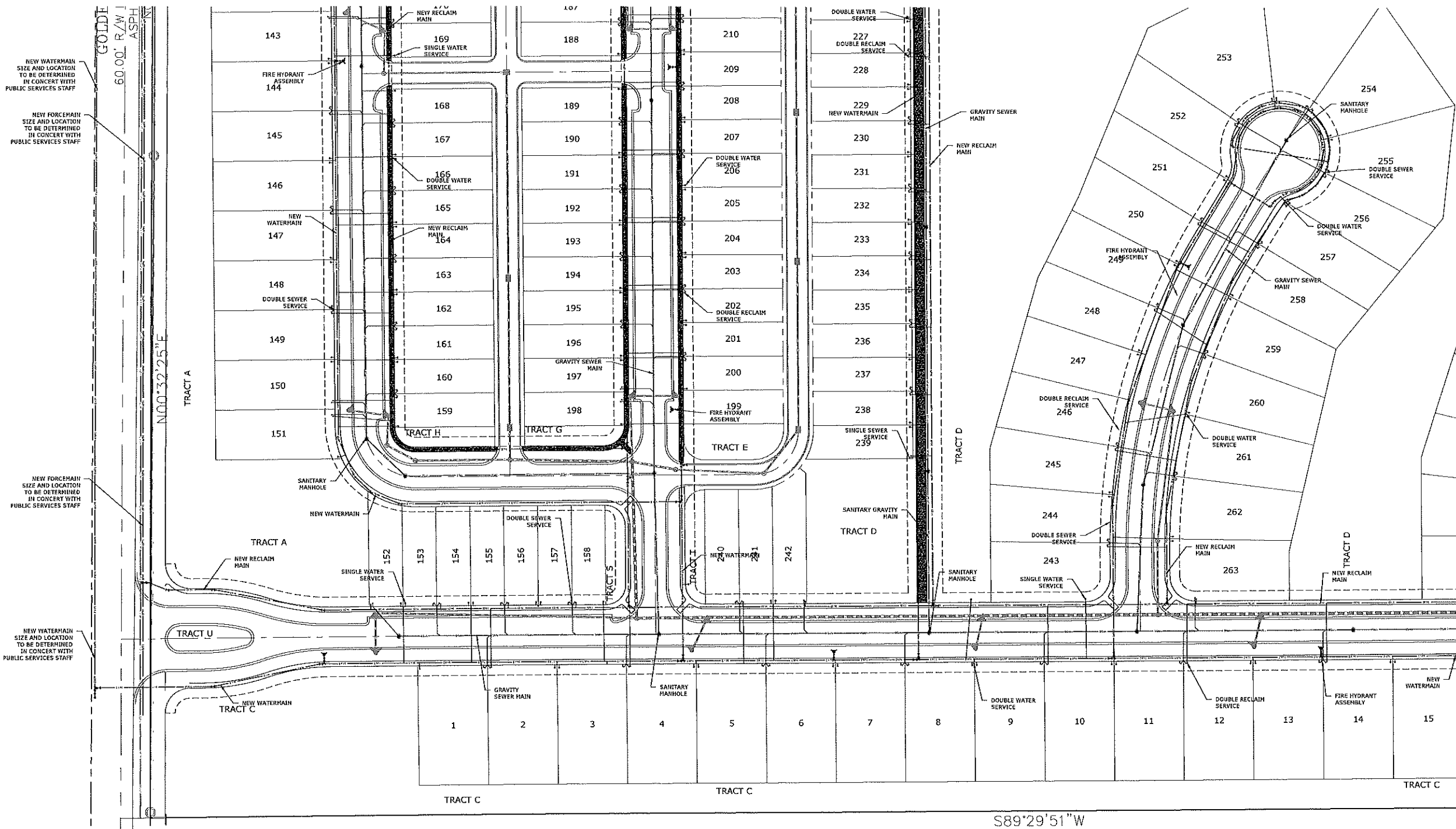
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Date: March 23, 2020
P.L. Registration #58775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	11-1-17	REVISIONS
2	11-1-17	REVISIONS
3	11-1-17	REVISIONS
4	11-1-17	REVISIONS
5	11-1-17	REVISIONS
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7	11-1-17	REVISIONS
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10	11-1-17	REVISIONS

SHEET NUMBER
14 OF 37

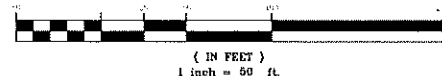


SEE SHEET 16 OF 37

S89°29'51"W

37

GRAPHIC SCALE

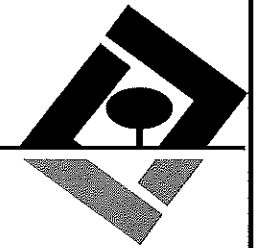


1 inch = 50 ft.

SEE SHEET 17 OF 37

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.



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Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development Plan

Utility Plan 3

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Date: March 23, 2020
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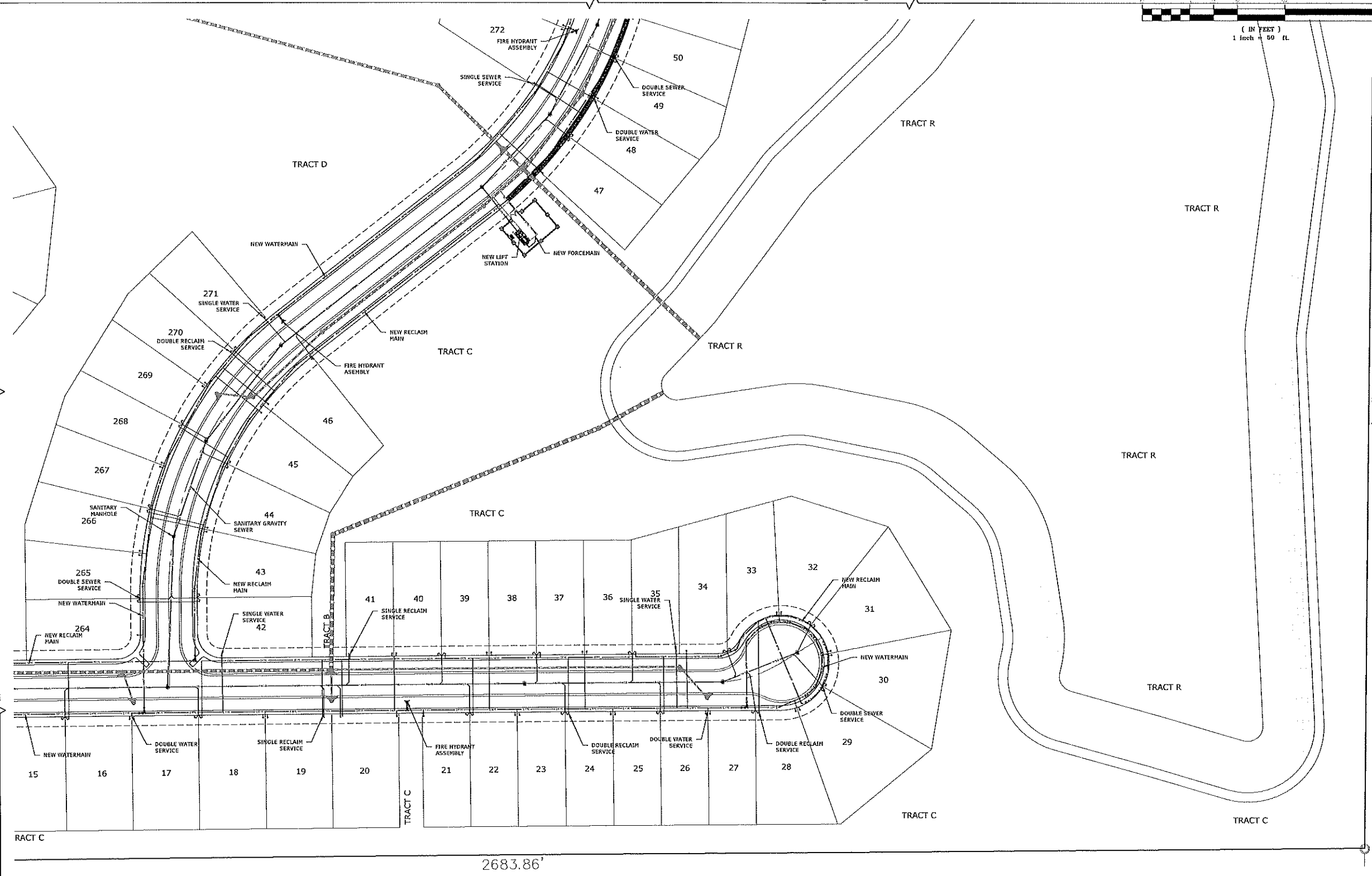
Revisions

NO.	DATE	DESCRIPTION
1	11/21	REVISION 1
2	11/21	REVISION 2
3	11/21	REVISION 3
4	11/21	REVISION 4
5	11/21	REVISION 5
6	11/21	REVISION 6
7	11/21	REVISION 7
8	11/21	REVISION 8
9	11/21	REVISION 9
10	11/21	REVISION 10

SHEET NUMBER

16 OF 37

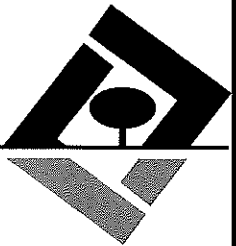
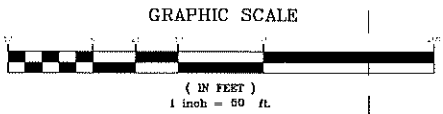
SEE SHEET 14 OF 37



GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

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Utility Plan 4

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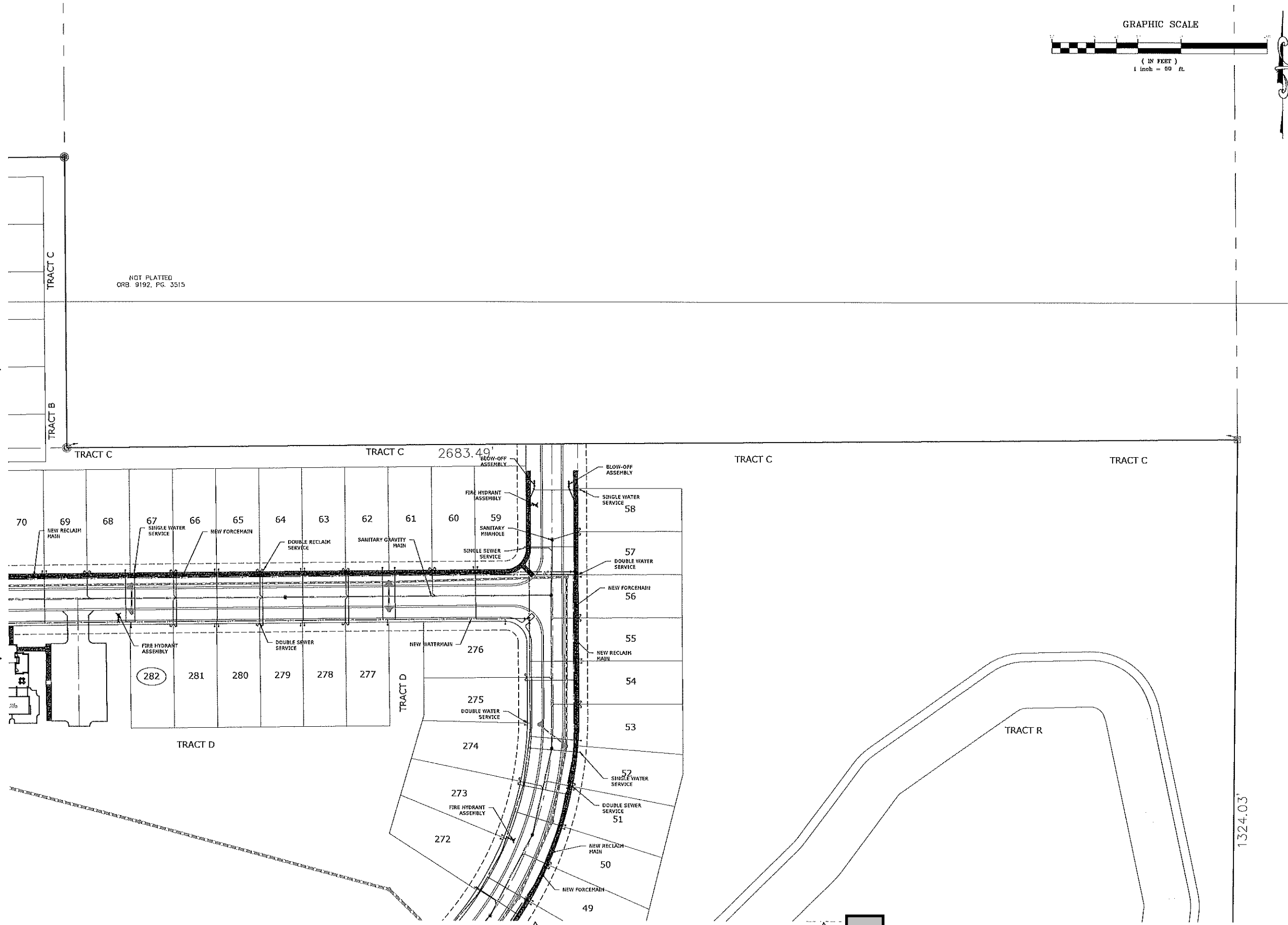
GEOFFREY L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #48775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	1-1-1	ADD REVISIONS
2	1-1-1	ADD REVISIONS
3	1-1-1	ADD REVISIONS
4	1-1-1	ADD REVISIONS
5	1-1-1	ADD REVISIONS
6	1-1-1	ADD REVISIONS
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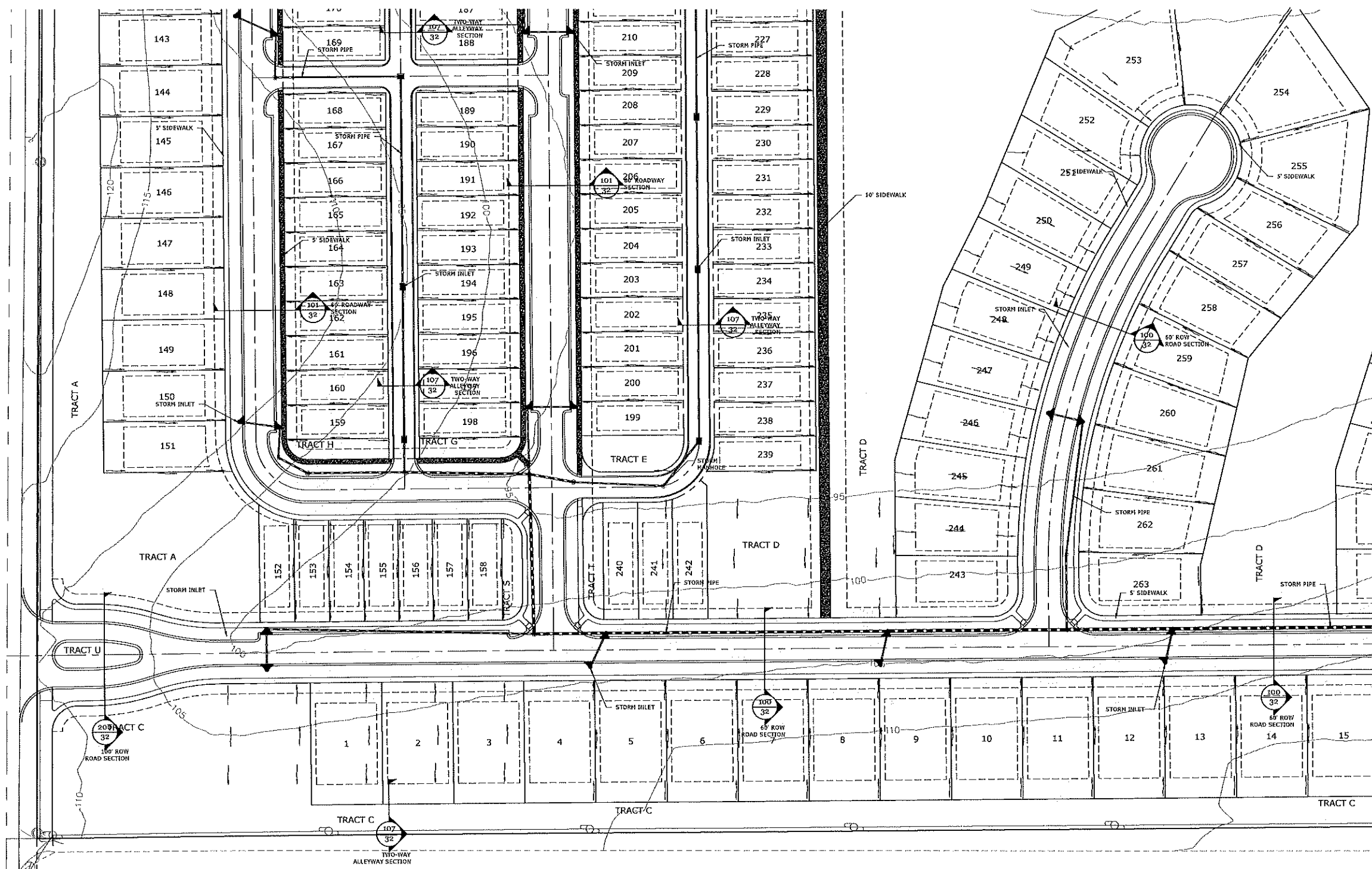
SHEET NUMBER
17 OF 37

SEE SHEET 15 OF 37

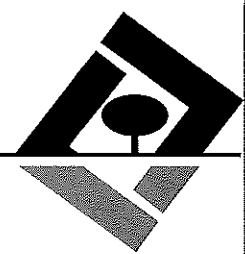


SEE SHEET 16 OF 37

SEE SHEET 19 OF 37



SEE SHEET 20 OF 37



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**Paving &
Drainage Plan 1**

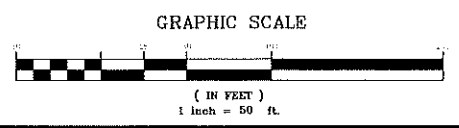
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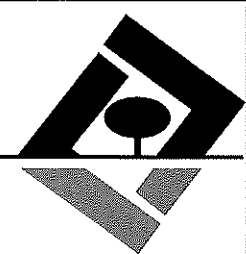
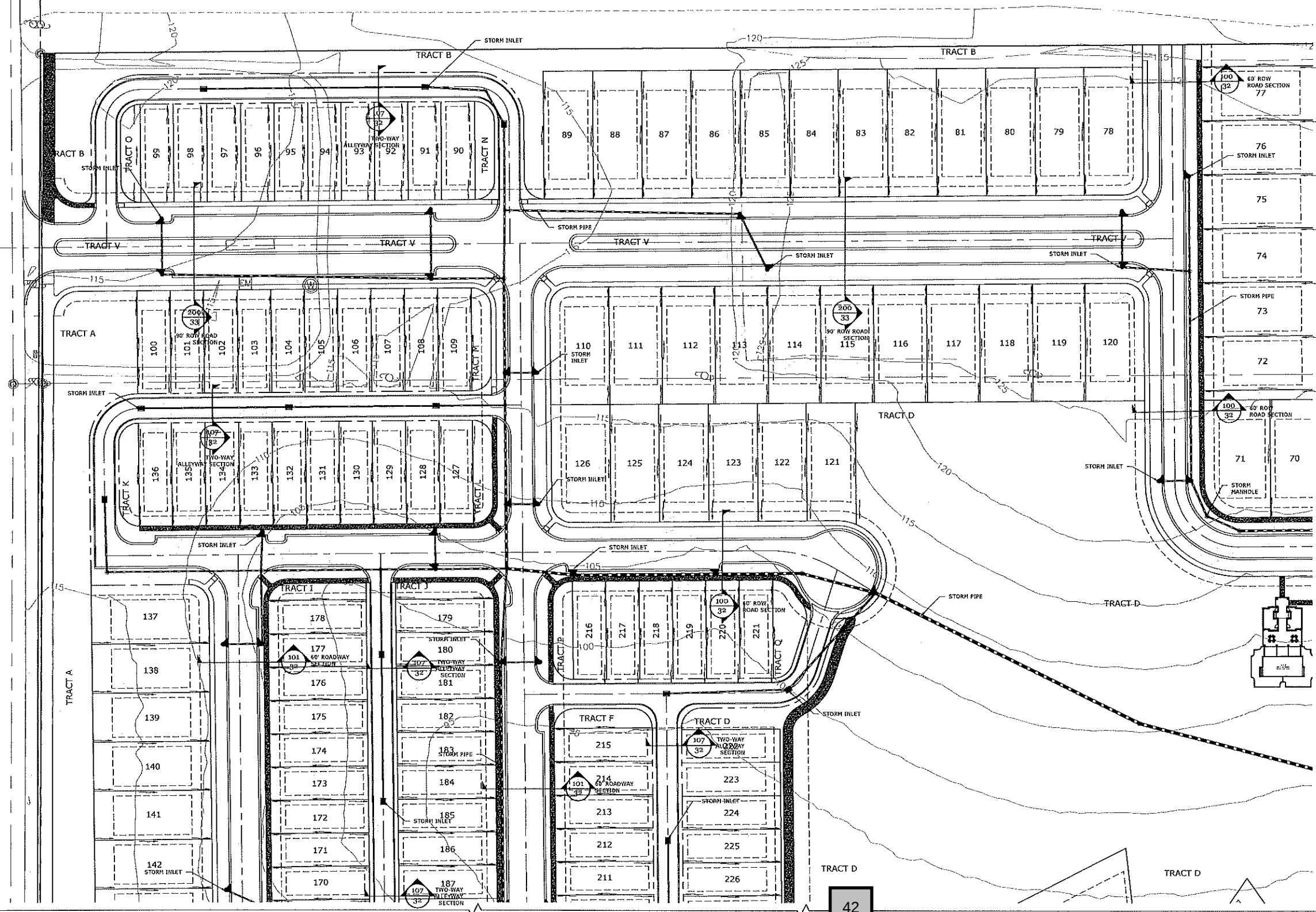
GEORGEY L. SUMMITT, P.E.
Date: March 23, 2020
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Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
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2	12/21/19	12/21/19
3	12/21/19	12/21/19
4	12/21/19	12/21/19
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8	12/21/19	12/21/19
9	12/21/19	12/21/19
10	12/21/19	12/21/19

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**Paving &
Drainage Plan 2**

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GEORGEY L. SUMMITT, P.E.
Date: March 23, 2020
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Revisions		
NO.	DATE	DESCRIPTION
1	11-11-19	11-11-19
2	11-11-19	11-11-19
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4	11-11-19	11-11-19
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SHEET NUMBER
19 OF 37

SEE SHEET 18 OF 37

42

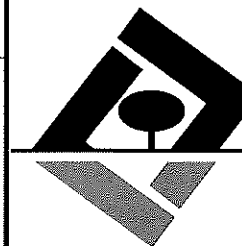
SEE SHEET 21 OF 37

SEE SHEET 18 OF 37

SEE SHEET 21 OF 37

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.



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**Paving &
Drainage Plan 3**

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Date: March 23, 2020
FL Registration #28775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	3/23/20	W/*****
2	3/23/20	W/*****
3	3/23/20	W/*****
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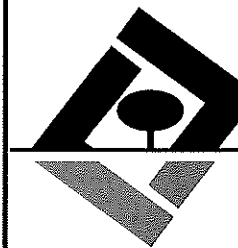
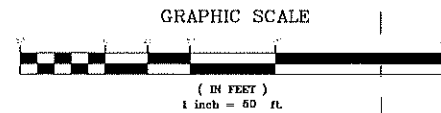
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GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

43

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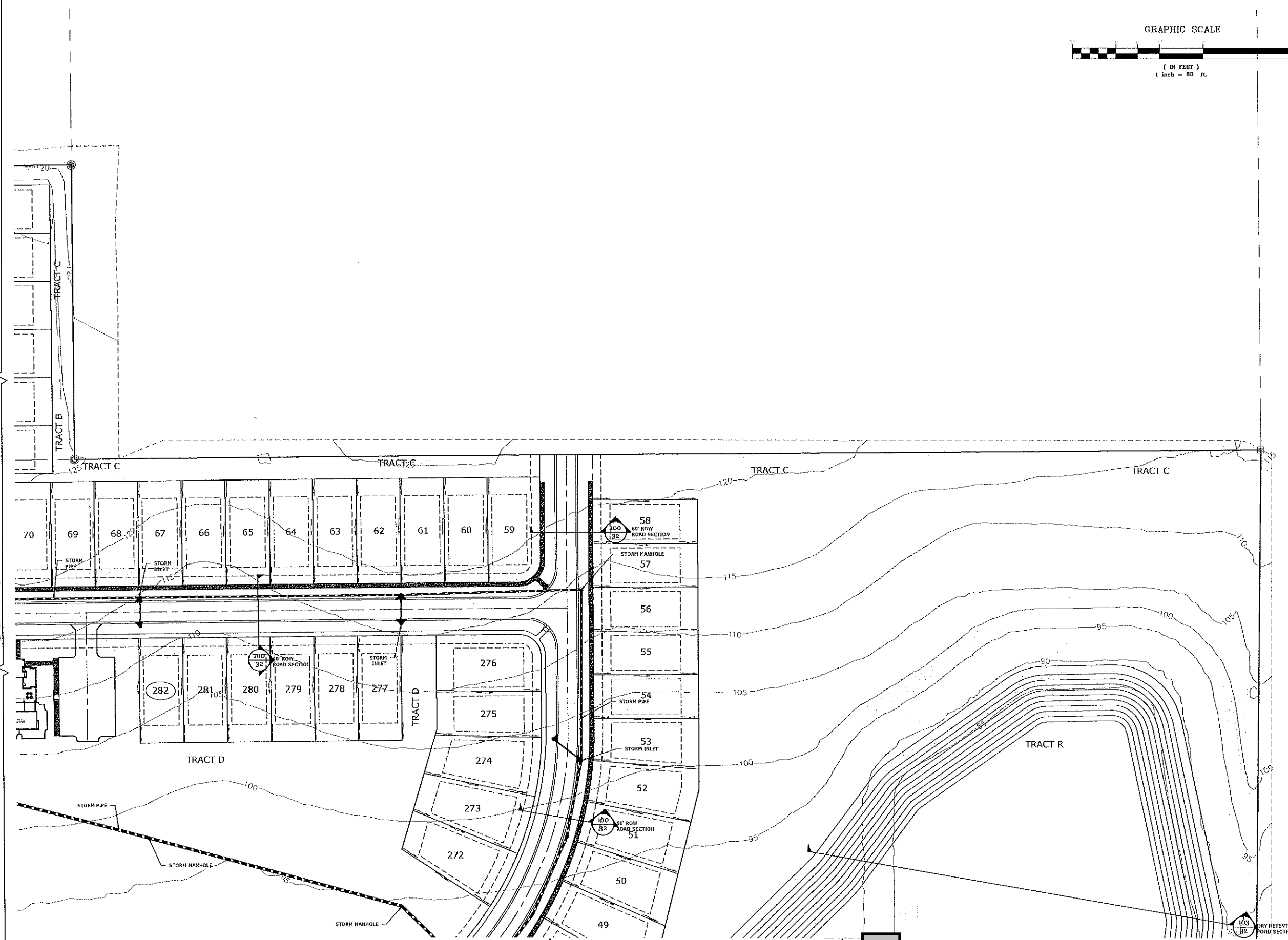
**Paving &
Drainage Plan 4**

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GEOFFREY L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #58775
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Revisions		
NO.	DATE	DESCRIPTION
1	11-22-17	INITIAL DESIGN
2	04-04-18	DESIGN REVISIONS
3	07-07-18	DESIGN REVISIONS
4	08-07-18	DESIGN REVISIONS
5	11-01-18	DESIGN REVISIONS
6	01-04-19	DESIGN REVISIONS
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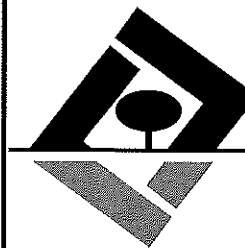
SHEET NUMBER
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Landscape Plan
1

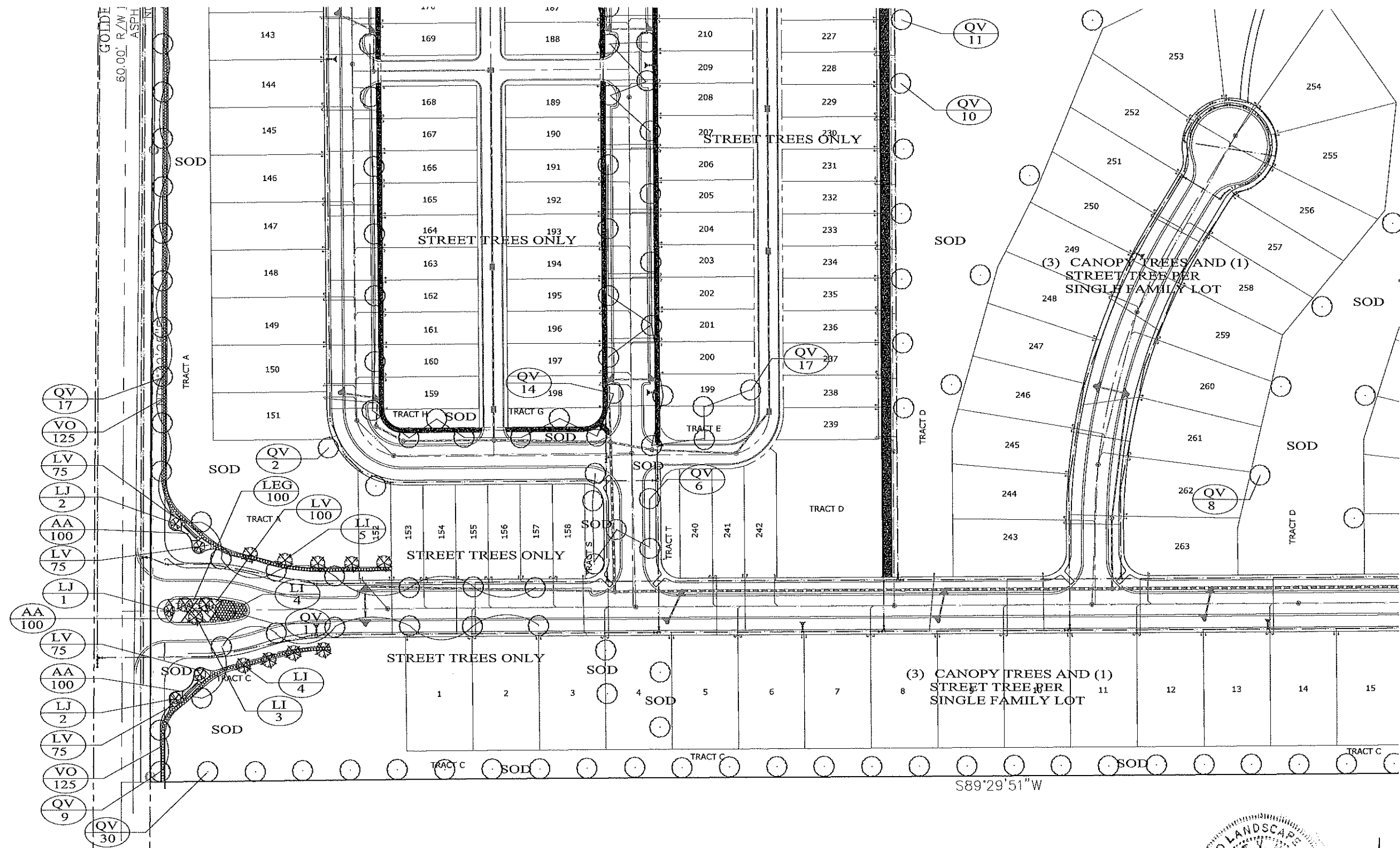
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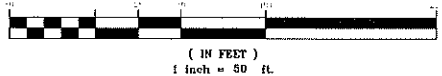
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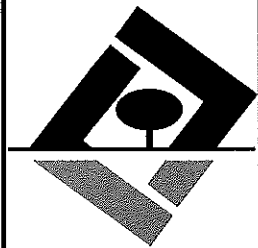
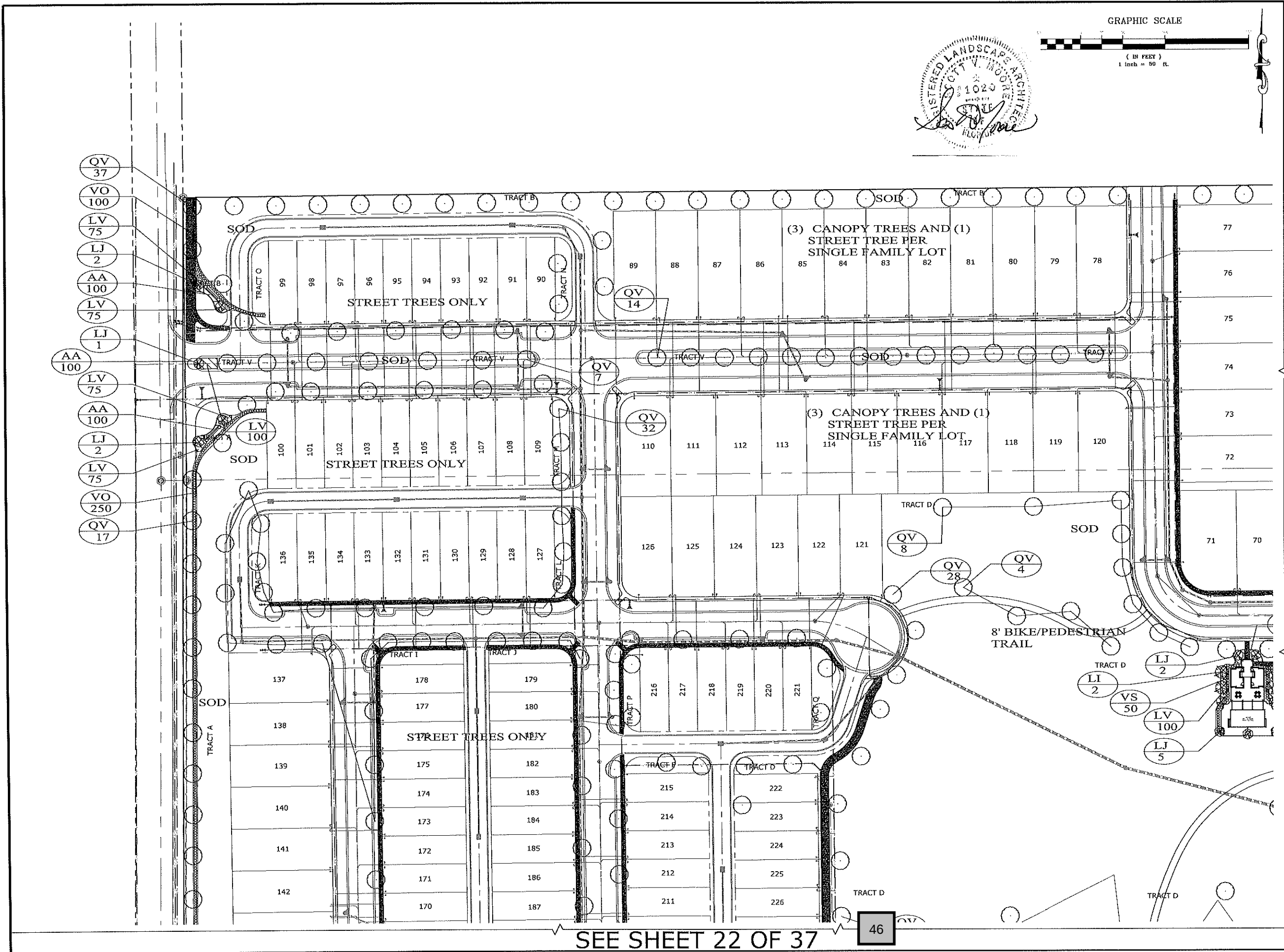
SHEET NUMBER
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GRAPHIC SCALE





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2

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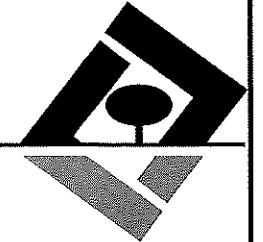
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2	11-11-19	Final Design
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7	11-11-19	Final Design
8	11-11-19	Final Design
9	11-11-19	Final Design
10	11-11-19	Final Design

SHEET NUMBER
23 OF 37

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GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.



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3

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Date: March 23, 2020
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Revisions

NO.	DATE	DESCRIPTION
1	11/11/11	11/11/11
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SHEET NUMBER

24 OF 37

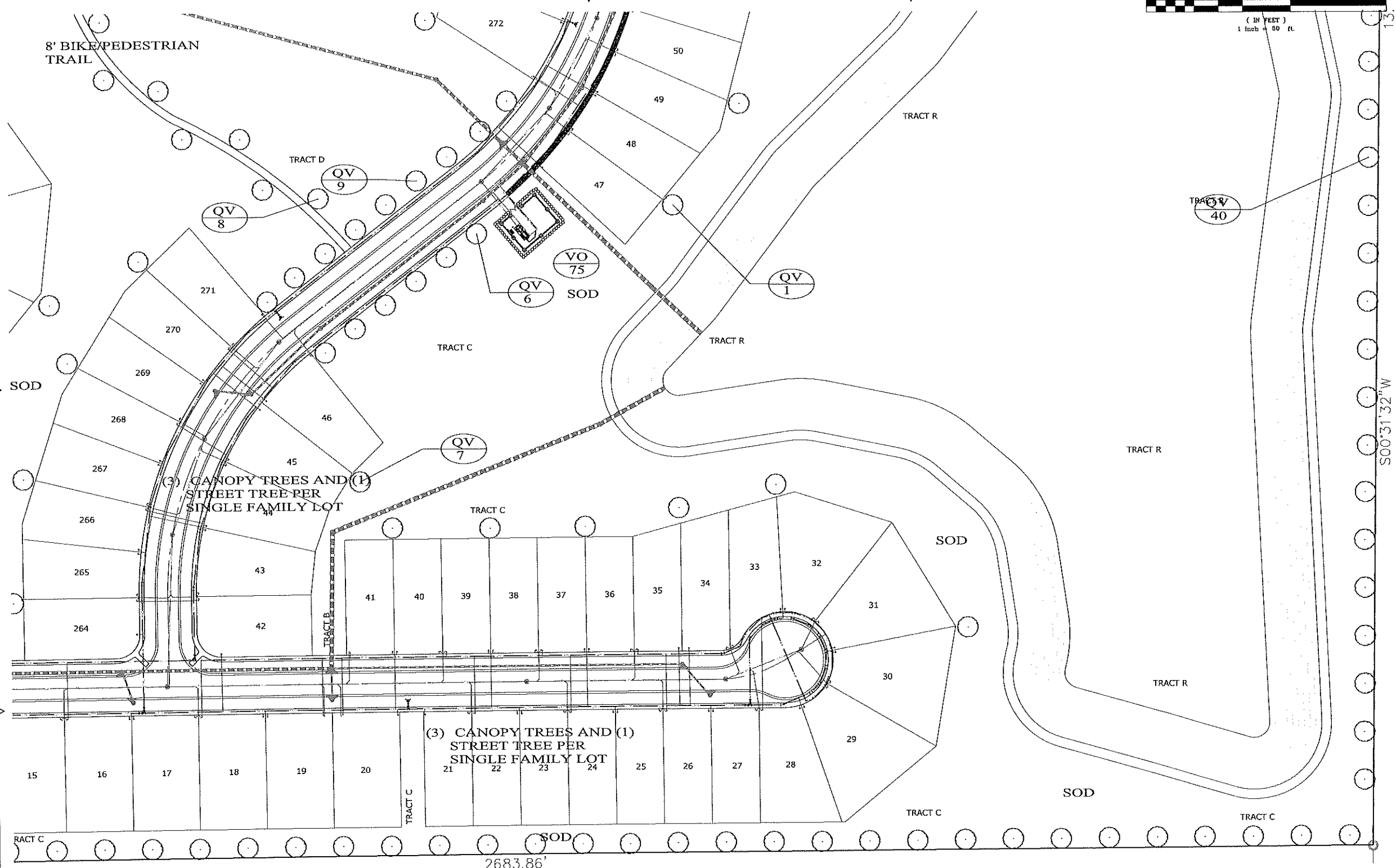


GRAPHIC SCALE

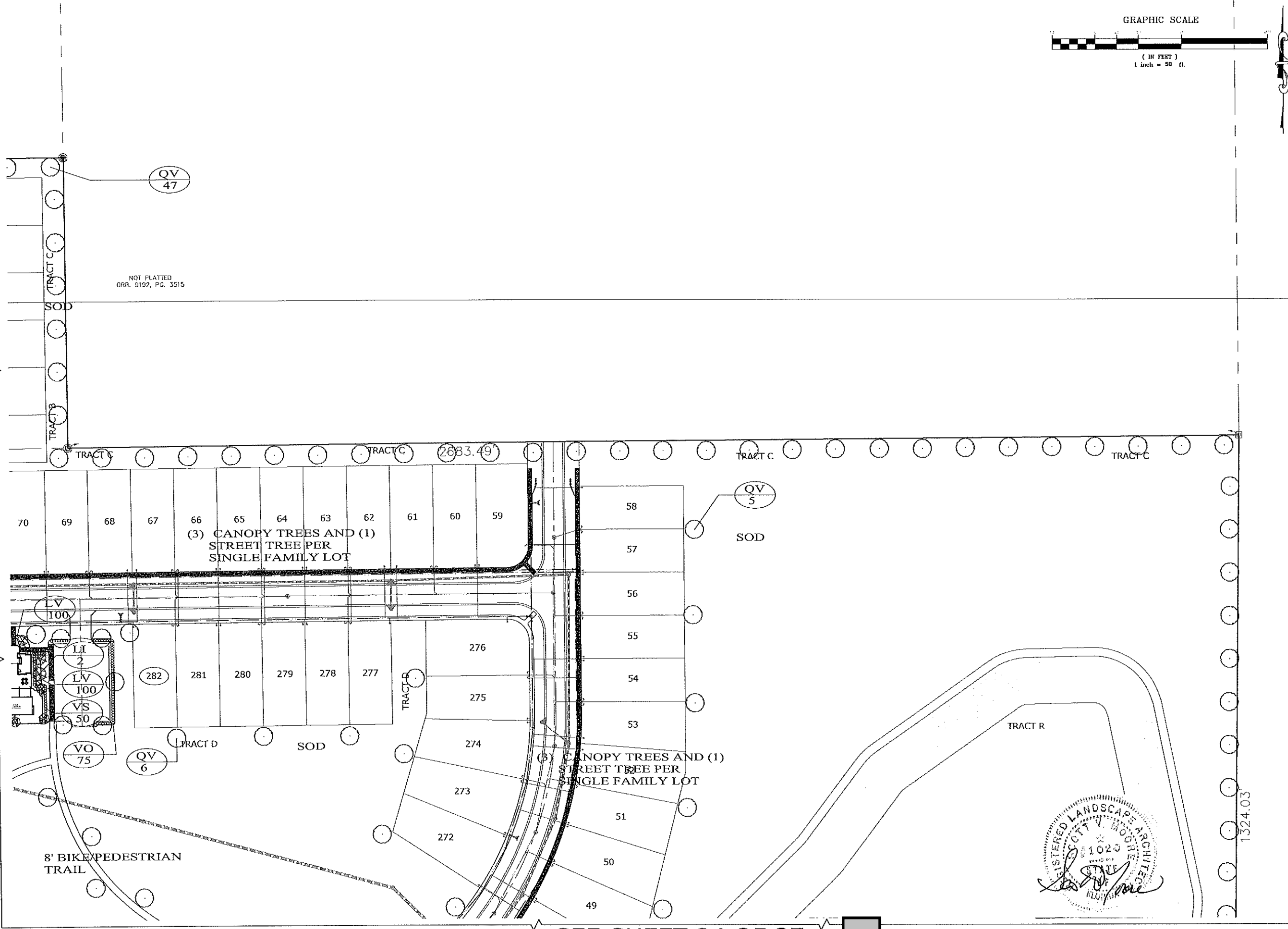
(IN FEET)
1 inch = 50 ft.

47

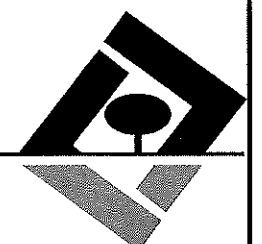
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4

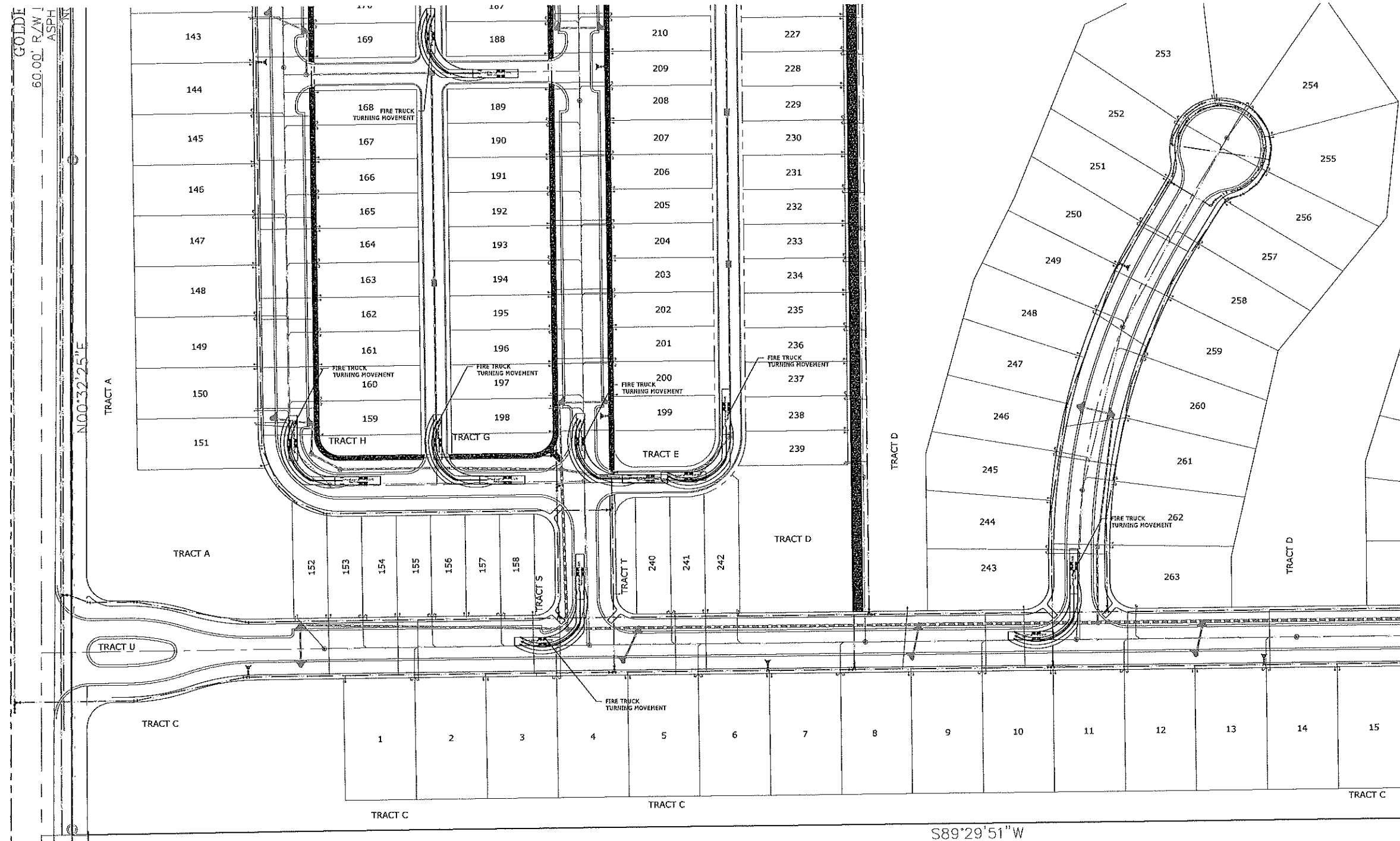
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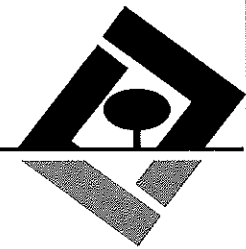
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SHEET NUMBER
25 OF 37

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SEE SHEET 30 OF 37



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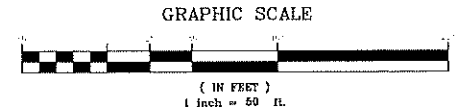
Truck Turning
Plan 1

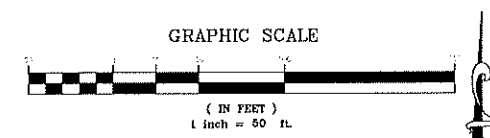
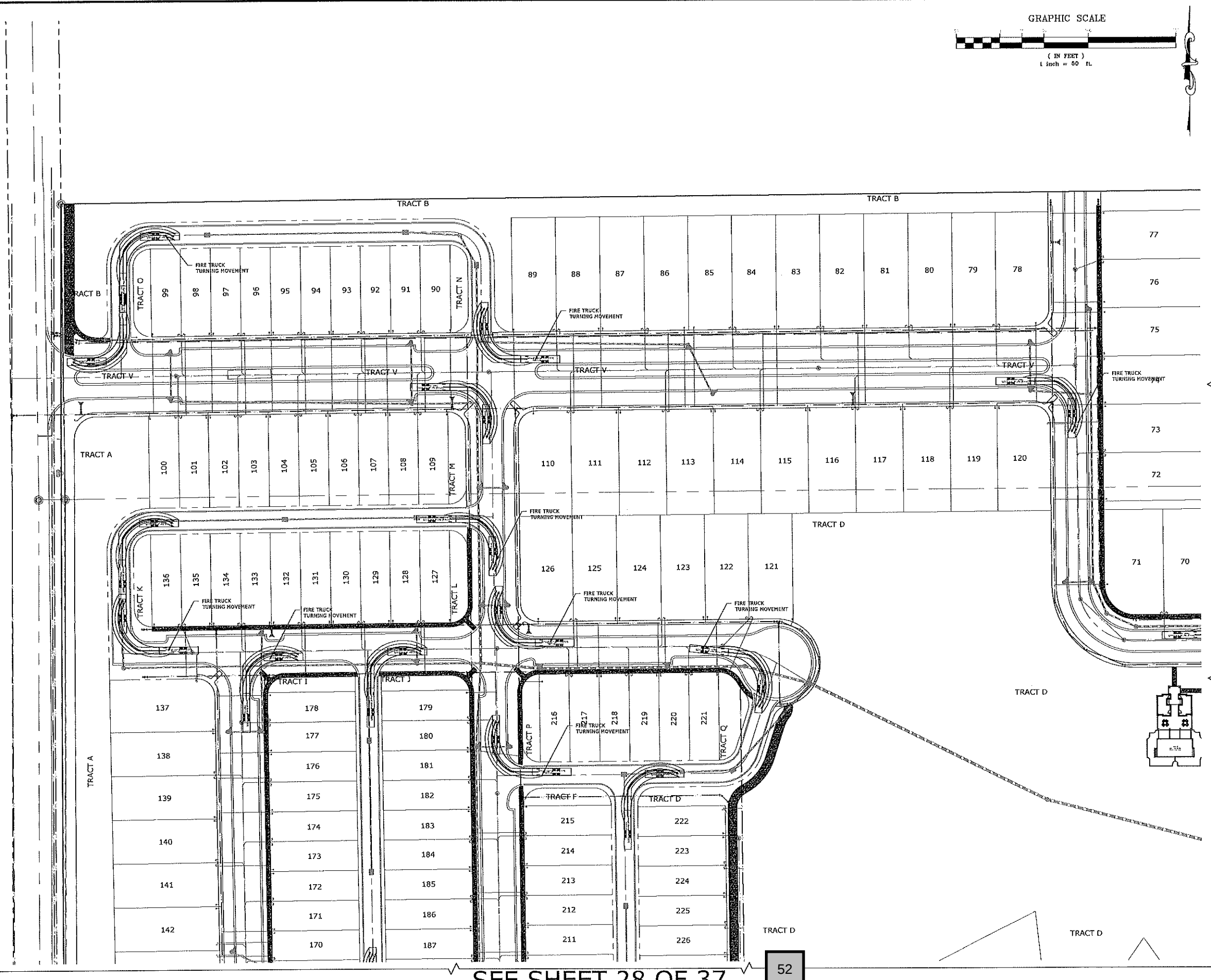
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Date: March 23, 2020
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Revisions		
NO.	DATE	DESCRIPTION
1	03/23/20	Initial Design
2	03/23/20	Revised Design
3	03/23/20	Final Design
4	03/23/20	Final Design
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SHEET NUMBER
28 OF 37

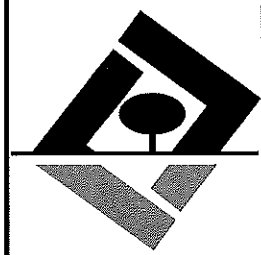




SEE SHEET 31 OF 37

SEE SHEET 28 OF 37

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**Truck Turning
Plan 2**

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GEORFREY L. SUMMITT, P.E.
Date: March 23, 2020
P.E. Registration #28375
Certificate of Authorization #29665

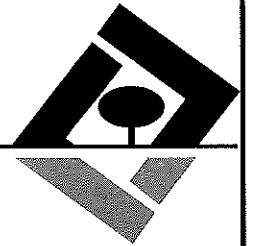
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5	11/11/19	ADD LOT 138
6	11/11/19	ADD LOT 137
7	11/11/19	ADD LOT 136
8	11/11/19	ADD LOT 135
9	11/11/19	ADD LOT 134
10	11/11/19	ADD LOT 133

SHEET NUMBER
29 OF 37

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GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.



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**Truck Turning
Plan 3**

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Date: March 23, 2020
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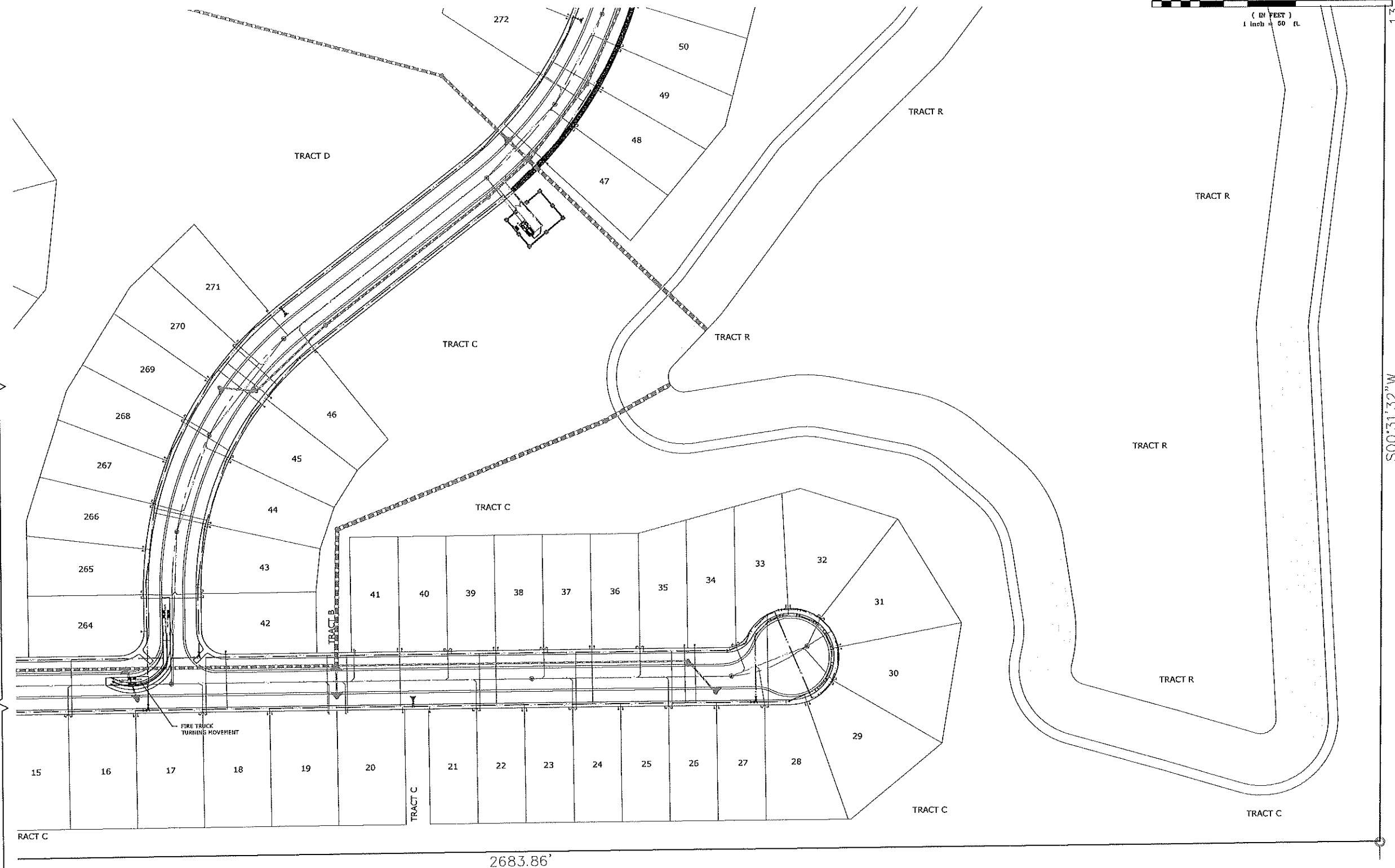
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1	11-21	ADDITIONAL REVISIONS
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8	11-21	ADDITIONAL REVISIONS
9	11-21	ADDITIONAL REVISIONS
10	11-21	ADDITIONAL REVISIONS

SHEET NUMBER

30 OF 37

SEE SHEET 28 OF 37



GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.



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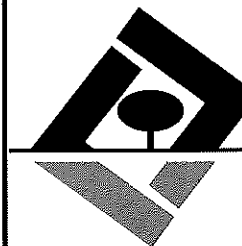
Date: March 23, 2020
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SHEET NUMBER

31 OF 37

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General Detail 1

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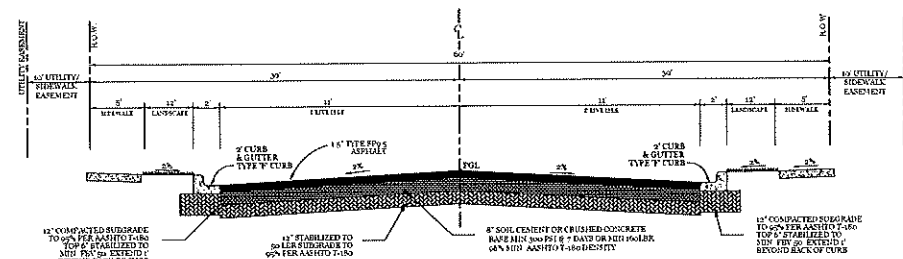
Date: March 23, 2020
P.E. Registration # 455775
Certificate of Authorization #29665

Revisions

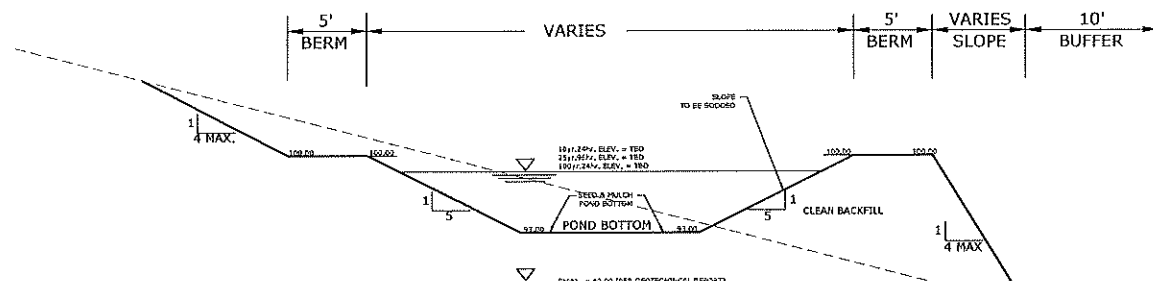
NO.	DATE	DESCRIPTION
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10	1-22-1	QUANTITY TAKEOFF

SHEET NUMBER

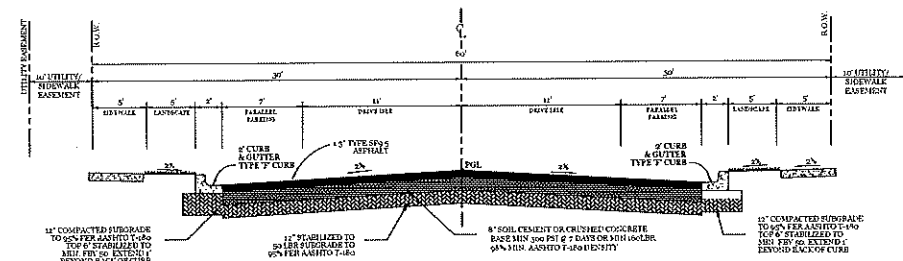
32 OF 37



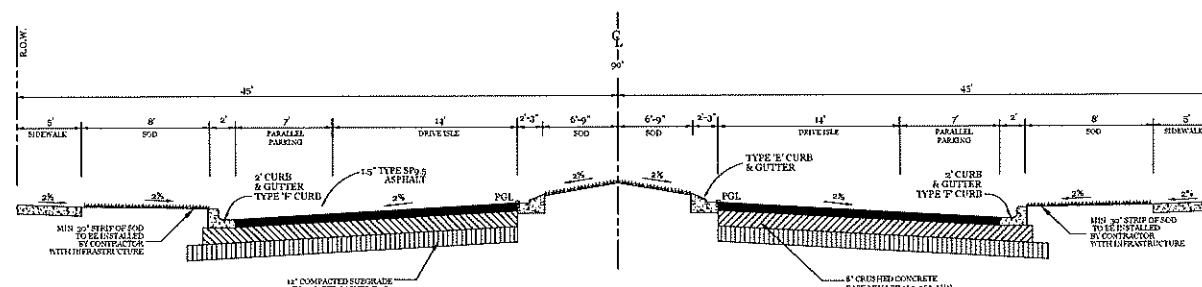
100 TYPICAL 60' ROW ROADWAY CROSS SECTION DETAIL
N.T.S.



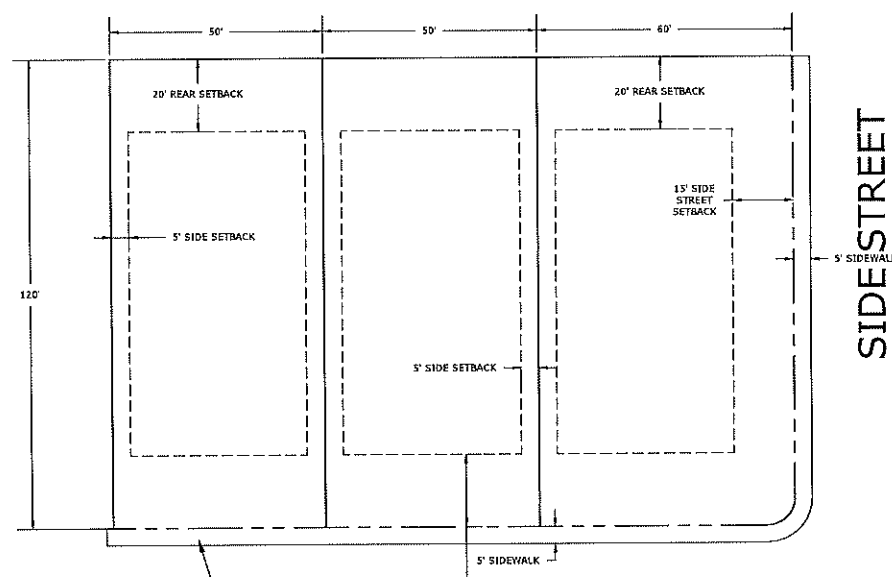
103 DRY RETENTION POND CROSS SECTION
N.T.S.



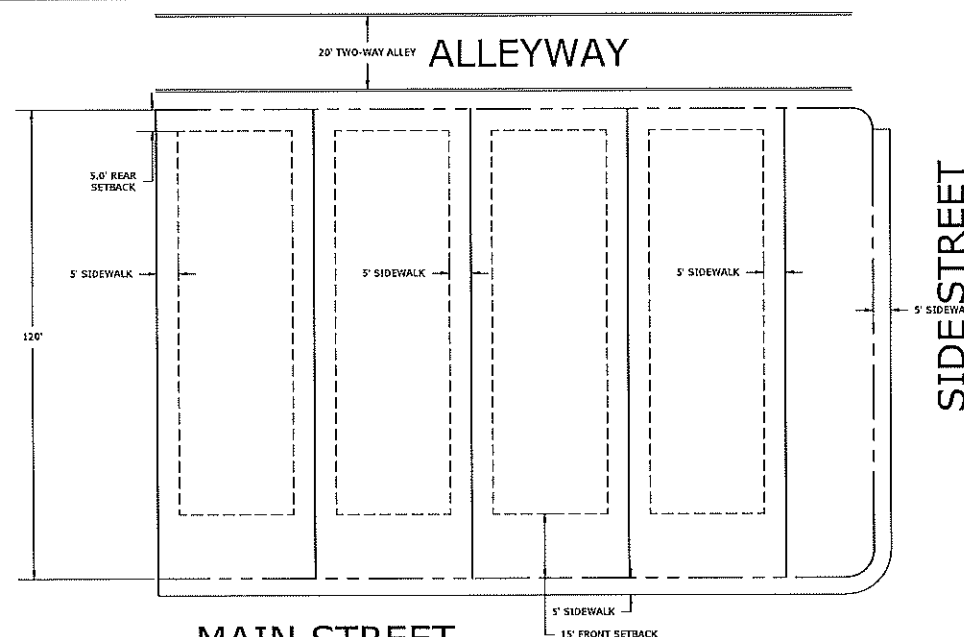
101 TYPICAL 60' ROW ON-STREET PARKING CROSS SECTION DETAIL
N.T.S.



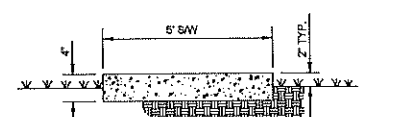
104 TYPICAL ROADWAY SECTION 'ENTRANCE ROAD' AT MEDIAN
N.T.S.



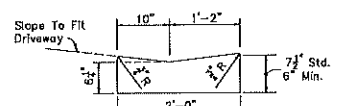
102 TYPICAL 50' LOT LAYOUT PLAN
N.T.S.



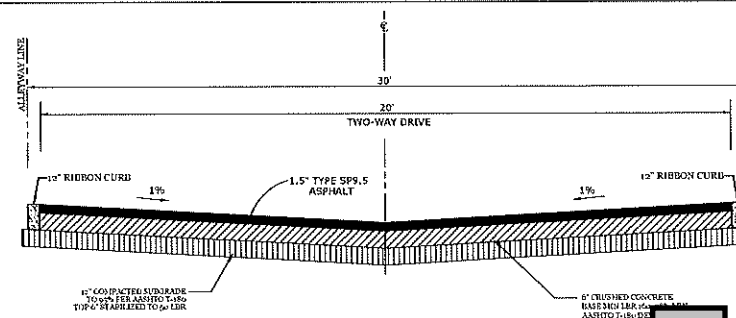
106 TYPICAL ALLEYWAY LOT CONFIGURATION
N.T.S.



105 STANDARD SIDEWALK DETAIL
N.T.S.



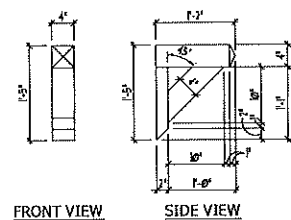
300M MIAMI CURB
N.T.S.



107 TYPICAL TWO-WAY ALLEYWAY SECTION
N.T.S.

55

SCALE: 1/8" = 1'-0"

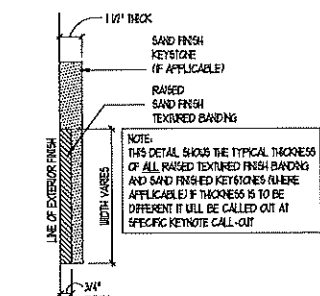


FRONT VIEW

SIDE VIEW

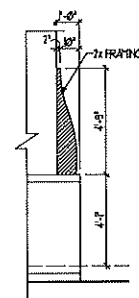
DECORATIVE BRACKET DETAIL "A"

SCALE: 3/4" = 1'-0"



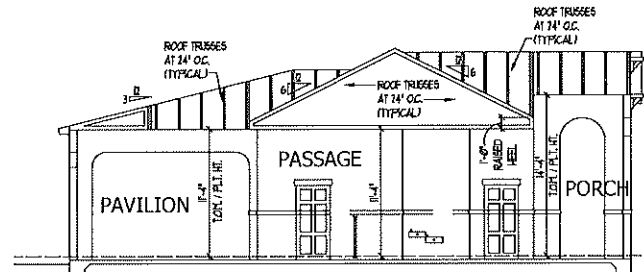
TYP. CROSS-SECTION OF RAISED
TEXTURED FINISH BANDING AND /
OR SAND FINISH KEYSTONE

SCALE 3" = 1'-0"



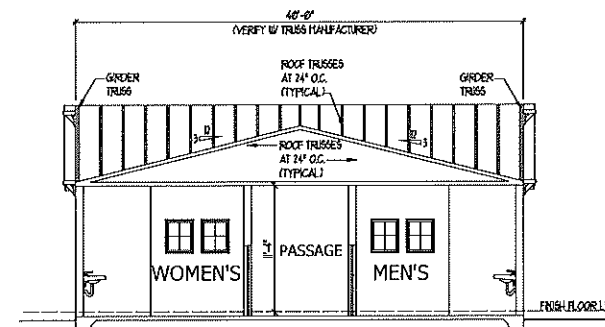
WING WALL DETAIL

SCALE: 1/4" = 1'-0"



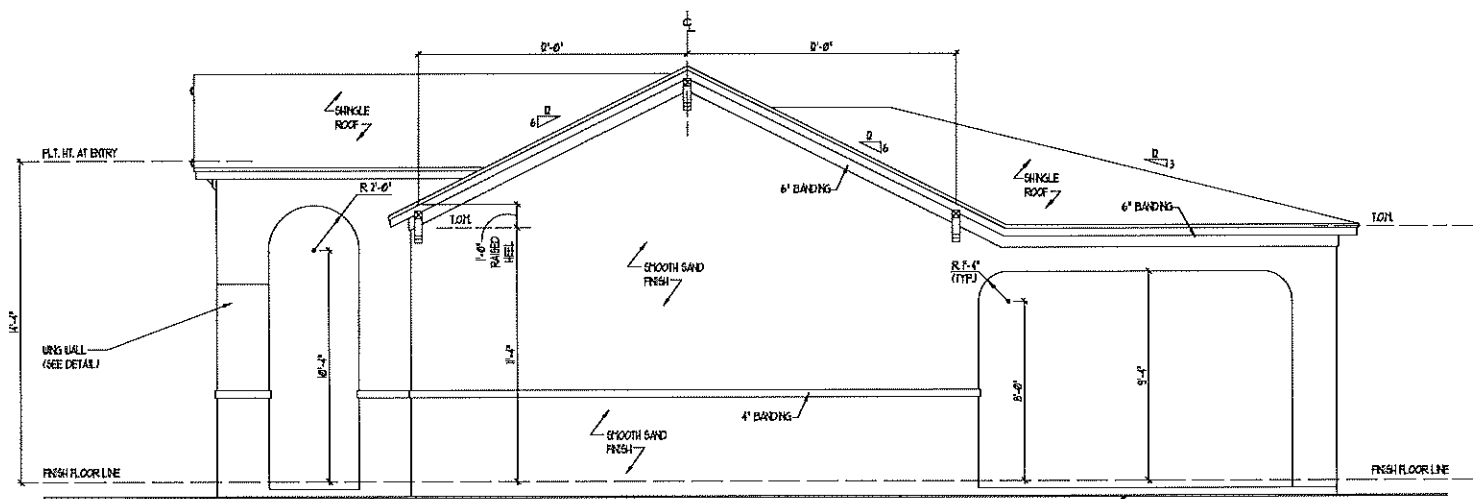
SECTION AA

SCALE: 100 = 1-0



SECTION BB

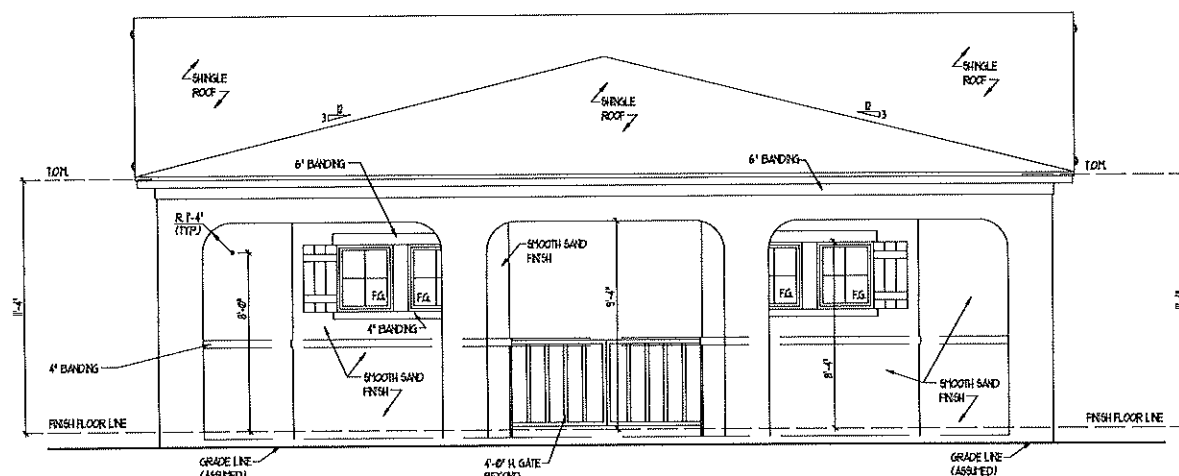
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

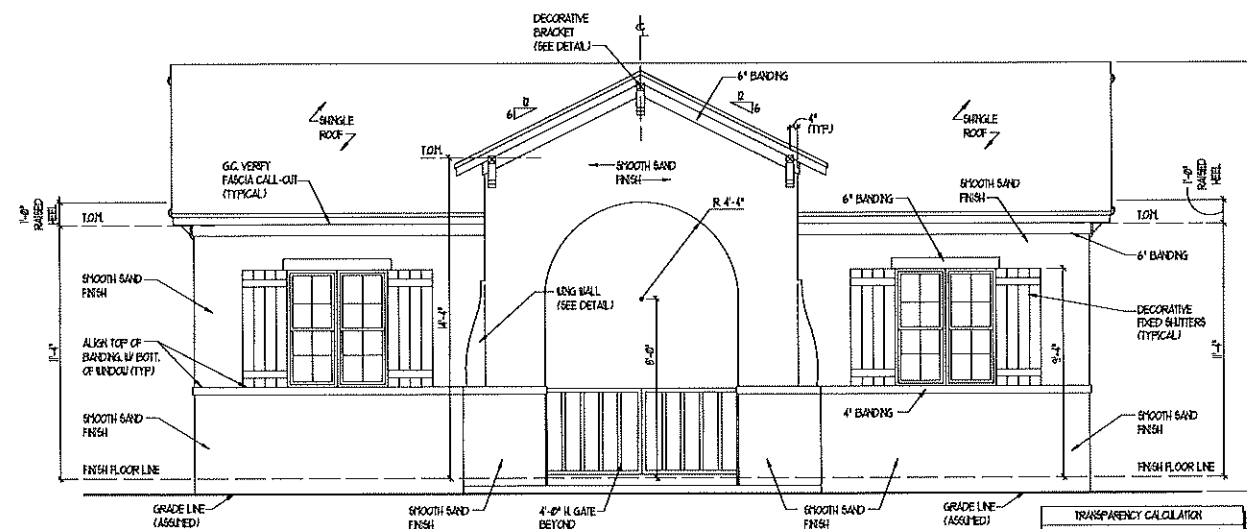
TYP. AT LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



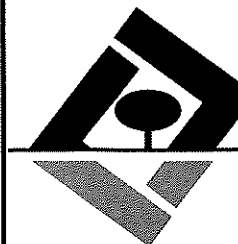
FRONT ELEVATION

SCALE: V4^a = P-D

TRANSPARENCY CALCULATION		
TOTAL FACADE SURFACE AREA	5% REQ.	75% MIN. PROVIDED
370 SF.	40 SF.	56 SF.

THIS DOES INCLUDE FRENCH DOOR GLASS

THIS DOES INCLUDE FRENCH DOOR GLASS



G L SUMMITT
—ENGINEERING INC.—

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407-239-6011

Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development PlanArchitectural
Elevations 1

**Plans not valid unless Signed,
Dated and Scaled below.**

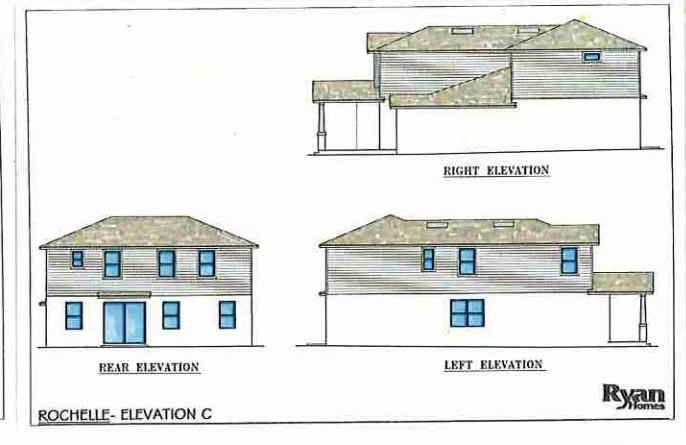
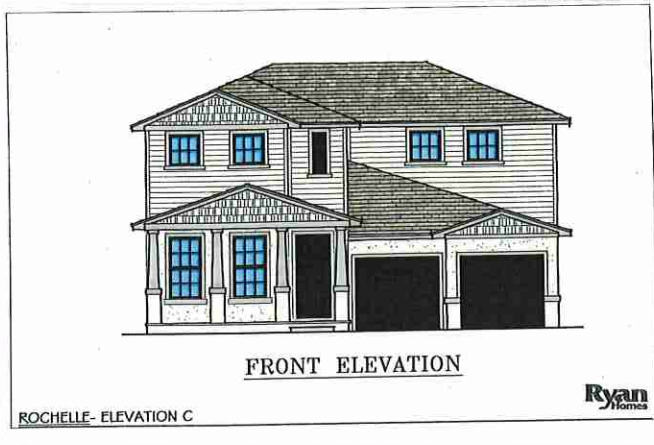
GEOFFREY L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #58775
Certificate of Authorization #29665

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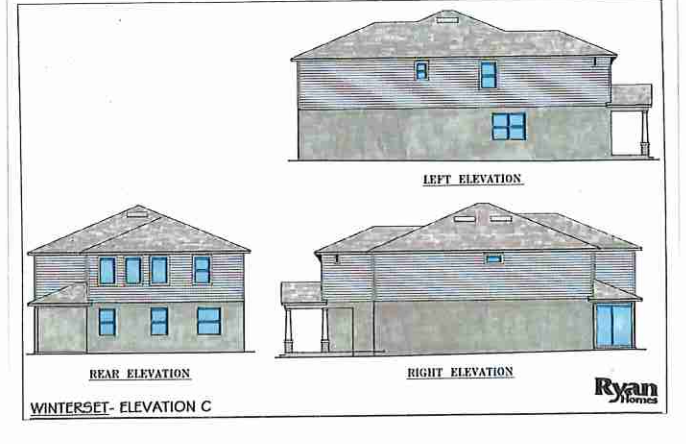
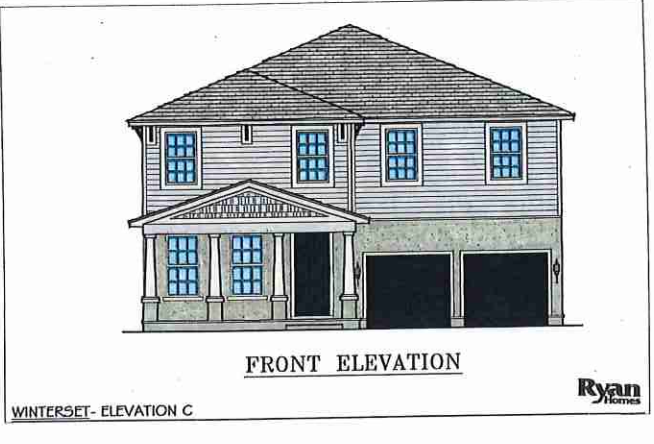
SHEET NUMBER

34 OF 37

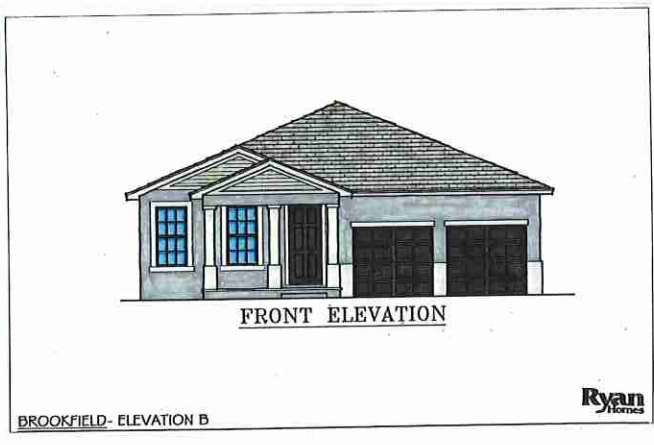
Ryan Homes
ROCHELLE



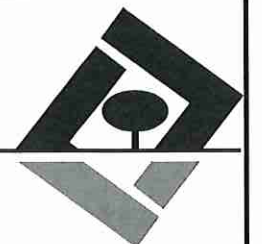
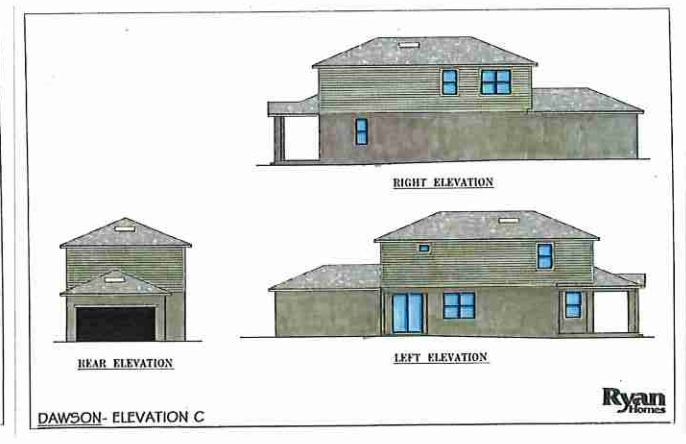
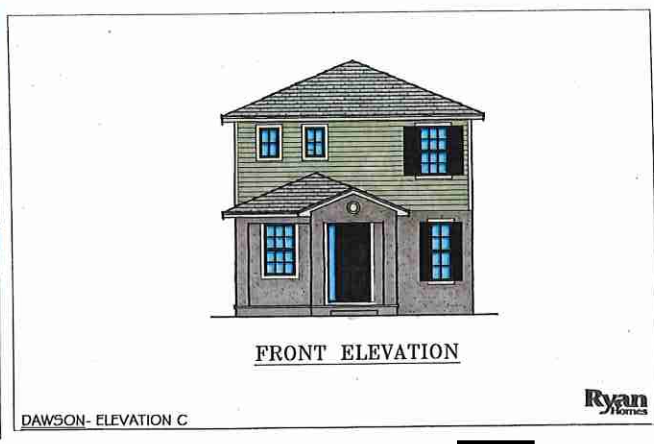
Ryan Homes
WINTERSET



Ryan Homes
BROOKFIELD



Ryan Homes
DAWSON



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City of Apopka, Florida
KPI Master/Major
Development Plan

Architectural
Elevations 2

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GEOFFREY L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #188775
Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	1-11-17	ADDITIONAL REVISIONS
2	1-11-17	ADDITIONAL REVISIONS
3	1-11-17	ADDITIONAL REVISIONS
4	1-11-17	ADDITIONAL REVISIONS
5	1-11-17	ADDITIONAL REVISIONS
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7	1-11-17	ADDITIONAL REVISIONS
8	1-11-17	ADDITIONAL REVISIONS
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10	1-11-17	ADDITIONAL REVISIONS

SHEET NUMBER
35 OF 37

Ryan
Homes

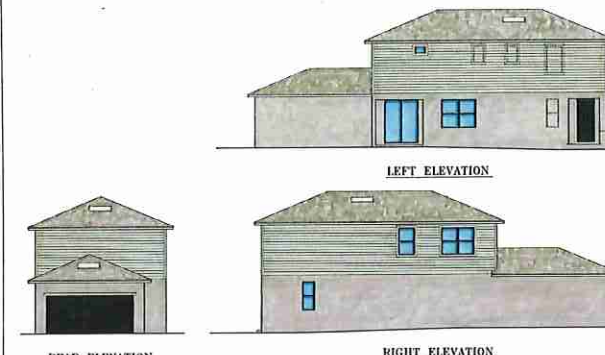
DAWSON



FRONT ELEVATION

DAWSON- ELEVATION A

Ryan
Homes



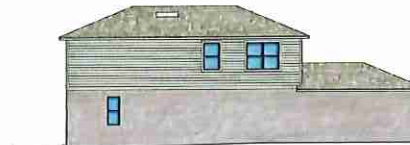
REAR ELEVATION

DAWSON- ELEVATION A

Ryan
Homes



LEFT ELEVATION



RIGHT ELEVATION

Ryan
Homes

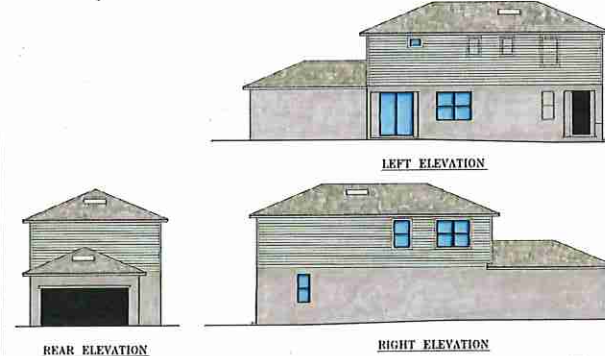
HUTCHINSON



FRONT ELEVATION

HUTCHINSON- ELEVATION B

Ryan
Homes



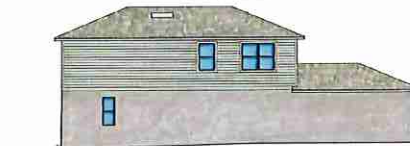
REAR ELEVATION

DAWSON- ELEVATION A

Ryan
Homes



LEFT ELEVATION



RIGHT ELEVATION

Ryan
Homes

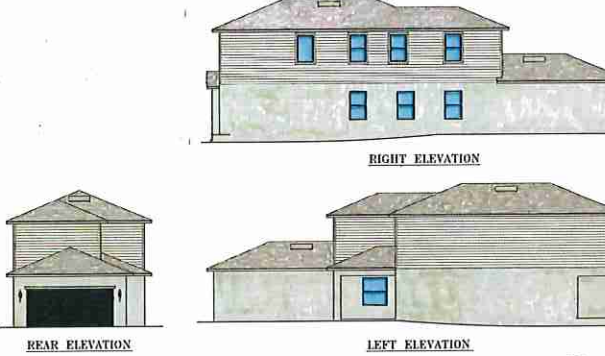
HUTCHINSON



FRONT ELEVATION

HUTCHINSON- ELEVATION B

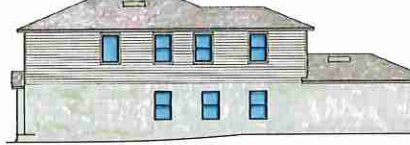
Ryan
Homes



REAR ELEVATION

HUTCHINSON- ELEVATION B

Ryan
Homes



RIGHT ELEVATION



LEFT ELEVATION

Ryan
Homes

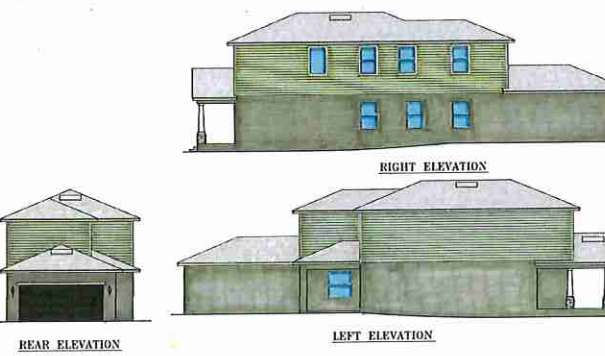
HUTCHINSON



FRONT ELEVATION

HUTCHINSON- ELEVATION C

Ryan
Homes



REAR ELEVATION

HUTCHINSON- ELEVATION C

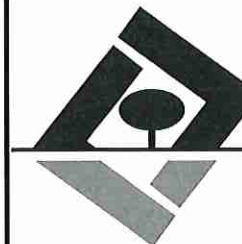
Ryan
Homes



RIGHT ELEVATION



LEFT ELEVATION



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Elevations 3

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GEOFFREY L. SUMMITT, P.E.
Date: March 23, 2020
FL Registration #: 88775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	1-11-17	ALL INFORMATION HEREIN IS UNCLASSIFIED
2	1-11-17	ALL INFORMATION HEREIN IS UNCLASSIFIED
3	1-11-17	ALL INFORMATION HEREIN IS UNCLASSIFIED
4	1-11-17	ALL INFORMATION HEREIN IS UNCLASSIFIED
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9	1-11-17	ALL INFORMATION HEREIN IS UNCLASSIFIED
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SHEET NUMBER

36 OF 37

SHERWIN-WILLIAMS
HOMESCAPES™

Ryan Homes Exterior



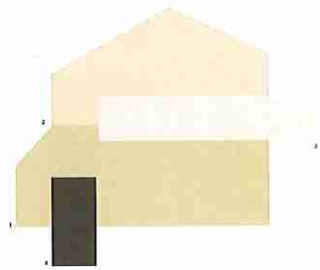
1. Body
 2. Roofline
 3. Trim
 4. Front Door/Window
- SW 7000 Light Gray
SW 7000 Dark Gray
SW 7000 White
SW 7000 Black

Ryan
Homes

Color sample shown is approximate and not to scale. Colors may vary slightly from actual. SW 7000 & 7001

SHERWIN-WILLIAMS
HOMESCAPES™

Ryan Homes Exterior



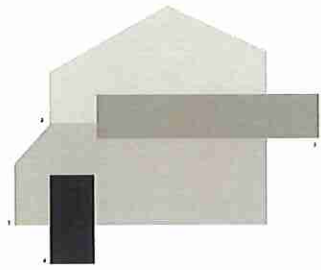
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SHERWIN-WILLIAMS
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Ryan Homes Exterior



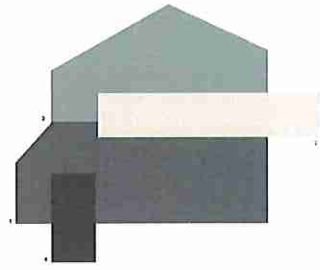
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SHERWIN-WILLIAMS
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Ryan Homes Exterior



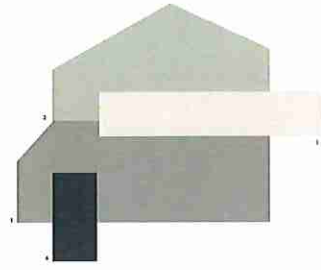
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SHERWIN-WILLIAMS
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Ryan Homes Exterior



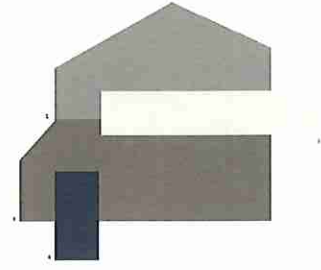
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SHERWIN-WILLIAMS
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Ryan Homes Exterior



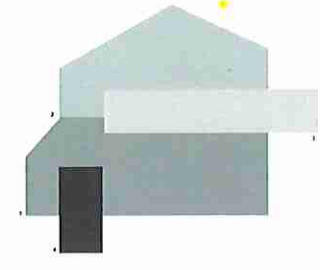
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Ryan Homes Exterior



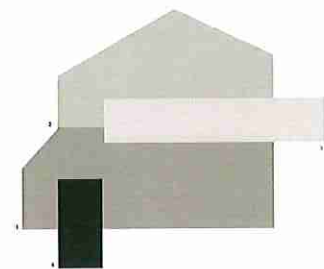
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Ryan Homes Exterior



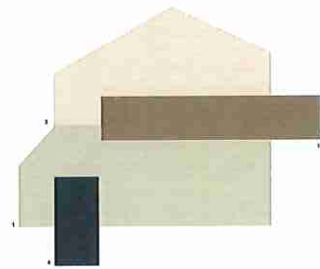
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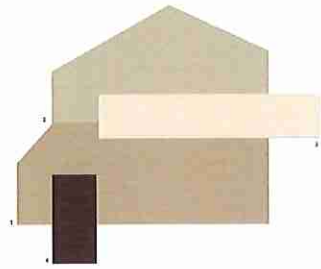
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Ryan Homes Exterior



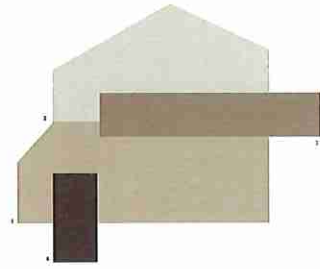
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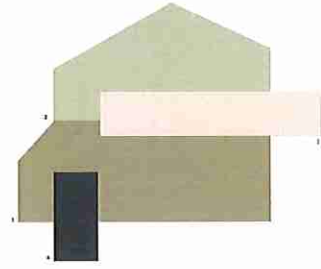
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Ryan Homes Exterior



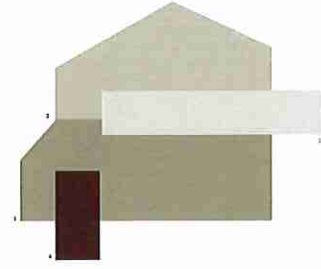
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Ryan Homes Exterior



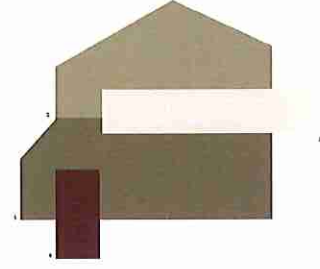
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Ryan
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SHERWIN-WILLIAMS
HOMESCAPES™

Ryan Homes Exterior



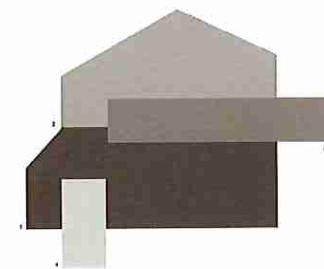
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HOMESCAPES™

Ryan Homes Exterior



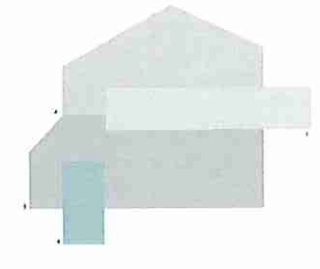
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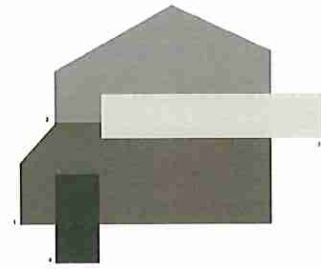
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 3. Trim
 4. Front Door/Window
- SW 7000 Light Gray
SW 7000 Dark Gray
SW 7000 White
SW 7000 Black

Ryan
Homes

Color sample shown is approximate and not to scale. Colors may vary slightly from actual. SW 7000 & 7001

SHERWIN-WILLIAMS
HOMESCAPES™

Ryan Homes Exterior



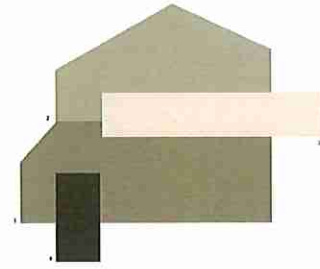
1. Body
 2. Roofline
 3. Trim
 4. Front Door/Window
- SW 7000 Light Gray
SW 7000 Dark Gray
SW 7000 White
SW 7000 Black

Ryan
Homes

Color sample shown is approximate and not to scale. Colors may vary slightly from actual. SW 7000 & 7001

SHERWIN-WILLIAMS
HOMESCAPES™

Ryan Homes Exterior



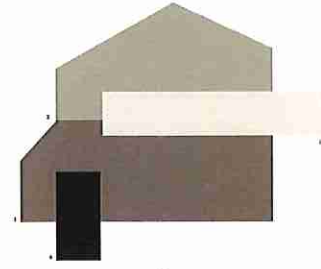
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SHERWIN-WILLIAMS
HOMESCAPES™

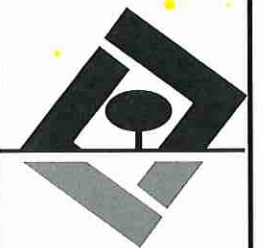
Ryan Homes Exterior



1. Body
 2. Roofline
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SW 7000 White
SW 7000 Black

Ryan
Homes

Color sample shown is approximate and not to scale. Colors may vary slightly from actual. SW 7000 & 7001



G L SUMMITT
ENGINEERING INC.

Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650

www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road

Winter Garden, FL 34787
407-239-4565
407-239-6011

Park View
Preserve Subdivision
City of Apopka, Florida

KPI Master/Major
Development Plan

Architectural
Elevations 4

Plans not valid unless Signed,
Dated and Sealed below.

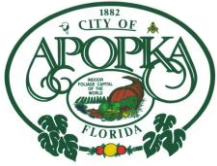
GEORGE L. SUMMITT, P.E.
Date: March 23, 2020
Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	11/21/17	Initial Design
2	11/21/17	Final Design
3	11/21/17	Final Design
4	11/21/17	Final Design
5	11/21/17	Final Design
6	11/21/17	Final Design
7	11/21/17	Final Design
8	11/21/17	Final Design
9	11/21/17	Final Design
10	11/21/17	Final Design

SHEET NUMBER
37 OF 37

Item Attachment Documents:

3. PUD Master Plan Amendment – Mid-Florida Logistics Park
Owner: Mid-Florida Freezer Warehouses, LTD; Mid-Florida Logistics Park Property Owners' Association
Applicants: Bluescope Properties; Kimley Horn and Associates, c/o Jason A. Lewis, P.E.
Location: West side of SR 429, south of General Electric Road, east of Hermit Smith Road
Project: 189.00 +/- acres; 1,781,060 square feet industrial buildings; developed in multiple phases
Project Manager: David Moon, AICP, Planning Manager



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ SITE PLAN
☐ SPECIAL REPORTS
☒ OTHER: PUD Master Plan/PDP/PSP

MEETING OF: May 19, 2020
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Ex. A – PUD Master Plan Amendment

SUBJECT: APPROVAL OF PUD MASTER PLAN AMENDMENT – MID-FLORIDA LOGISTICS PARK

REQUEST: RECOMMEND APPROVAL OF THE PUD MASTER PLAN AMENDMENT FOR MID-FLORIDA LOGISTICS PARK

SUMMARY:

OWNERS: Mid-Florida Freezer Warehouses LTD, Mid-Florida Logistics Park Property Owner Association.

APPLICANT: Bluescope Properties /Kimley-Horn and Associates

LOCATION: West side of SR 429, south of General Electric Road, and east of Hermit Smith Road

PARCEL ID NUMBERS: 01-21-27-5649-03-000; 01-21-27-5649-00-001; 01-21-27-5649-02-000; 01-21-27-5649-01-000; 01-21-27-5649-05-000; 01-21-27-5649-00-003; 01-21-27-5649-00-004; 01-21-27-5649-04-000

EXISTING USE: Platted 5-Lot Industrial Park – Mid-Florida Logistics Park Plat

FLUM DESIGNATION: Industrial

CURRENT ZONING: Planned Development (PD)

PROPOSED DEVELOPMENT: 1,781,060 square feet industrial buildings; developed in multiple phases

PROPOSED ZONING: Planned Development (PD)

TRACT SIZE: 189.00 +/- acres

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

PROJECT HISTORY AND PROPOSED AMENDMENT: On October 18, 2018, the City Commission approved a PUD Master Plan for Mid-Florida Logistics Park, which detailed the construct a subdivision consisting of five industrial warehouse buildings totaling 2,406,095 on property located west of SR 429, south of General Electric Road and east of Hermit Smith Road. On February 20, 2019 City Council approved an amendment to the PUD Master to accomplish the following request from the developer: 1) reduce the overall permitted square footage from 2,406,095 square feet to 2,342,566 square feet, 2) relocate Building 2 into an east-west configuration from a north-south configuration, and extend Building 5 further to the east and rename Building 5 to Building 5A and 5B, 3) reconfigure two public rights-of-ways proposed for construction on the property. Following the City's approval of this amendment, the developer commenced construction of the industrial park and platted the five lots.

The amended PUD Master Plan proposes a new total building floor area of 1,781,060 square feet, down from a total of 2,342,566 square feet with the previous amendment. At this time the developer requests to amend the PD Master Plan to accomplish the following:

- a. Increase lot area of Lot 3 to accommodate the Amazon" Last Mile" Distribution Center, and reduce the area of Lot 4.
- b. Change maximum building floor area assigned for both Lot 3 and Lot 4 based on the change to lot area for each. (Lot 3 is larger and Lot 4 is smaller as a result of the amendment.).
- c. Obtain additional right-of-way for the south side of General Electric Road.
- d. Landscape buffer along General Electric Road will decrease from a width of 15 feet to 10 feet to accommodate the additional five-feet of right-of-way for General Electric Road.
- e. Lot 3 and Lot 4 driveway locations at Hermits Smith Road and Shelby Industrial Drive area shifted to accommodate Amazon site plan and the new lot design for Lot 3 and 4.

PROJECT DESCRIPTION: The proposed PUD Master Plan Amendment provides an industrial subdivision consisting of five lots accommodating a proposed 1,781,060 square feet, previously 2,342,566 square feet. No other substantial changes are proposed to the Master Plan other than those listed above in paragraphs a. to f.

Deviations: Deviation No. 3, approved with the February 2020 Master Plan, is proposed to be revised to reduce the landscape buffer along General Electric Road from a minimum of 15 feet wide to 10 feet wide. Any deviations must be consistent with the policies of the Comprehensive Plan.

3. LDC, Section 2.02.15.F. Yard requirements - Front yard – 25-feet, side yard – 10-feet, Yards adjacent to road right-of-ways shall be a minimum of 25-feet, Rear Yard – 10-feet (30-feet adjacent to residential)

The applicant is proposing 15-foot landscape buffer along General Electric Road, Hermit Smith Road to main entrance, 0-feet to 10-feet adjacent to SR 429, 10-feet to 25-feet adjacent to Peterson Road, 10-feet adjacent to Fern Industrial Drive.

The amended Master Plan proposes reducing the landscape buffer along General Electric Road from 15 feet wide to 10 feet wide to add additional right-of-way to General Electric Road.

The following justification has been provided: “The northwestern portion of the site is constrained by the encroachment of General Electric Road. SR 429 has 300-feet of right-of-way, 6 lanes, and provides a 20-foot high barrier to adjacent property to the east.”

TRANSPORTATION IMPACTS:

ACCESS: Roadway locations have not changed. Driveway locations have been modified for Lots 3 and 4 to accommodate the Amazon site plan.

TRANSPORTATION: An updated traffic impact analysis was prepared to address the change in traffic impacts generated from the proposed Amazon Distribution Center. Improvements needed to accommodate the new or revised road improvements will be addressed within a transportation or development agreement that will be reviewed and approved by City Council.

PUD RECOMMENDATIONS: Conditions set forth in the existing PUD Ordinance No. 2709 are unchanged. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions remain in effect from the PUD Ordinance No. 2709:

A. Zoning Standards - The following uses are permitted within the PUD district:

1. All permitted uses allowed under the I-1 Industrial zoning district;
2. The uses allowed by the “Developer’s Agreement for Development of Copart, Inc. Apopka Property,” as recorded as document number 20160275220 within the official records of Orange County, Florida, shall be available uses within this PUD if the Copart Developer’s Agreement is terminated with the mutual consent of City Council and the property owner subject to the Copart Developer’s Agreement;
3. Long-term outdoor vehicle (bus, car, cab, and truck) storage and terminal use is permitted within the PU as an accessory use if said vehicle parking is associated with an enclosed building having a minimum floor area of 10,000 square feet and located within the same Lot or abutting lots. All vehicles stored outdoors must be operable.

B. The following uses are Prohibited within the PUD district:

1. Flea markets
2. Day-care centers except when provided solely for on-site employees
3. Churches
4. Public or private schools (K-12th grade) except when located within a stand-alone building
5. Community residential homes
6. All prohibited uses for the I-1 zoning district (1993 LDC)

C. Special Exceptions: As set forth by Ordinance No. 2079 except if listed as a permitted or prohibited uses above.

Should any conflict occur between the Ord. No. 2709 Master Plan and the amended Master Plan, Ordinance No. 2709 shall apply with the exception to Lot 3 and 4. Should any conflict occur between Ord. No. 2709 and the amended Master Plan regarding Lot 3 and 4, the amended Master Plan shall apply.

CONDITIONS OF APPROVAL:

1. Future improvements to General Electric Road will require stormwater capacity to accommodate water quality treatment and attenuate stormwater runoff from new impervious areas. The Property Owners Association for Mid-Florida Logistics Park will allow the City to use any available capacity within Ponds “A” and “B” for this stormwater runoff if requested by the City. With the replat of Lot 3 and 4 of the Mid-Florida Logistic Park Plat, the Owner of Lot 3 and the Property Owners Association will grant an easement to the City to accommodate any underground stormwater drainage pipes to direct stormwater runoff from General Electric Road to Pond “A”.
2. A development agreement for off-site transportation improvements, any other off-site improvements (if any), infrastructure schedule and any project phasing must be approved by City Council and recorded according to the schedule set forth by the City Administrator.
3. A re-plat of the Mid Florida Logistics Lots 3 and 4 and Tract “A” Stormwater Pond shall be approved by City Council and recorded prior to issuance of the first certificate of occupancy.
4. A five-foot wide sidewalk along General Electric Road, and next to the northern project line of Lot 3, shall be constructed within the road right-of-way, as demonstrated through the Final Development Plan.
5. Deviation No. 3 of the Master Plan, as addressed in the Staff Report, shall be revised to establish a minimum landscape buffer width of ten feet adjacent to General Electric Road right-of-way.
6. A five-foot wide strip of land shall be dedicated to the City along the northern edge of Lot 3.
7. At the time of the replat of Lot 3 and 4, a portion of the Pond “A” tract shall be dedicated to the City to accommodate right-of-way for that portion of Hermit Smith Road pavement and shoulder currently traversing the Pond “A” tract. The perimeter of the right-of-way dedication shall be determined at the time of the re-plat.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property and the amendment to the PUD Master Plan is consistent with the proposed Industrial Future Land Use designation and is consistent with the Land Development Code, other than the deviations listed on the Master Plan.

ORANGE COUNTY NOTIFICATION: Pursuant to the Joint Planning Area agreement, notification to Orange County was notified through distribution at the time of the original PUD zoning. The amendments do not create any substantial change to the density or intensity granted by the change of zoning necessitating special notice to Orange County. Therefore, Orange County was notified through distribution of the DRC agenda.

PUBLIC HEARING SCHEDULE:

May 19, 2020 - Planning Commission (5:30 pm)
June 3, 2020 - City Council (1:30 pm) - 1st Reading
June 17, 2020 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

May 1, 2020– Public Notice (Apopka Chief); Letter, Poster

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment to the Planned Unit Development (PUD) Master Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the amendment to the Mid-Florida Logistics Park PUD Master Plan.

Recommended Motion: To find the amendment consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the amendment to the Mid-Florida Logistics Park Planned Unit Development Master Plan based on the Conditions of Approval and findings and facts presented in the staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial (max FAR 0.60)	I-1	Transport/freight uses, Copart
East (City)	None assigned	N/A	SR 429 right-of-way
South (County)	Orange County Rural	AG	Vacant property
West (City)	Orange County Rural	AG	Lake Apopka Restoration Area

LAND USE &

TRAFFIC COMPATIBILITY:

The property is accessed via Hermit Smith Road and General Electric Road and a yet to be constructed public roadway referred to as Fern Industrial Drive, which will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly Industrial and Rural.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed PUD zoning is compatible with policies set forth in the Comprehensive Plan.

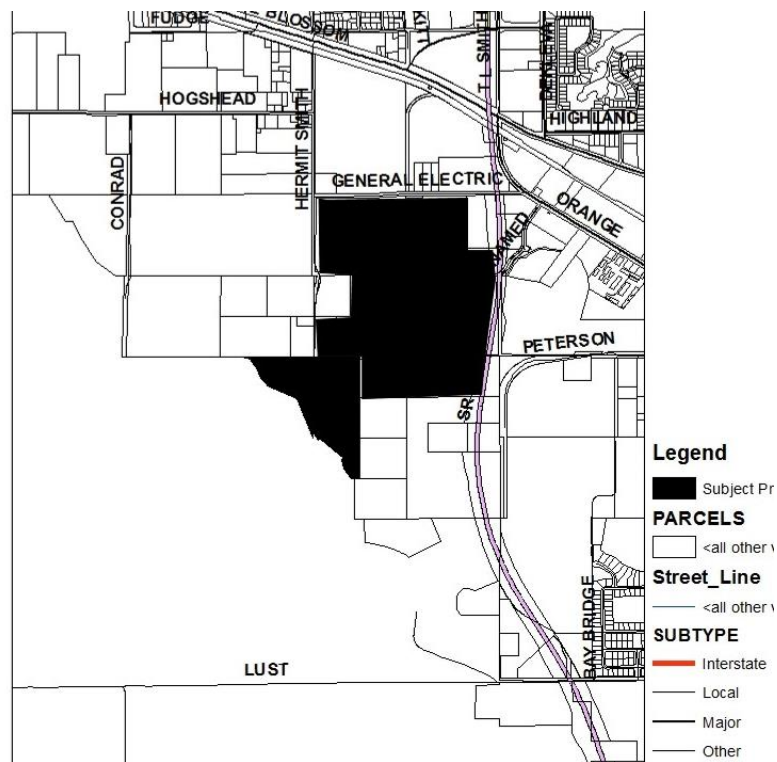
ALLOWABLE USES:

Industrial uses as set forth within the Planned Unit Development Master Plan.

Project: MID-FLORIDA LOGISTICS PARK
Owned by: Mid-Florida Freezer Warehouses, LTD; Mid-Florida Logistics Park Property Owner Association
Located: East side of Hermit Smith Road, South of General Electric Road, west of SR 429
Parcel ID#s: 01-21-27-5649-03-000; 01-21-27-5649-00-001; 01-21-27-5649-02-000; 01-21-27-5649-01-000; 01-21-27-5649-05-000; 01-21-27-5649-00-003; 01-21-27-5649-00-004; 01-21-27-5649-04-000

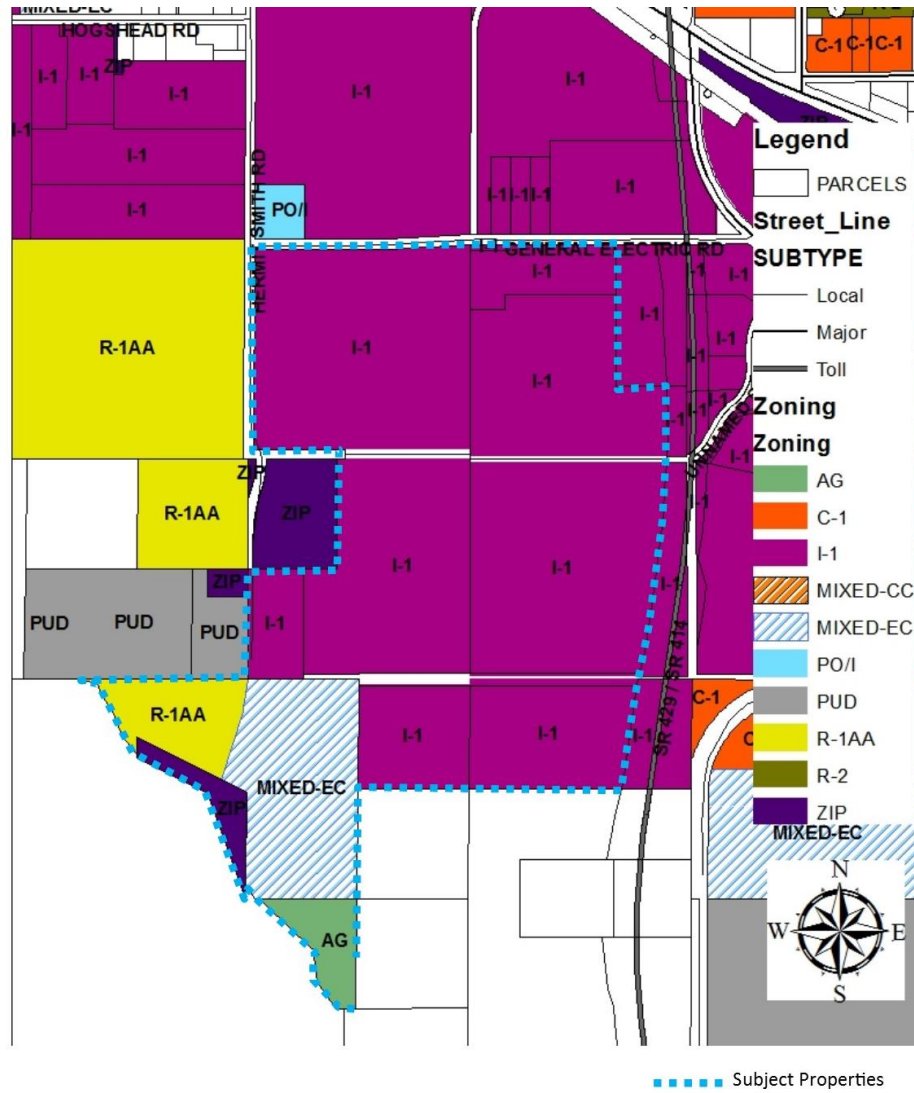


VICINITY MAP





ADJACENT ZONING



K:\LAK_Civil\046255014 - DFL5 Apopka\CADD\PU\OVERALL_PUD\01 COVER SHEET.dwg, 5/3/2020 12:09:53 PM

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client to which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.
116 SOUTH KENTUCKY AVENUE
LAKE LAND, FL 33801
863-226-6860
CONTACTS: JASON A. LEWIS, P.E.

DEVELOPER:

BlueScope Properties Group LLC
1540 Genessee Street
Kansas City, MO 64102
Matt Roth, VP and General Counsel

OWNER:

Mid Florida Freezer Warehouse Ltd.
2560 West Orange Blossom Trail
Apopka, FL 32761
Pat Lee

Florida Express Trucking, Inc.
P.O. BOX 572
Cape Canaveral, FL 32920-0572
Pat Lee

Eagles Landing
PO Box 770609
Winter Garden, FL 34777-0609
Randy June

AMENDMENT to the PUD MASTER PLAN for MID-FLORIDA LOGISTICS PARK

APOPKA, FLORIDA

DEVIATIONS OF WAIVER REQUEST TABLE

Code Number	Code Requirement	Requested Modification	Justification	Location
6.02.02.A	Parking 2 spaces per 1,000 sf of GFA up to 150,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf over 150,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sf of GFA.	Entire Site
2.02.01.A	Building Height Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 36' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15.F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road ROW	15' on GE Road, Hermit Smith Road to Main Entrance, 0'10' Adjacent to SR 429, 10'25' Adjacent to Peterson Road, 10' Adjacent to Fern Industrial	The northeastern portion of the site is constrained by the encroachment of GE Road. SR 429 has 30' of ROW, 6 lanes, and provides a ~20' high barrier to adjacent property to the east.	North and East
2.02.01.BS 1(a)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person driving an automobile.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.08	Sidewalk Location Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Fern Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spurs. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Fern Industrial is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north/south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Fern Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.	Entire Site

NOTE:
THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF I-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.

NOTE: PURPOSE OF THE AMENDMENT IS TO ADDRESS CHANGES AFFECTING LOTS 3 AND 4 OF THE MID-FLORIDA LOGISTICS PARK MASTER PLAN. ALL OTHER LOTS ARE SUBJECT TO THE MASTER PLAN APPROVED IN ORDINANCE NO. 2709. WHERE ANY INCONSISTENCIES OCCUR BETWEEN THE EXISTING MASTER PLAN AND THE AMENDED MASTER PLAN FOR ALL LOTS OTHER THAN LOTS 3 AND 4, THE EXISTING MASTER PLAN (ORDINANCE NO. 2709) SHALL SUPERSEDE.

PARCEL ID No.

#01-21-27-5649-03-000, #01-21-27-5649-00-001
#01-21-27-5649-04-000, #01-21-27-5649-00-003
#01-21-27-5649-00-004, #01-21-27-5649-05-000
#01-21-27-5649-01-000, #01-21-27-5649-02-000

GENERAL NOTES:

- THE TWENTY-FIVE FOOT WIDE PROPERTY WHICH IS THE SUBJECT OF OR BOOK 10014, PAGE 4293 IS NOT PROPOSED FOR DEDICATION OR INCLUSION IN THE RIGHT OF WAY FOR THE RE-ALIGNED PETERSON ROAD.
- THE MASTER PLAN AND AMENDMENT ARE SUBJECT TO THE 1993 APOPKA LAND DEVELOPMENT CODE.
- DEVELOPMENT AGREEMENT(S) APPLIES TO ALL OR PORTIONS OF THE PUD MASTER PLAN AREA. ADDITIONAL DEVELOPMENT STANDARDS AND CONDITIONS MAY BE SET FORTH IN THESE DOCUMENTS THAT APPLY TO DEVELOPMENT OR USE OF THE PUD MASTER PLAN AREA AS WELL AS OFF-SITE IMPROVEMENT REQUIREMENTS.



Know what's below.
Call before you dig.

(FL STATUTE 553.851 (1979) REQUIRES
MIN. OF 2 DAYS AND MAX. OF 5 DAYS
NOTICE BEFORE YOU EXCAVATE.)

PREPARED FOR:

BLUESCOPE PROPERTIES GROUP LLC

SITE DATA

TOTAL SITE AREA 189.00 ACRES
TOTAL PUD AREA 186.03 ACRES
(SITE AREA LESS PUBLIC ROW)

FUTURE LAND USE INDUSTRIAL, MIXED USE, AGRICULTURE

EXISTING ZONING I-1, MIXED EC, R-1AA, AG, ZIP-(I-1)

PROPOSED ZONING PUD

BUILDING HEIGHT 35' MAX (PROPOSED 55')

FLOOR AREA 60%

BUILDING AREA

BUILDING 1A 330,566 SF
BUILDING 1B 324,000 SF
BUILDING 2 255,000 SF
BUILDING 3 202,044 SF
BUILDING 4 290,450 SF
BUILDING 5A 289,000 SF
BUILDING 5B 90,000 SF
TOTAL 1,781,060 SF

BUILDING SETBACKS

FRONT: 25'
SIDE: 10'
CORNER: 25'
REAR: 10'
ADJACENT TO RESIDENTIAL USE: 30'

LANDSCAPE BUFFER

FRONT: 25'
SIDE: 10'
REAR: 10'
CORNER: 25'
SR429: 25' (PROPOSED 0')
GE ROAD: 25' (PROPOSED 10' WEST OF MAIN ENTRANCE)
HERMIT SMITH ROAD 20'
SHELBY INDUSTRIAL DRIVE 10'
PETERSON ROAD 25'

PARKING PROPOSED: 1,422 REGULAR
443 TRUCK
51 HANDICAP
1,916 TOTAL (1,585 REQUIRED)

OPEN SPACE: 47.78 AC
POND TRACT AREA: 42.87 AC

IMPERVIOUS AREA: 153.71 AC 82.63%
PERVIOUS AREA: 32.32 AC 17.37%
TOTAL PUD AREA: 186.03 AC 100.00%

TABLE OF CONTENTS

Sheet Number	Sheet Title
01	COVER SHEET
02	EXISTING CONDITION PLAN
03	PUD MASTER PLAN
04	PRELIMINARY DEVELOPMENT PLAN / SUBDIVISION PLAN
05	OWNERSHIP & MAINTENANCE PLAN
06	PEDESTRIAN ACCESS PLAN
07	LOT 1 PLAN
08	LOT 1 PRELIMINARY GRADING PLAN
09	LOT 2 PLAN
10	LOT 2 PRELIMINARY GRADING PLAN
11	LOT 3 PLAN
12	LOT 3 PRELIMINARY GRADING PLAN
13	LOT 4 PLAN
14	LOT 4 PRELIMINARY GRADING PLAN
15	LOT 5 PLAN
16	LOT 5 PRELIMINARY GRADING PLAN
17	PRELIMINARY STORMWATER POND PLAN
18	GE ROAD OFFSITE IMPROVEMENTS
18A	PETERSON ROAD AUTO-TURN

PLANS BY OTHERS:

LANDSCAPE PLAN



SITE LOCATION

SCALE = 1 MILE
0 1/4 1/2 1

Kimley»Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
116 SOUTH KENTUCKY AVENUE, LAKE LAND, FL 33801
PHONE: 863-701-8702
WWW.KIMLEY-HORN.COM CA 0000696

LICENSED PROFESSIONAL

KHA PROJECT

DATE

SCALE AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

DATE

COVER SHEET

MID FLORIDA LOGISTICS PARK

PREPARED FOR

BLUESCOPE PROPERTIES

GROUP, LLC

CITY OF APOPKA

SHEET NUMBER

01

REVISIONS PER CITY COMMENTS 05/04/2020 EAY
LOT 3 & 4 CONFIGURATION REVISIONS 04/20/20 EAY

REVISIONS

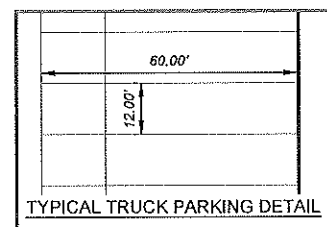
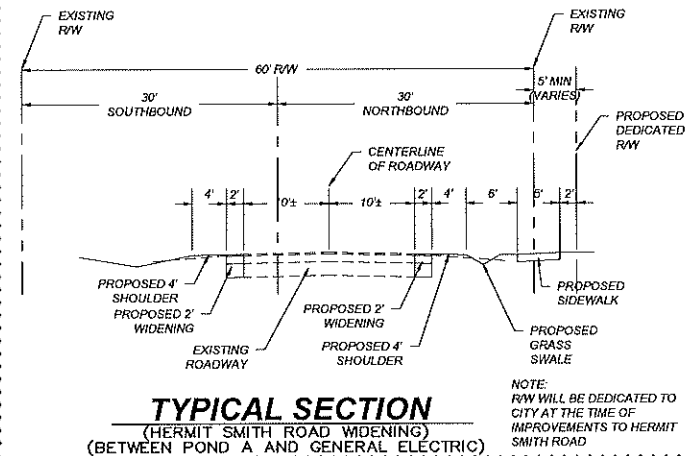
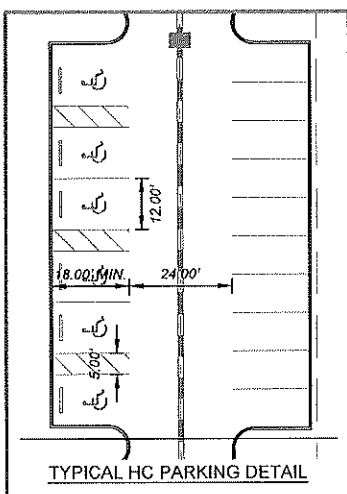
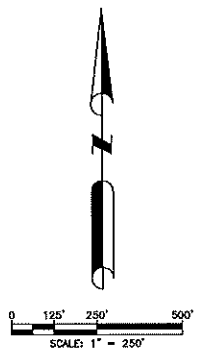
DATE

BY

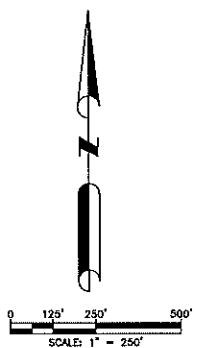
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THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 37.401 ACRES MORE OR LESS.

SHEET NUMBER 02		MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC CITY OF APOPKA FLORIDA		EXISTING CONDITION PLAN		KIMA PROJECT <table><tr><td>DATE</td><td></td></tr><tr><td>SCALE</td><td>AS SHOWN</td></tr><tr><td>DESIGNED BY</td><td></td></tr><tr><td>DRAWN BY</td><td></td></tr><tr><td>CHECKED BY</td><td></td></tr></table>		DATE		SCALE	AS SHOWN	DESIGNED BY		DRAWN BY		CHECKED BY		LICENSED PROFESSIONAL
DATE																		
SCALE	AS SHOWN																	
DESIGNED BY																		
DRAWN BY																		
CHECKED BY																		

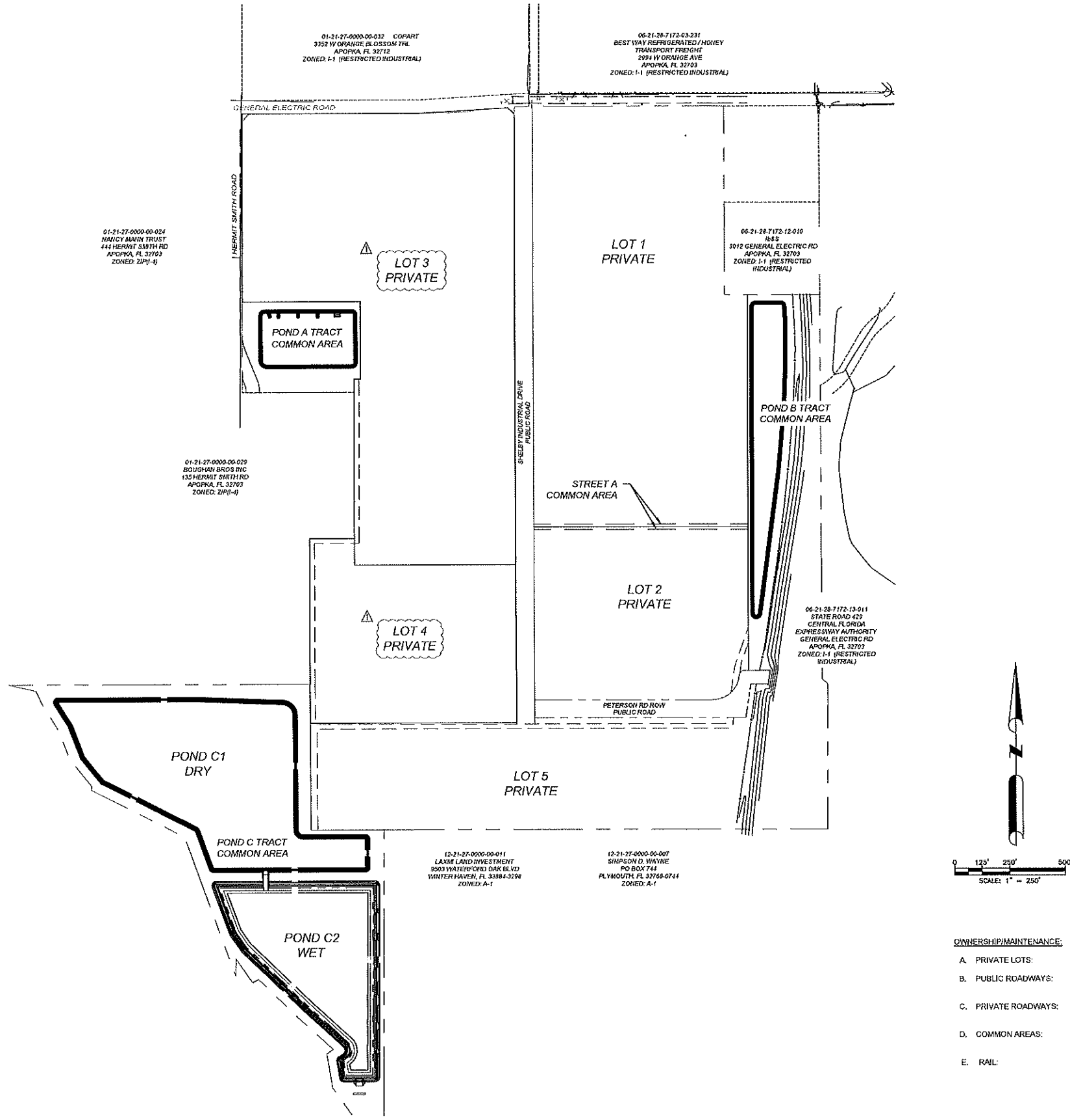


MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC	PUD MASTER PLAN	KHA PROJECT DATE SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	LICENSED PROFESSIONAL _____	Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 115 SOUTH ARLINGTON BLVD., FL 33861 PHONE: 863-701-8702 WWW.KIMLEY-HORN.COM CA 00000695	REVISIONS PER CITY COMMENTS	05/04/20 BAY
					LOT 3 & 4 CONFIGURATION REVISIONS	04/20/20 BAY
				No.	REVISIONS	DATE



<u>PRELIMINARY PHASING PLAN</u>		(SUBJECT TO CHANGE)
PHASE 1:	LOT 1	PETERSON RD DEDICATION POND A, B AND C TRACT NORTHERN 1900' OF SHELBY INDUSTRIAL DRIVE
PHASE 2:	LOT 5	REMAINDER OF SHELBY INDUSTRIAL DRIVE
PHASE 3:	LOT 2	
PHASE 4:	LOT 3	
PHASE 5:	LOT 4	

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. and be without liability to Kimley-Horn and Associates, Inc.

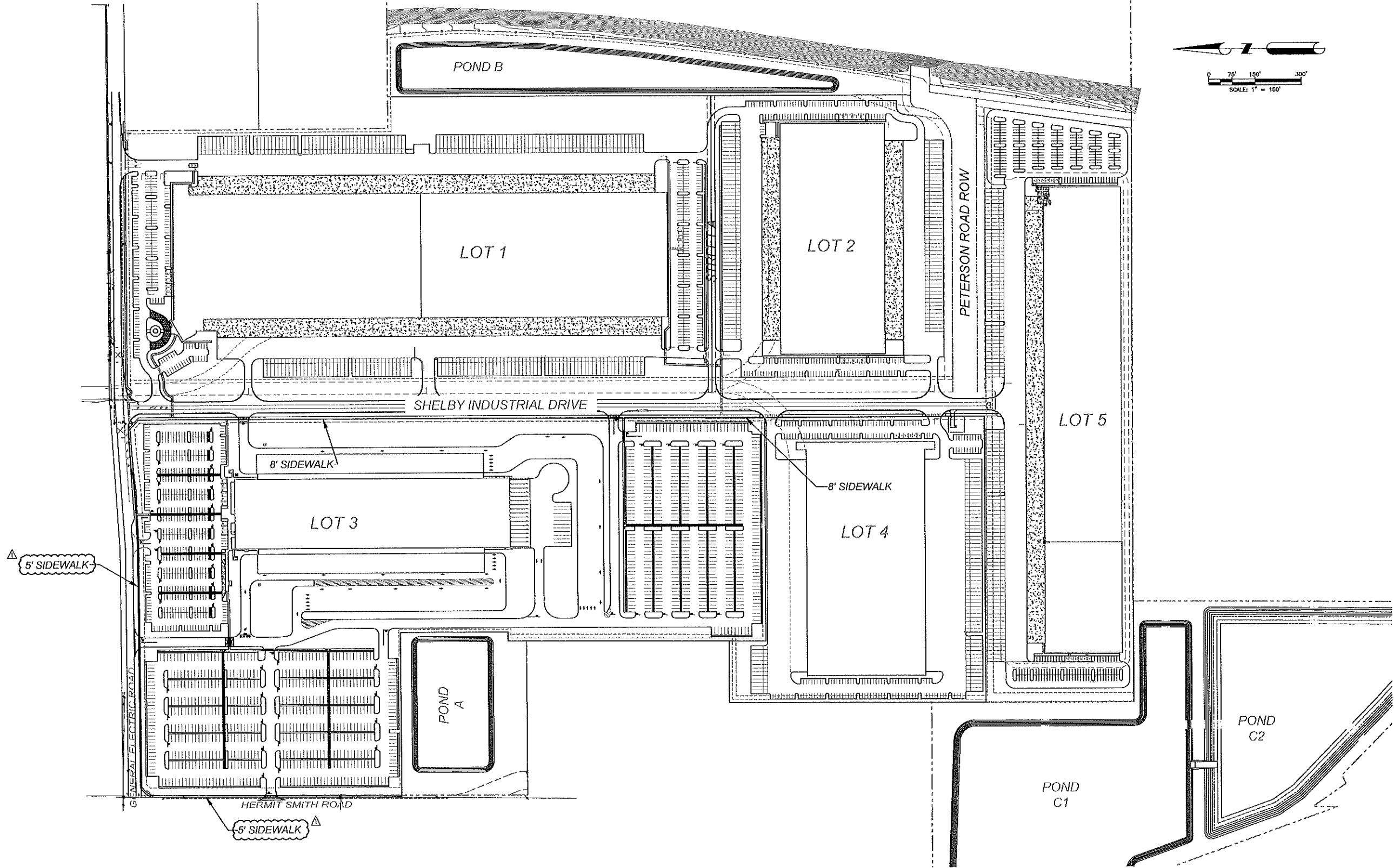


- OWNERSHIP/MAINTENANCE:**
- A. PRIVATE LOTS: TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 - B. PUBLIC ROADWAYS: SHELBY INDUSTRIAL DRIVE & PETERSON ROAD: TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA.
 - C. PRIVATE ROADWAYS: FRONDS ROAD & STREET A: TO BE OWNED AND MAINTAINED BY THE POA.
 - D. COMMON AREAS: POND TRACTS/OPEN SPACE TO BE OWNED AND MAINTAINED BY THE POA.
 - E. RAIL: MAIN SPUR TO BE OWNED BY THE P.O.A. BUILDING SPURS TO BE PRIVATE EASEMENT TO PROPERTY OWNERS.

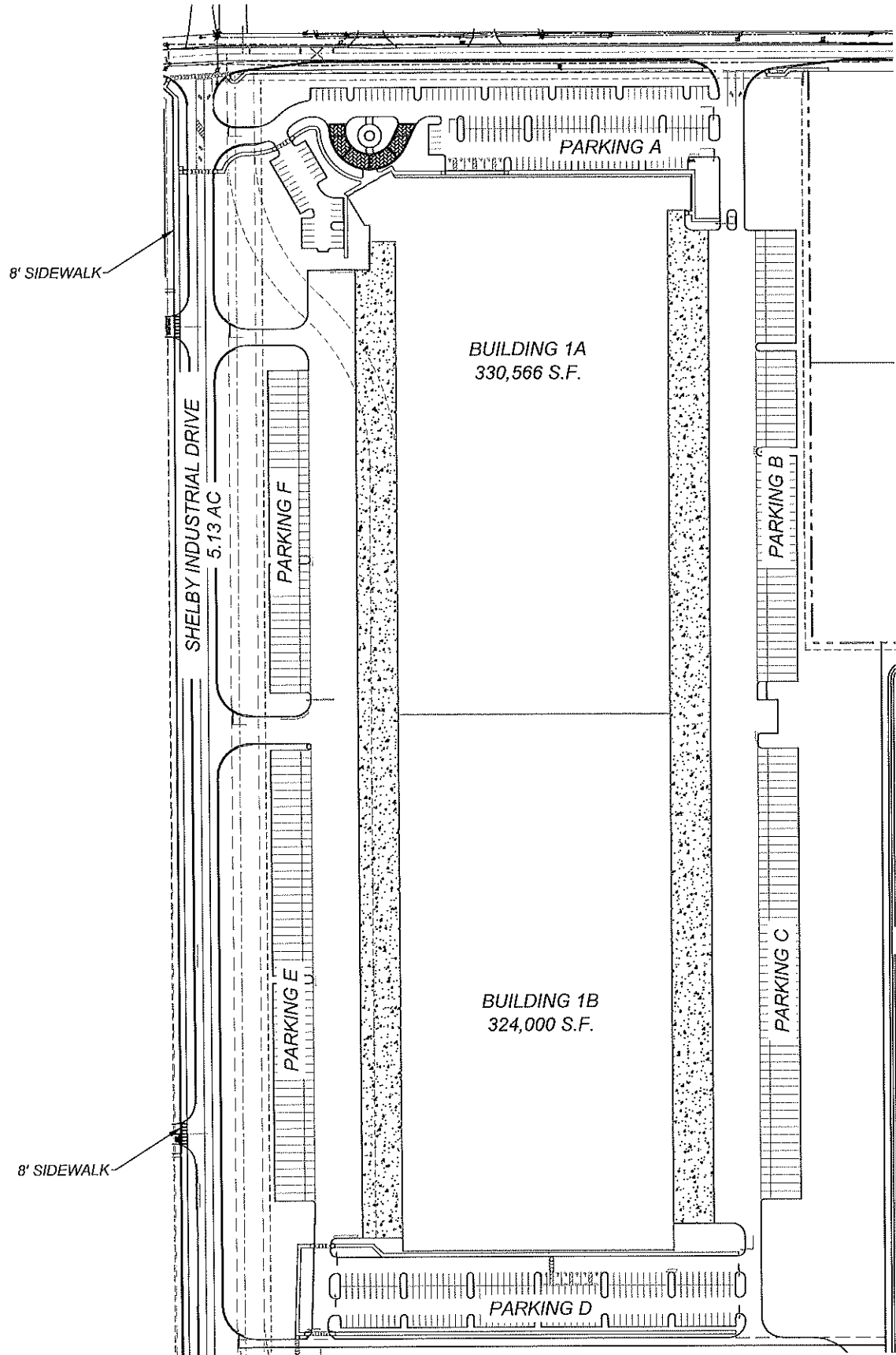
MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC CITY OF APOPKA	OWNERSHIP AND MAINTENANCE PLAN	KHA PROJECT DATE SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	LICENSED PROFESSIONAL DATE	Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801 PHONE: 863-701-8702 WWW.KIMLEY-HORN.COM CA 00000696	REVISIONS	DATE
					LOT 3 & 4 CONFIGURATION REVISIONS	4/20/20
SHEET NUMBER 05	FLORIDA					BY

K:\LAK_Civil\046265014 - DFL5 Apopka\CADD\UPUD\OVERALL PUD\06 PEDESTRIAN ACCESS PLAN.dwg, 5/3/2020 12:13:02 PM

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Review of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



MID FLORIDA LOGISTICS PARK		PEDESTRIAN ACCESS PLAN		Kimley»Horn			
PREPARED FOR				© 2020 KIMLEY-HORN AND ASSOCIATES, INC.			
BLUESCOPE PROPERTIES				116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801			
CITY OF APOPKA				PHONE: 883-701-8702			
				WWW.KIMLEY-HORN.COM CA 0000066			
SHEET NUMBER		06		No.		REVISIONS	
						DATE	
						BY	
						4/20/20	
						LOT 3 & 4 CONFIGURATION REVISIONS	



LOT 1 PARCEL NUMBERS
#01-21-27-5649-01-000

LOT 1 AREA 40.10 ACRES

OPEN SPACE REQUIRED: 20% OF LOT AREA
40.10 x 0.20 = 8.02 ACRES

OPEN SPACE PROVIDED
LOT 1 OPEN SPACE 8.55 ACRES
POND B TRACT OPEN SPACE 3.10 ACRES

TOTAL OPEN SPACE 11.65 ACRES

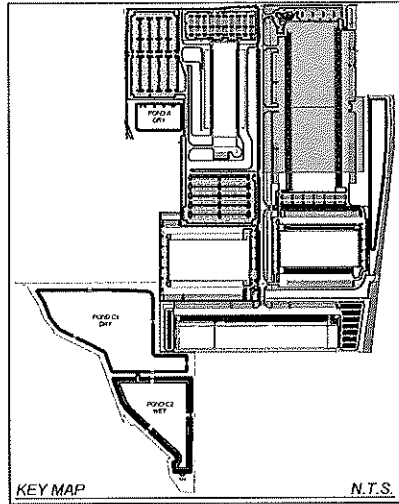
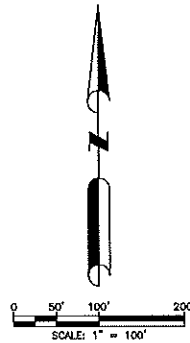
BUILDING 1 AREA 654,566 SF

PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA
PARKING SPACES REQUIRED 583 SPACES

PARKING PROVIDED:

	PARKING AREA A	PARKING AREA B	PARKING AREA C	PARKING AREA D	PARKING AREA E	PARKING AREA F
STANDARD SPACES	205	0	0	168	0	0
HANDICAP SPACES	6	0	0	6	0	0
TRUCK SPACES	0	43	59	0	56	40
SUBTOTAL	211	43	59	174	56	40

TOTAL PARKING SPACES 583



DEVIATIONS OF WAIVER REQUEST TABLE

Code Number	Code Requirement	Requested Modification	Justification	Location
6.02.02.A	Parking 2 spaces per 1,000 sf of GFA up to 100,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf of over 100,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 65th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sf of GFA.	Entire Site
2.02.01.A	Building Height Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 30' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	At Buildings
2.02.15.F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Roadside), 20' Road RGV	15' on GE Road, Hermit Smith Road to Main Entrance, 0/10' Adjacent to SR 429, 10/25' Adjacent to Pelican Road, 10' Adjacent to Spine Road	The northern portion of the site is constrained by the encroachment of GE Road. SR 429 has 300' of ROW, 5 lanes, and provides a 50' right-of-way to adjacent property to the east.	North and East
2.02.01.BS (b)(4)	Rooftop Screening All rooftop equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Rooftop equipment shall be screened from view from adjacent property line and public right-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person driving an automobile.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.09	Sidewalk Location Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Spine Road	We are requesting that we do not place a sidewalk on the east side of the RGV proximate to the rail spurs. The pedestrian access plan provided on Sheet 5 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We must ensure that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will not pedestrians in close proximity to the internal rail spurs east of Spine Road serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.	Entire Site

NOTE:
THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF I-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THIS DEVIATION TABLE.

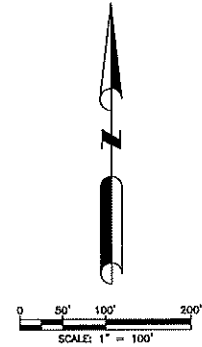
MID FLORIDA LOGISTICS
PARK
PREPARED FOR
BLUESCOPE PROPERTIES
GROUP, LLC
CITY OF APOPKA
FLORIDA

LOT 1 PLAN

Licensed Professional
KHA PROJECT
DATE
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801
PHONE: 863-701-8702
WWW.KIMLEY-HORN.COM CA 0000686

REVISIONS	DATE	BY
REVISIONS PER CITY COMMENTS	05/04/2020	BY
LOT 3 & 4 CONFIGURATION REVISIONS	04/20/2020	BY



MID FLORIDA LOGISTICS
PARK
PREPARED FOR
BLUESCOPE PROPERTIES
GROUP, LLC
CITY OF APOPKA
FLORIDA

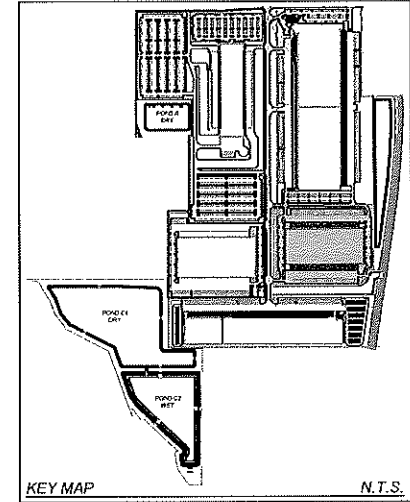


OPEN SPACE REQUIRED: 20 % OF USABLE LOT AREA
 $27.32 \times 0.20 =$ 5.46 ACRES

OPEN SPACE PROVIDED
LOT 2 OPEN SPACE 6.03 ACRES
1/3 OF POND C1 TRACT OPEN SPACE 5.40 ACRES

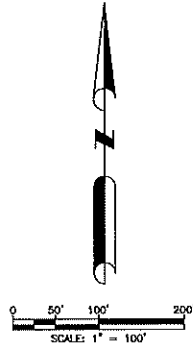
PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA
PARKING SPACES REQUIRED 227 SPACES

STANDARD SPACES	173
HANDICAP SPACES	12
TRUCK SPACES	111
SUBTOTAL	296

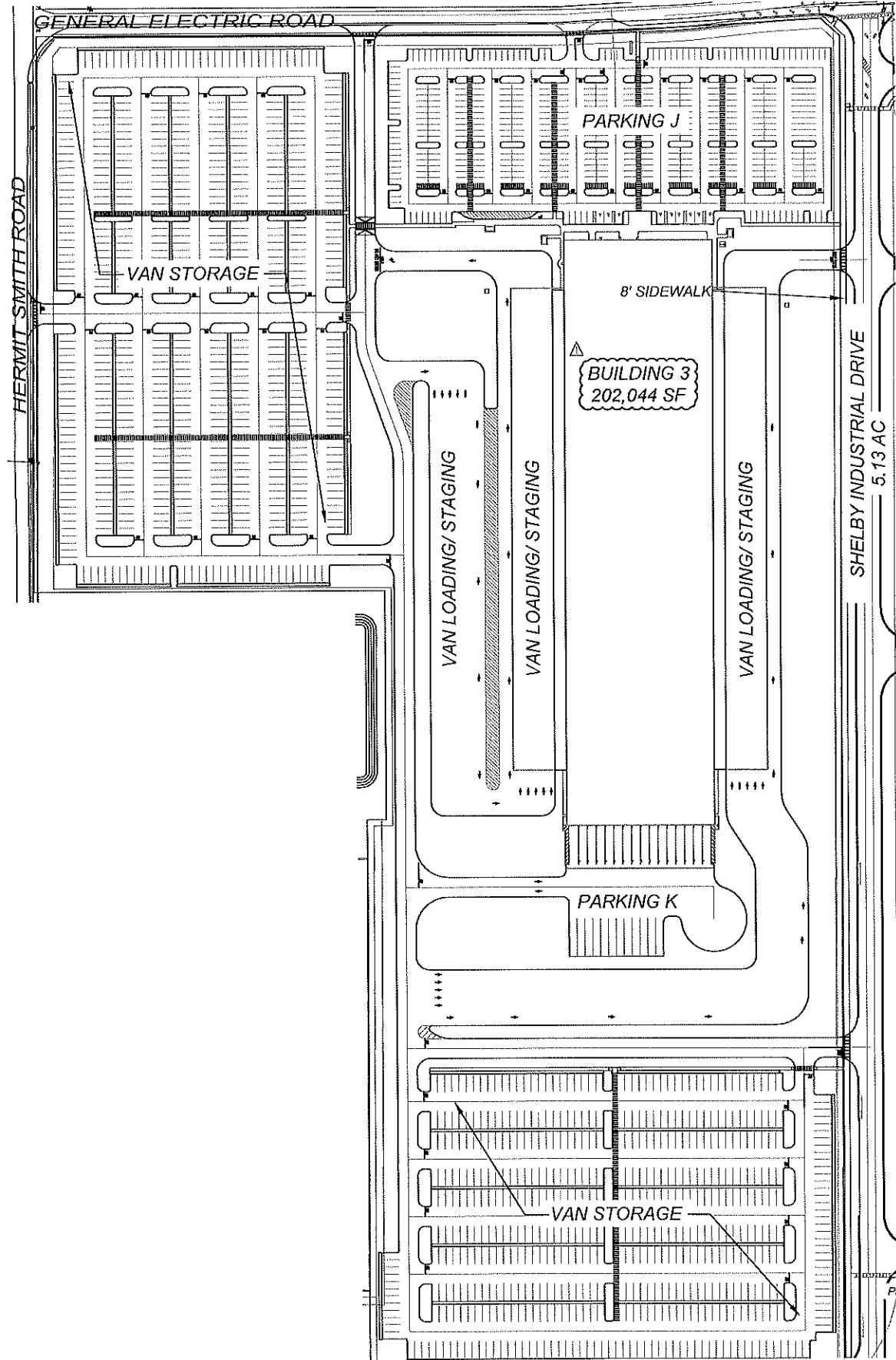


Code Number	Code Requirement	Requested Modification	Justification	Location
6.01.02.A	Parking 2 spaces per 1,000 sq ft of GFA up to 150,000 sq ft plus 1 space per vehicle operating on the premises & 2 spaces per employee and 1 space per 1,000 sq ft of over 150,000 sq ft of GFA	0.89 Space per 1,000 sq ft of GFA	The ITE Parking Generation Manual, 4th Edition, 82th percentile parking requirement for warehouse uses is 0.81 spaces per 1,000 sq ft of GFA.	Entire Site
2.02.01.A	Building Height Maximum Building Height 35'	Maximum Building Height 35'	The modern warehouses require 30' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15.F	Buffer Yard Front 25', Side 10', Rear 10' (30' to Residential), 25' Road ROW	15' on GE Road, Main Smith Road to Main Entrance, 0'/10' Adjacent to SR 429, 10'/25' Adjacent to Peterson Road, 10' Adjacent to Spine Road	The northeastern portion of the site is constrained by the GE Road, SR 429 and the ROW, it is less, and provides a ~20' high barrier to adjacent property to the east.	North and East
2.02.01.BS (b)(6)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and right-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large silver chain of the roadway and the finished floor elevation of the building, SR 429 is at an elevation of 134', approximately 10' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision Engineer and the City of Appleton. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person driving an automobile.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.08	Sidewalk Location Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Spine Road	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spur. The pedestrian access plan provided on Sheet 5 of the FUSD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north/south spine and the wayfinding easements are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spur east of Spine Road serving the site. The benefit at the adjacent network does not, in our opinion, warrant the risk of frequent interaction of pedestrians and rail vehicles.	Entire Site

[illegible]



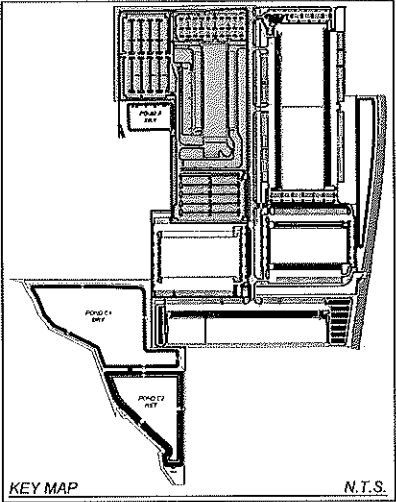
SHEET NUMBER		10	
MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC CITY OF APOPKA FLORIDA		LOT 2 PRELIMINARY GRADING PLAN	
KHA PROJECT		LICENSED PROFESSIONAL _____ DATE _____	
SCALE AS SHOWN		Kimley»»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801 PHONE: 883-701-8702 WWW.KIMLEY-HORN.COM CA 00006966	
DESIGNED BY			
DRAWN BY			
CHECKED BY		DATE _____	
		No.	
		REVISIONS	
		DATE	
		BY	



LOT 3 PARCEL NUMBERS	
#01-21-27-5649-03-000, #01-21-27-5649-04-000	
LOT 3 AREA	43.60 ACRES
OPEN SPACE REQUIRED: 20 % OF USABLE LOT AREA	
43.60 x 0.20 =	
8.72 ACRES	
OPEN SPACE PROVIDED	
LOT 3 OPEN SPACE	8.72 ACRES
POND A TRACT OPEN SPACE	2.04 ACRES
TOTAL OPEN SPACE	10.76 ACRES

BUILDING 3 AREA		202,044 SF
PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA		
PARKING SPACES REQUIRED		180 SPACES
PARKING PROVIDED:		
STANDARD SPACES	PARKING AREA J	PARKING AREA K
HANDICAP SPACES	413	0
TRUCK / TRAILER	9	0
SUBTOTAL	0	15
SUBTOTAL	422	15

TOTAL PARKING SPACES 437
NOT INCLUDING VAN PARKING SPACES (1,133)
AND VAN LOADING / STAGING SPACES (320)

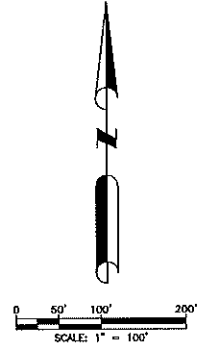
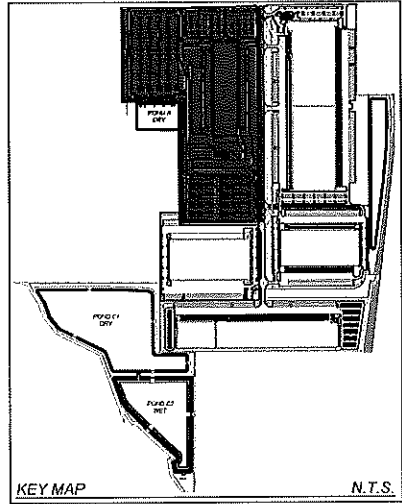
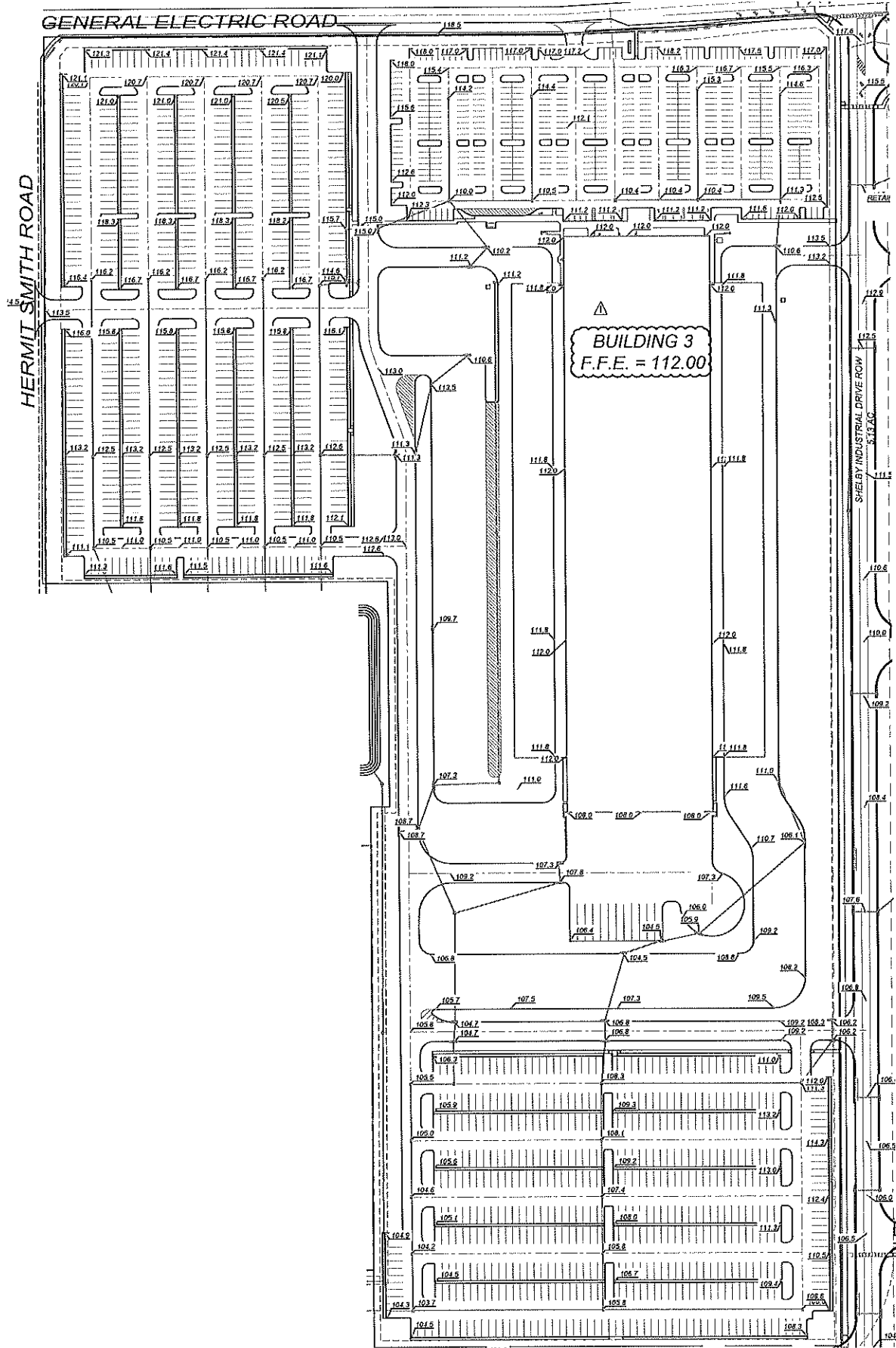


DEVIATIONS OF WAIVER REQUEST TABLE

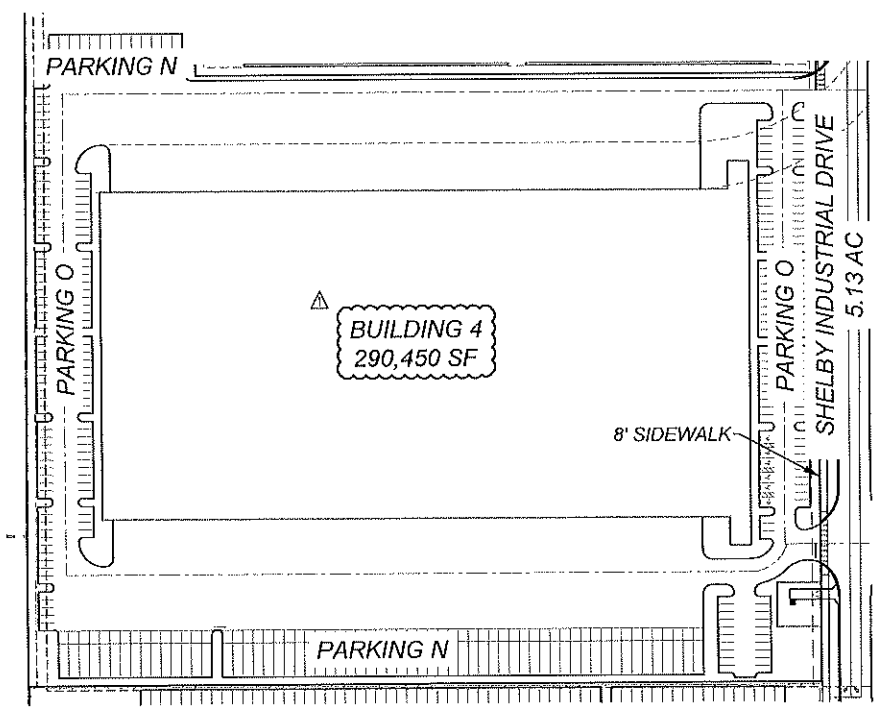
Code Number	Code Requirement	Requested Modification	Justification	Location
6.03.02 A	Parking 2 spaces per 1,000 sf of GFA up to 150,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf of over 150,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sf of GFA.	Entire Site
2.02.01 A	Building Height Maximum Building Height 35'	Maximum Building Height 35'	The modern warehouses require 30' to 45' of clear space under roof to accommodate automated material handling equipment and maximize storage.	All Buildings
2.02.15 F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road ROW	10' on GE Road, Hermit Smith Road to Main Entrance, 0'/10' Adjacent to SR 429, 10'/25' Adjacent to Peterson Road, 10' Adjacent to Spine Road	The northwestern portion of the site is constrained by the encroachment of GE Road. SR 429 has 300' of ROW, 6 lanes, and provides a 20' right-of-way to adjacent property to the east.	North and East
2.02.01 BS b(9)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 130', approximately 20' above the finished floor height of Building 3. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The sight line shall be from the typical height of a person driving an automobile.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.09	Sidewalk Location Build sidewalks on both sides of public streets	Build sidewalks only on the west side of Spine Road Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spurs. The petition access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road is the active connecting the southern end of the site with GE Road. All buildings are connected to this north/south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Spine Road Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.	Entire Site

NOTE:
THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF 1-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.

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MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC CITY OF APOPKA FLORIDA		LOT 3 PRELIMINARY GRADING PLAN		KHA PROJECT DATE SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY		LICENSED PROFESSIONAL DATE		Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801 PHONE: 863-701-8702 WWW.KIMLEY-HORN.COM CA 00006865		REVISIONS		DATE		BY	
										△ LOT 3 & 4 CONFIGURATION REVISIONS		4/20/20 BAY			

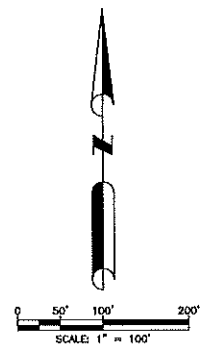
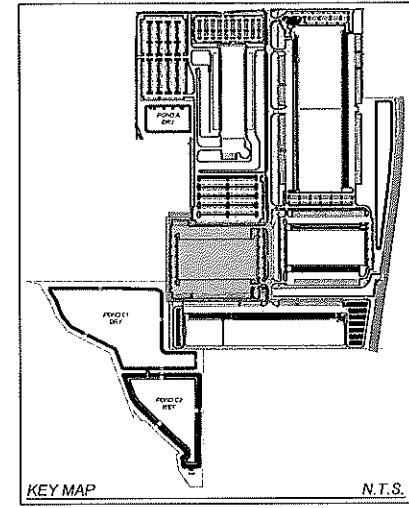


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LOT 4 PARCEL NUMBERS #01-21-27-5649-04-000	
LOT 4 AREA	15.79 ACRES
OPEN SPACE REQUIRED: 20 % OF USABLE LOT AREA 15.79 x 0.20 =	
3.16 ACRES	
OPEN SPACE PROVIDED	
LOT 4 OPEN SPACE	3.16 ACRES
1/3 OF POND C1 & C2 OPEN SPACE	5.40 ACRES
TOTAL OPEN SPACE	8.56 ACRES

△

BUILDING 4 AREA		290,450 SF
PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA		
PARKING SPACES REQUIRED		259 SPACES
PARKING PROVIDED:		
STANDARD SPACES	PARKING AREA N	PARKING AREA O
HANDICAP SPACES	0	177
TRUCK SPACES	76	6
SUBTOTAL	76	183
TOTAL PARKING SPACES	259	

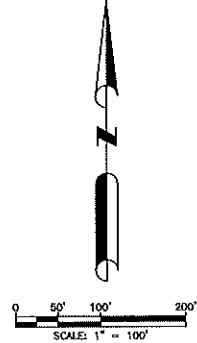


DEVIATIONS OF WAIVER REQUEST TABLE

Code Number	Code Requirement	Requested Modification	Justification	Location
6.02.02 A	Parking 2 spaces per 1,000 sf of GFA up to 150,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf over 150,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 65th percentile parking requirement for warehouse use is 0.91 spaces per 1,000 sf of GFA.	Entire Site
2.02.01 A	Building Height Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 35' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15 F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Residential, 25' Road ROW)	15' on SE Road, Hermit Smith Road to Main Entrance, 5/10' Adjacent to SR 429, 10/25' Adjacent to Peterson Road, 10' Adjacent to Spine Road Industrial	The northern portion of the site is constrained by the encroachment of GE Road. SR 429 has 30' of ROW, 4 lanes, and provides a ~27' high barrier to adjacent property to the east.	North and East
2.02.01 BS b(8)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor height of the building. SR 429 is at an elevation of 135', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person driving an automobile.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.05	Sidewalk Location Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Spine Road Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spurs. The pedestrian access plan provided on Sheet 5 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road Industrial is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Spine Road Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.	Entire Site

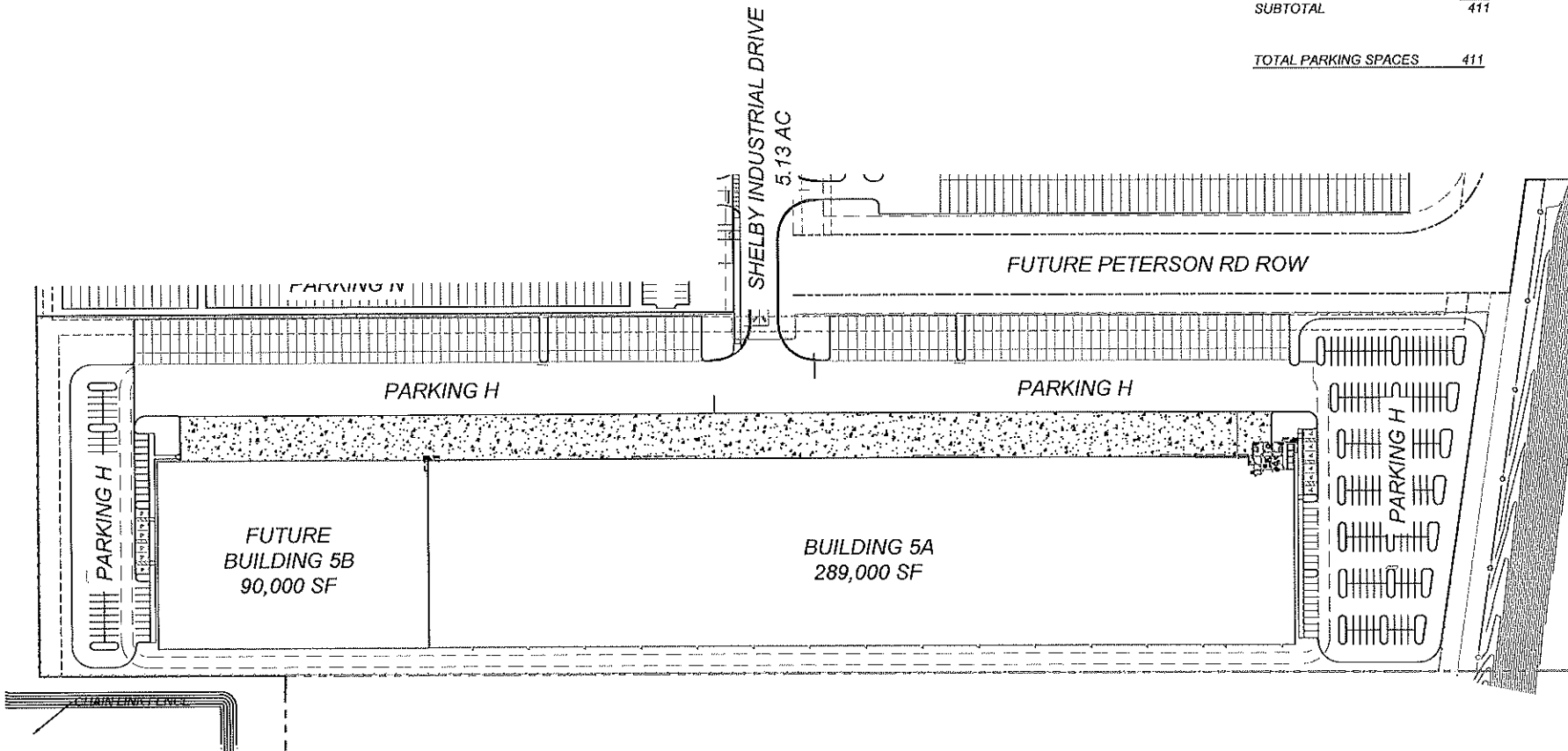
NOTE:
THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF 14 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.

MID FLORIDA LOGISTICS PARK		PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC		FLORIDA	
SHEET NUMBER 13		CITY OF APOPKA		DATE	
KHA PROJECT		DATE		DESIGNED BY	
SCALE AS SHOWN		DRAWN BY		CHECKED BY	
LICENSED PROFESSIONAL		DATE		REVISIONS	
KIMLEY-HORN		05/04/2020		LOT 3 & 4 CONFIGURATION REVISIONS	
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.		116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801		LOT 3 & 4 CONFIGURATION REVISIONS	
WWW.KIMLEY-HORN.COM		PHONE: 863-701-8702		CA 0000686	



	SHEET NUMBER	MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC CITY OF APOPKA FLORIDA	LOT 4 PRELIMINARY GRADING PLAN	KHA PROJECT DATE _____ SCALE AS SHOWN DESIGNED BY _____ DRAWN BY _____ CHECKED BY _____	LICENSED PROFESSIONAL _____ DATE:	Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801 PHONE: 883-791-8702 WWW.KIMLEY-HORN.COM CA 00000696	No.	REVISIONS	DATE	BY
	14						A	LOT 3 & 4 CONFIGURATION REVISIONS	4/20/20 BAY	

This document, together with the contracts and designs presented hereto, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. and be without liability to Kinley-Horn and Associates, Inc.



LOT 5 PARCEL NUMBERS
#01-21-27-5649-05-000

LOT 5 AREA 22.00 ACRES

OPEN SPACE REQUIRED: 20 % OF USABLE LOT AREA
22.00 x 0.20 = 4.40 ACRES

OPEN SPACE PROVIDED
LOT 5 OPEN SPACE 2.37 ACRES
1/3 OF POND C1 & C2 OPEN SPACE 5.40 ACRES

TOTAL OPEN SPACE 6.77 ACRES

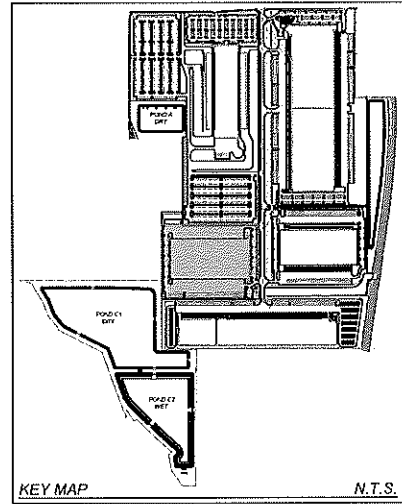
BUILDING 5 AREA 379,000 SF

PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA
PARKING SPACES REQUIRED 337 SPACES

PARKING PROVIDED:

	PARKING AREA H
STANDARD SPACES	286
HANDICAP SPACES	12
TRUCK SPACES	113
SUBTOTAL	411

TOTAL PARKING SPACES 411

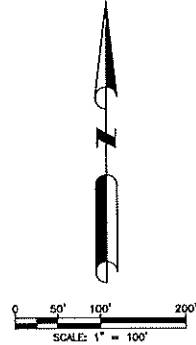
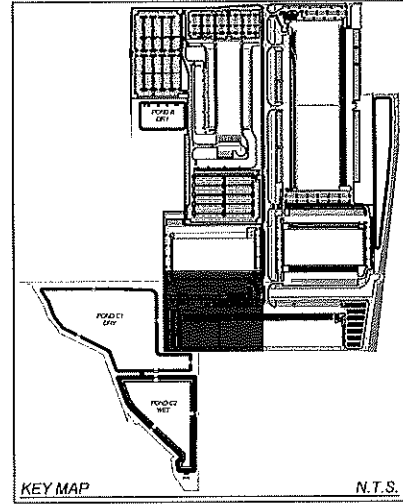


DEVIATIONS OF WAIVER REQUEST TABLE

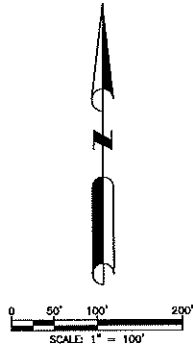
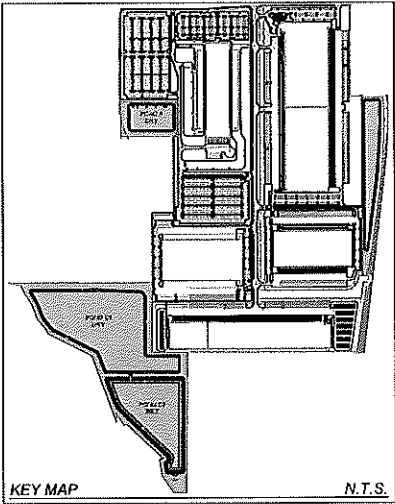
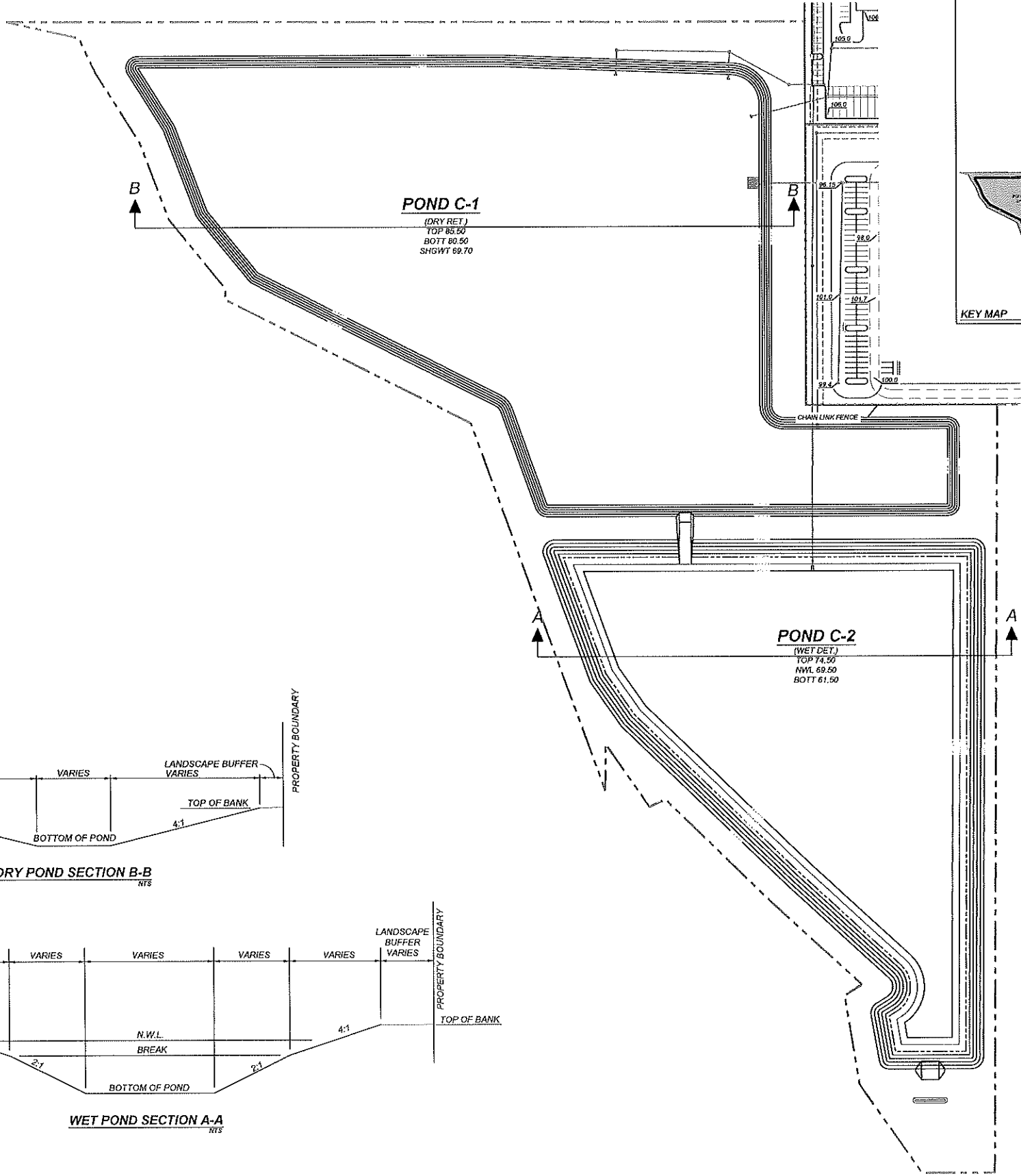
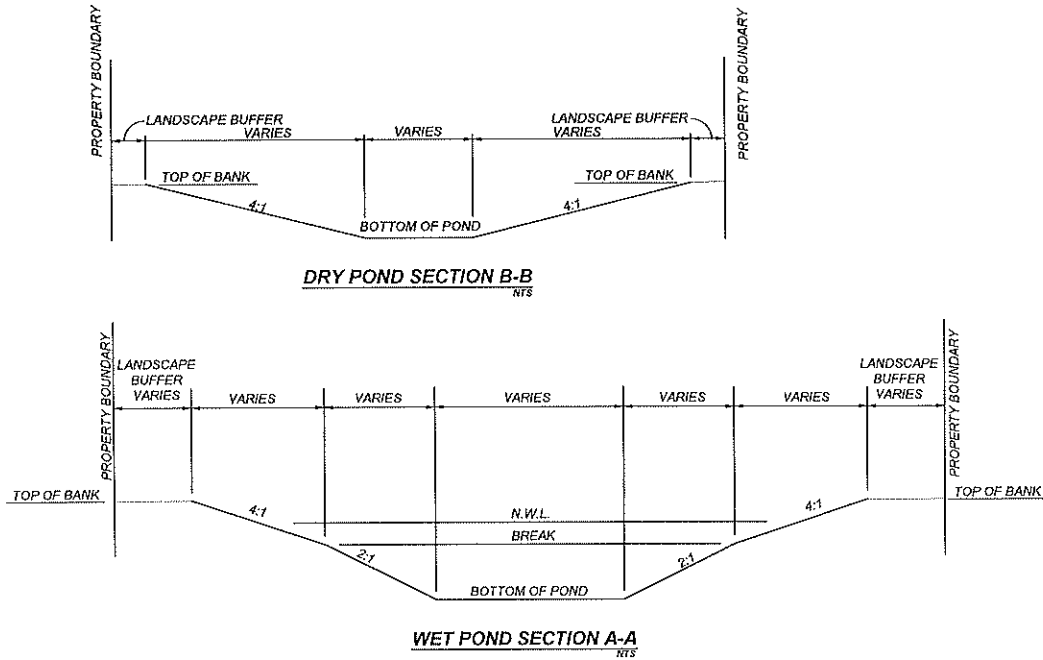
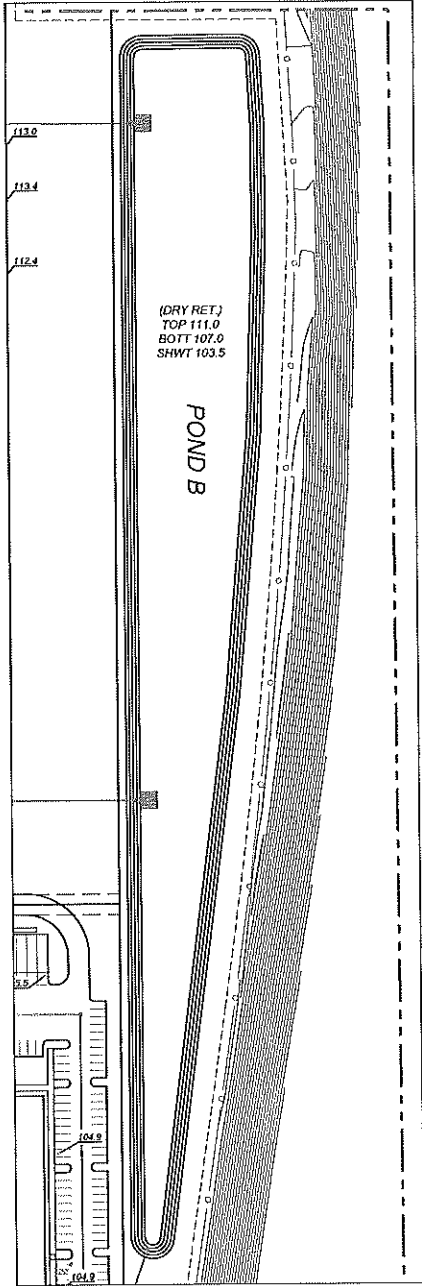
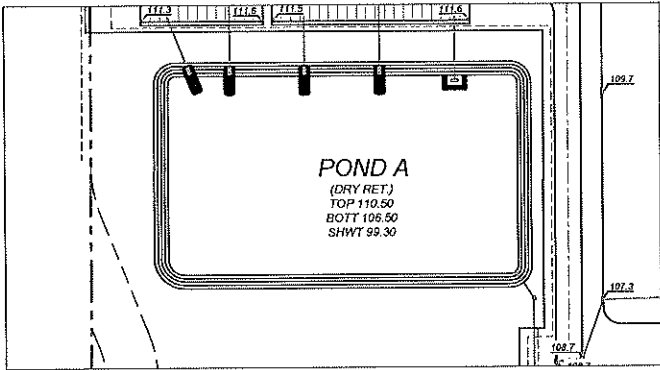
Code Number	Code Requirement	Requested Modification	Justification	Location
6.03.02 A	Parking 2 spaces per 1,000 sf of GFA up to 150,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf of over 150,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sf of GFA.	Entire Site
2.02.01 A	Building Height Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 36' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15 F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road ROW	15' on GE Road, Hermit Smith Road to Main Entrance, 0/10' Adjacent to SR 429, 10/25' Adjacent to Peterson Road, 10' Adjacent to Spine Road Industrial	The northernmost portion of the site is constrained by the encroachment of GE Road, SR 429 has 300' of ROW, 6 lanes, and provides a 20' high barrier to adjacent property to the east.	North and East
2.02.01 BS b(8a)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and right-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public right-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 125', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The sight line shall be from the typical height of a person driving an automobile.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.08	Sidewalk Location Build sidewalks on both sides of public streets	Build sidewalks only on the west side of Spine Road Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spur. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road Industrial is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Spine Road Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.	Entire Site

NOTE:
THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF I-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.

MID FLORIDA LOGISTICS		LOT 5 PLAN		KIMLEY-HORN		REVISIONS PER CITY COMMENTS		05/04/2020		BY	
PARK		PREPARED FOR		BLUESCOPE PROPERTIES		LOT 3 & 4 CONFIGURATION REVISIONS		04/20/2020		BY	
CITY OF APOPKA		FLORIDA		CA 00000956		REVISIONS		DATE		BY	
SHEET NUMBER		15									



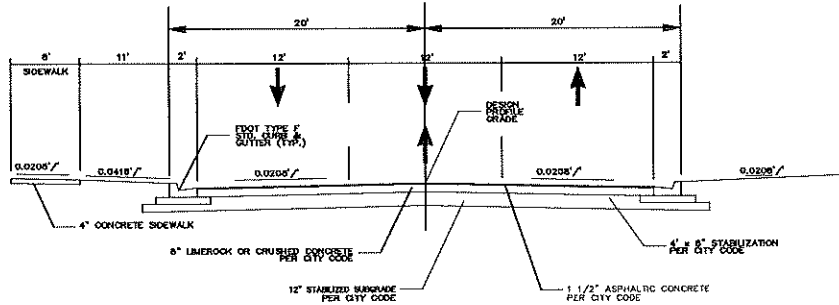
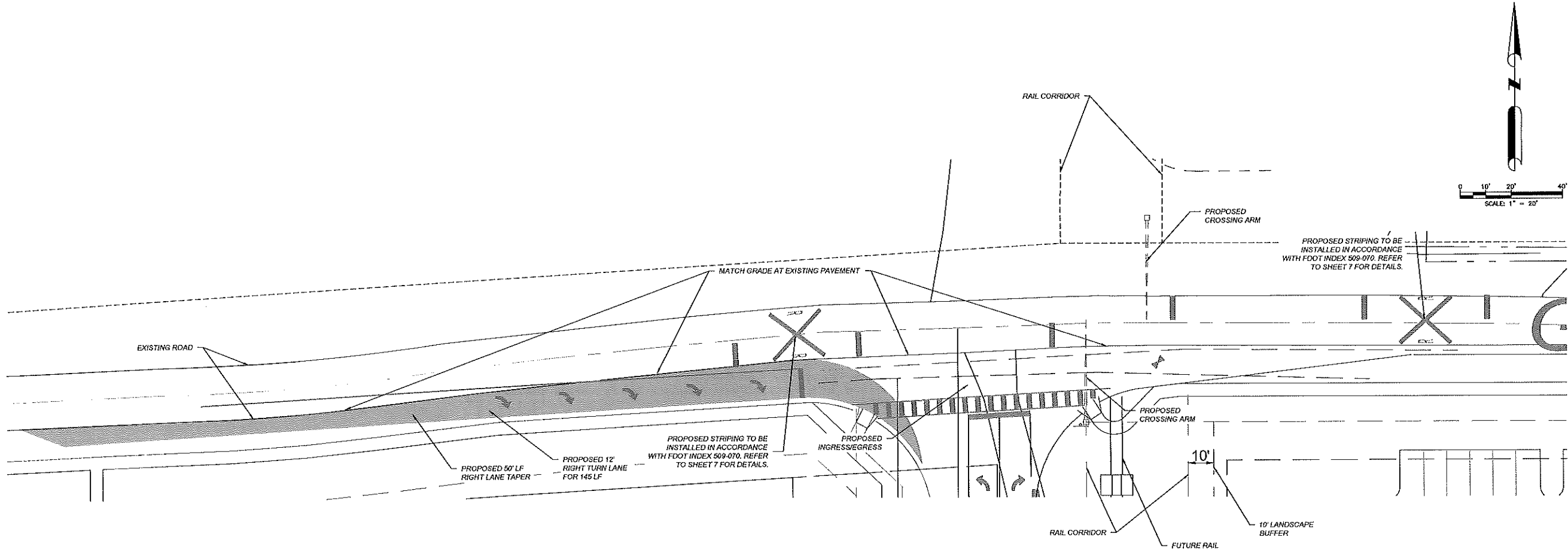
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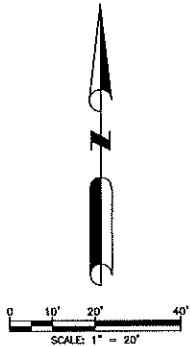
MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC CITY OF APOPKA FLORIDA		PRELIMINARY STORMWATER POND PLAN		KHA PROJECT DATE		LICENSED PROFESSIONAL _____		Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801 PHONE: 883-701-8702 WWW.KIMLEY-HORN.COM CA 00000696		No.		REVISIONS		DATE		BY	
SHEET NUMBER		17		SCALE AS SHOWN		DESIGNED BY											
				DRAWN BY		CHECKED BY		DATE									

K:\LAK_Civil\046265014 - DFLS Apopka\CADD\IPUD\OVERALL PUD\18 GENERAL ELECTRIC ROAD OFFSITE IMPROVEMENTS.dwg, 5/3/2020 11:19:43 AM

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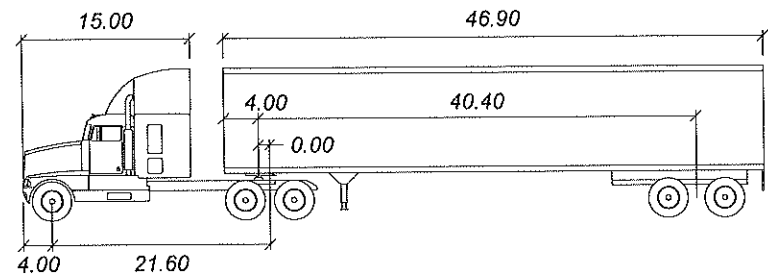


TYPICAL SECTION
(SHELBY INDUSTRIAL DRIVE)



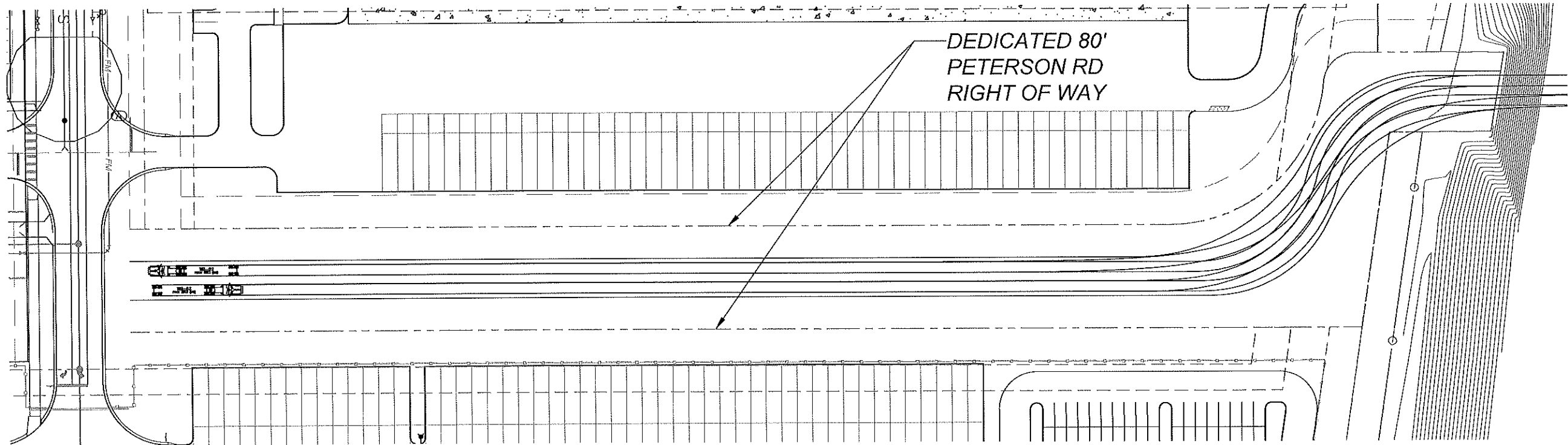
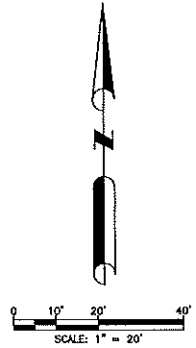
MID FLORIDA LOGISTICS PARK PREPARED FOR BLUESCOPE PROPERTIES GROUP, LLC CITY OF APOPKA, FLORIDA	KHA PROJECT		LICENSED PROFESSIONAL		Kimley»Horn	
	DATE	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801 PHONE: 863-701-8702 WWW.KIMLEY-HORN.COM CA 00000886	© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
SHEET NUMBER 18	KHA PROJECT		LICENSED PROFESSIONAL		No.	
	DATE	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	REVISIONS	
						DATE
						BY

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WB-62

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 31.9
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

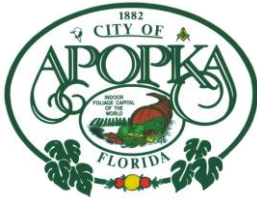


MID FLORIDA LOGISTICS		PETERSON ROAD		KIMLEY»HORN	
PARK		AUTO-TURN		© 2020 KIMLEY-HORN AND ASSOCIATES, INC.	
PREPARED FOR				116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801	
BLUESCOPE PROPERTIES				PHONE: 863-701-8702	
GROUP, LLC				WWW.KIMLEY-HORN.COM CA 00000686	
CITY OF APOPKA				No.	
FLORIDA				REVISIONS	
				DATE	
				BY	

KHA PROJECT		LICENSED PROFESSIONAL	
DATE			
SCALE AS SHOWN			
DESIGNED BY			
DRAWN BY			
CHECKED BY		DATE	

Item Attachment Documents:

1. Preliminary Development Plan – DFL5 Apopka Last Mile
Owner: Mid-Florida Freezer Warehouses, LTD.
Applicant: Kimley Horn and Associates, c/o Jason A. Lewis, P.E.
Location: 2050 and 3150 Shelby Industrial Drive (Mid Florida Logistics Park)
Project: 41.55 +/- acres; 201,475 sq. ft. distribution facility for e-commerce retailer
Project Manager: Bobby Howell, AICP, Senior Planner



CITY OF APOPKA PLANNING COMMISSION

☐	PUBLIC HEARING	MEETING OF:	May 19, 2020
☐	SITE PLAN	FROM:	Community Development
☐	SPECIAL REPORTS	EXHIBITS:	Vicinity Map
☒	OTHER: Preliminary Development Plan		Aerial Map
			Preliminary Development Plan
			Architectural Elevation

SUBJECT: PRELIMINARY DEVELOPMENT PLAN – DFL5 APOPKA LAST MILE

REQUEST: RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN FOR DFL5 APOPKA LAST MILE

SUMMARY:

OWNER:	Mid-Florida Freezer Warehouses, LTD
APPLICANT:	Kimley-Horn and Associates c/o Jason A. Lewis, P.E.
LOCATION:	2050 and 3150 Shelby Industrial Drive; Lot 3 and portion of Lot 4 Mid Florida Logistics Plat
PARCEL ID NUMBER:	01-21-27-5649-03-000, 01-21-27-5649-04-000
FUTURE LAND USE:	Industrial
ZONING:	PD (Planned Development)
EXISTING USE:	Vacant Platted Lot
PROPOSED USE:	Distribution facility for e-commerce retailer
TRACT SIZE:	41.55 +/- acres
BUILDING SIZE:	201,475 square feet
FLOOR AREA RATIO	0.07 (0.25 Maximum)
LAND DEVELOPMENT CODE:	1993, Mid-Florida Logistics Park PD Master Plan

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

PLANNING COMMISSION – MAY 19, 2020
DFL5 APOPKA LAST MILE – PRELIMINARY DEVELOPMENT PLAN
PAGE 2

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial (max FAR 0.60)	I-1	Transport/freight uses, Copart
East (City)	Industrial (max FAR 0.60)	PD	Goya Foods Distribution Facility
South (City)	Industrial (max FAR 0.60)	PD	Vacant property (Portion of Lot 4, Mid-Florida Logistics Park)
West (City)	Residential Very Low Suburban	RSF-1A	Vacant property

Project Use: A Preliminary Development has been submitted for Lot 3 and a portion of Lot 4 of the Mid-Florida Logistics Park, which details the construction of a 201,475 square foot distribution facility for an e-commerce retailer with delivery occurring by vans dispatched from and stored on-site. The City Council approved a PD Master Plan/Preliminary Development Plan/Preliminary Site Plan for Mid-Florida Logistics Park on February 20, 2019, which details the development of the property as a five (5) lot industrial park subdivision with up to 2,342,566 square feet of building floor area. The Mid-Florida Logistics Park is located west of SR 429, south of General Electric Road and east of Hermit Smith Road. All elements of the Preliminary Development Plan are consistent with the approved PD Master Plan/Preliminary Development Plan/Preliminary Site Plan. The development of the property will necessitate an amendment to the Mid-Florida Logistics Park PD Master Plan to accommodate lot line reconfigurations that are related to this project.

Access: Access to the site is located via two access points along General Electric Road, and two access points along Shelby Industrial Drive. A 5-foot wide sidewalks will be constructed along both General Electric Road and Shelby Industrial Drive. A 5-foot wide strip of right-of-way will be dedicated along the portion of the property located on General Electric Road to help facilitate improvements to General Electric Road.

Stormwater: Consistent with the approved PD Master Plan/Preliminary Development Plan/Preliminary Site Plan, the Mid-Florida Logistics Park subdivision has a master stormwater plan that accommodates stormwater retention for all lots within the subdivision. Two tracts located on the northwestern and northeastern corners of the subdivision are reserved for stormwater retention. The stormwater retention areas are owned and maintained by the property owner's association. The closest retention pond, known as Pond "A" is located to the southwest of the proposed development.

Parking: The PDP proposes the development of a 201,475 square foot distribution facility for an e-commerce retailer where delivery vans will be dispatched from and stored on site. A total of 1,554 parking spaces will be provided at the project site. Of this, 422 associate/employee parking spaces will be provided on the northeastern corner of the site adjacent to the intersection of Shelby Industrial Drive and General Electric Road. 1,132 van storage spaces are provided on the northwestern and southern portion of the site. 160 van loading, and 160 van staging spaces are provided on site adjacent to the main distribution building. 15 trailer/box truck loading spaces are provided adjacent to the south side of the main distribution building.

Landscaping: Consistent with the approved PD Master Plan/Preliminary Development Plan/Preliminary Site Plan, trees including Red Maple, Crepe Myrtle, Dahoon Holly, Southern Magnolia, Slash Pine, and Live Oak are provided on site. A landscape bufferyard will be provided along General Electric Road and Shelby Industrial Drive, and along the southern property line.

DEVELOPMENT AGREEMENT: A Development Agreement for the DFL-5 project is currently being drafted and will primarily address surrounding roadway network improvements, and will be presented to the City Council concurrent with the PD Master Plan amendment.

CONDITIONS OF APPROVAL:

1. The Final Development Plan shall identify location of a vehicle wash area and demonstrate that associated effluent will be directed to the City’s wastewater treatment system. The vehicle wash system shall utilize water-saving recycling technology per FDEP standards.
2. A development agreement for off-site transportation improvements, any other off-site improvements (if any), infrastructure schedule and any project phasing must be approved by City Council and recorded.
3. City Council approval of the Amended Mid Florida Logistics Park PD Master Plan.
4. A re-plat of the Mid Florida Logistics Lots 3 and 4 and Tract “A” Stormwater Pond shall be approved by City Council and recorded prior to issuance of the first certificate of occupancy for Lot 3.
5. A five-foot wide sidewalk along General Electric Road and next to the northern protect line of Lot 3 shall be constructed within the road right-of-way, as demonstrated in the Final Development Plan.

PUBLIC HEARING SCHEDULE:

May 19, 2020 - Planning Commission (5:30 pm)

June 3/June 17, 2020 - City Council (1:30 pm/7:00 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the DFL5 Apopka Last Mile Preliminary Development Plan, subject to the Conditional of Approval above and the findings of this staff report.

Planning Commission Recommendation: Find the DFL5 Apopka Last Mile Preliminary Development Plan consistent with the 1993 Land Development Code, the Mid-Florida Logistics Park PD Master Plan and Comprehensive Plan; and recommend approval of the Preliminary Development Plan subject to the Conditions of Approval and the findings of this staff report.

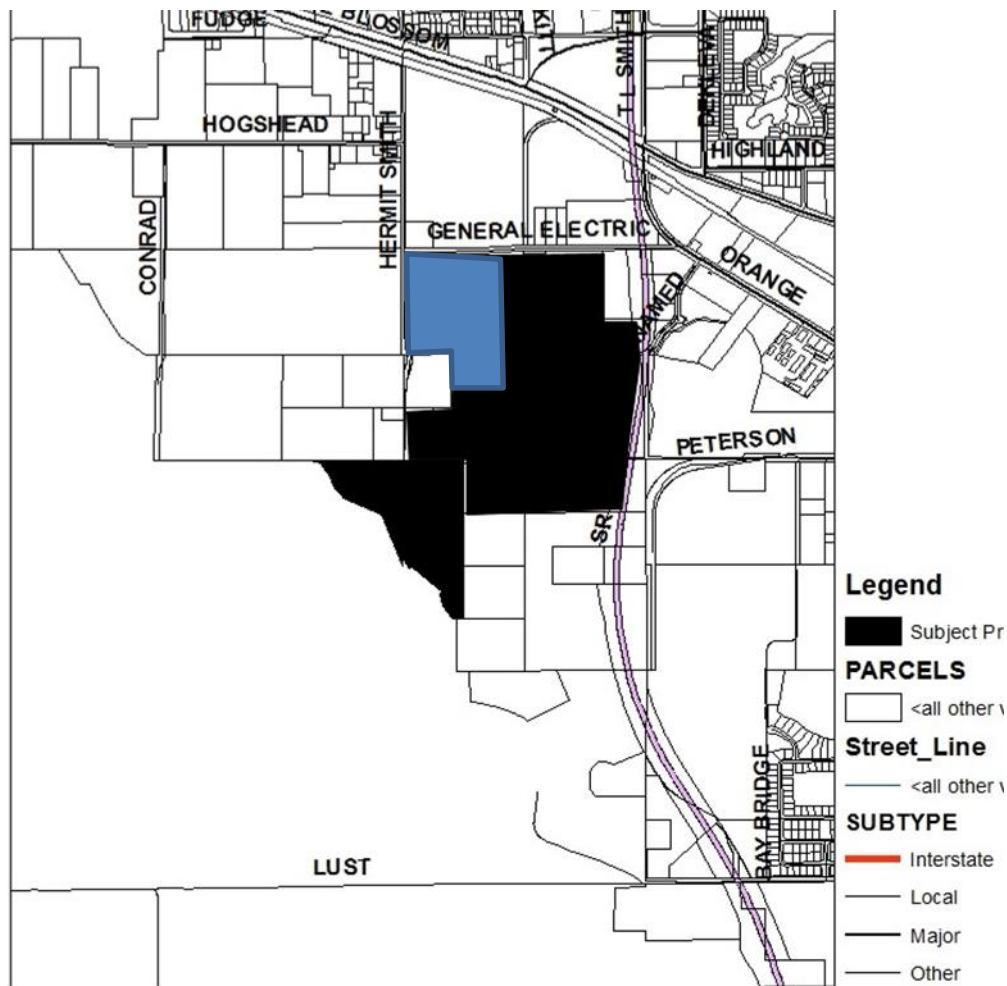
Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

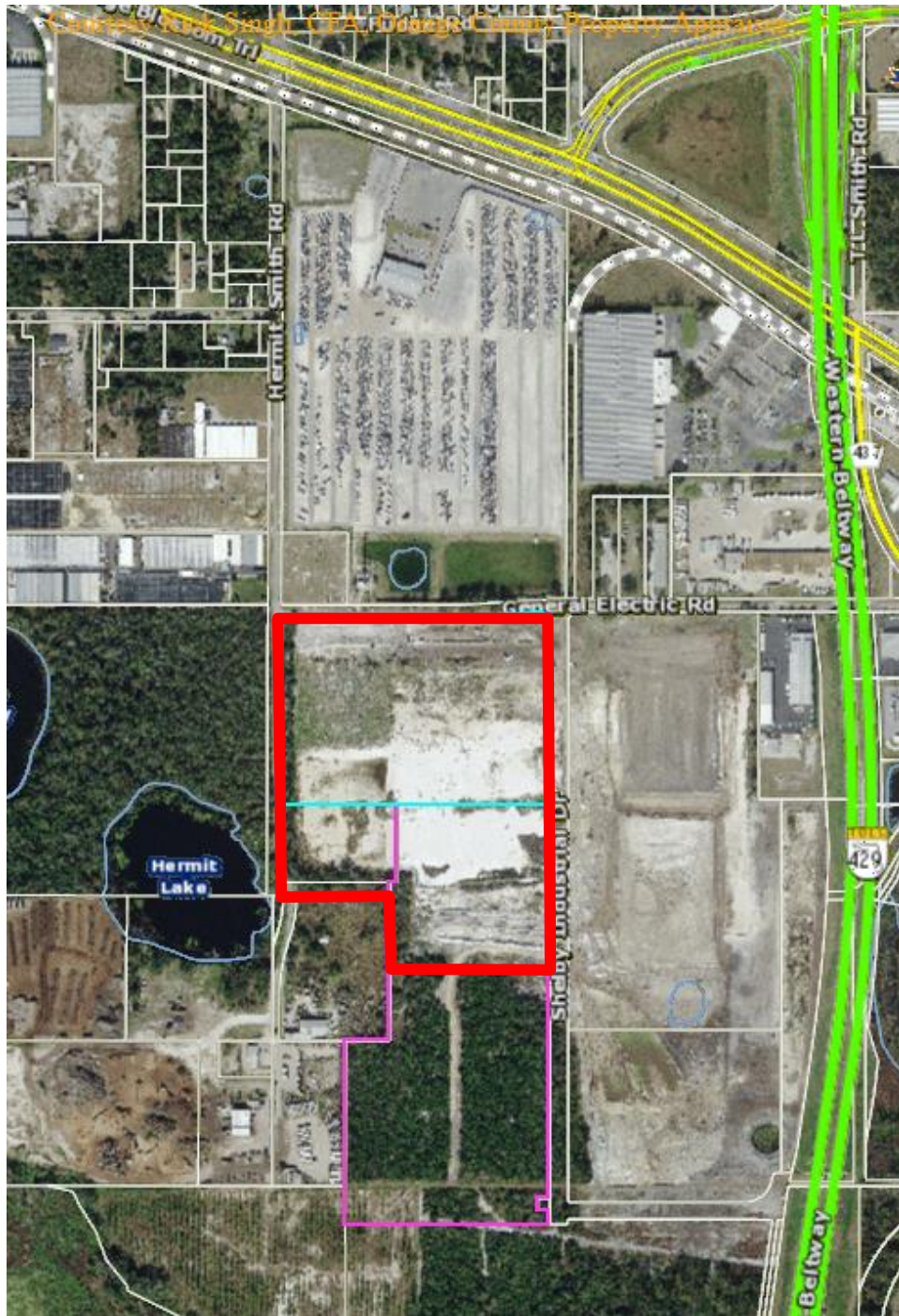
PLANNING COMMISSION – MAY 19, 2020
DFL5 APOPKA LAST MILE – PRELIMINARY DEVELOPMENT PLAN
PAGE 4

Application: DFL 5 Apopka Last Mile Preliminary Development Plan
Parcel ID Numbers: 01-21-27-5649-03-000, 01-21-27-5649-04-000
Location: 2050 and 3150 Shelby Industrial Drive
Lot 3 and portion of Lot 4, Mid Florida Logistics Park Plat
Acres: 41.55 acres +/-

VICINITY MAP



AERIAL MAP

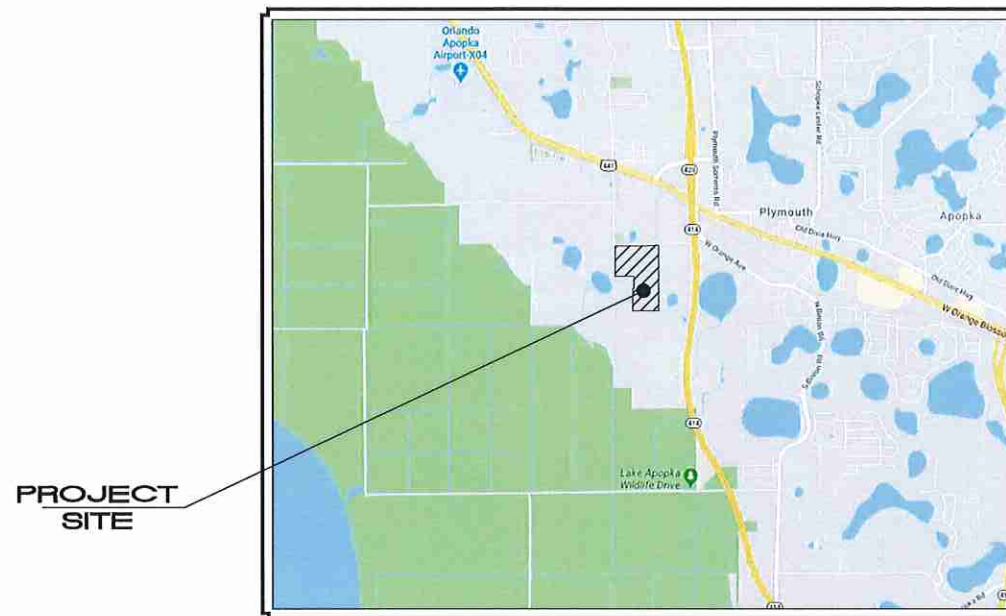




PRELIMINARY DEVELOPMENT PLAN (PDP) FOR DFL5 - APOPKA LAST MILE

SW INTERSECTION OF GENERAL
ELECTRIC ROAD AND SHELBY
INDUSTRIAL DRIVE
APOPKA, FL 32703

PARCEL ID: 01-21-27-5649-03-000
01-21-27-5649-04-000



VICINITY MAP

N.T.S.

SECTION: 1
TOWNSHIP: 21S
RANGE: 27E

SHEET INDEX	
Sheet Number	Sheet Title
C100	COVER SHEET
C200	OVERALL SITE PLAN
C300	AUTOTURN SITE PLAN
C400	MASTER SITE PLAN
C500	MASTER PAVING, GRADING, AND DRAINAGE PLAN
C600	MASTER UTILITY PLAN
L1.0	CONCEPT LANDSCAPE PLAN

PROJECT TEAM:

DEVELOPER:
SEEFRIED DEVELOPMENT
MANAGEMENT, INC.
3333 RIVERWOOD PKWY, SUITE 200
ATLANTA, GA 30339
TEL: (678) 904-1917
pauseseefried@seefriedproperties.com

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC
118 SOUTH KENTUCKY AVENUE
LAKELAND, FL 33801
TEL: (863) 701-8702
jason.lewis@kimley-horn.com

SURVEYOR:
DC JOHNSON & ASSOCIATES
11911 S. CURLY STREET
SAN ANTONIO, FL 33576
TEL: (353) 588-2768

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
1777 MAIN STREET, SUITE 200
SARASOTA, FL 34236
TEL: (941) 379-7600
chris.danflagione@kimley-horn.com

Kimley»»Horn

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116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801
PHONE: 853-701-8702
WWW.KIMLEY-HORN.COM CA 00000596

LICENSED PROFESSIONAL

JASON A. LEWIS, P.E.

62572
FLORIDA LICENSE NUMBER

ATE: —

KHA PROJECT
046265014

APRIL 2020
SCALE AS SHOWN

DESIGNED BY	JAL
DRAWN BY	RS

SS	CHECKED BY
----	------------

COVER SHEET

DFL5- APOPKA LAST MILE
PREPARED FOR
SEEFRIED DEVELOPMENT
MANAGEMENT, INC.
CITY OF APOPKA
FLORIDA

EET NUMBER
C100

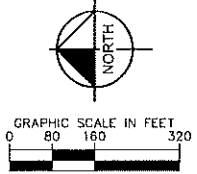
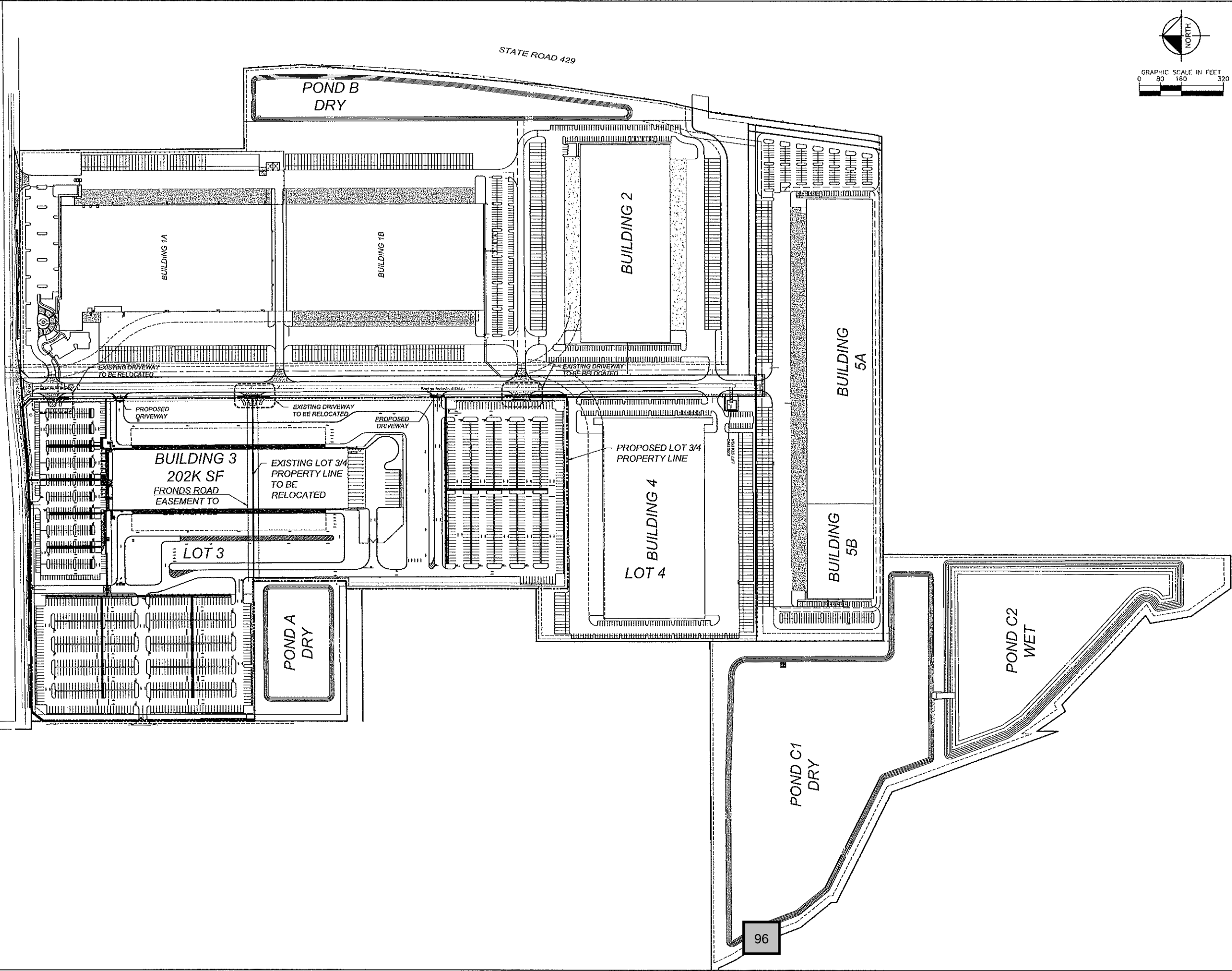
**CALL 2 BUSINESS
DAYS BEFORE
YOU DIG**

IT'S THE LAW
DIAL 811

Know what's below.
Call before you dig.

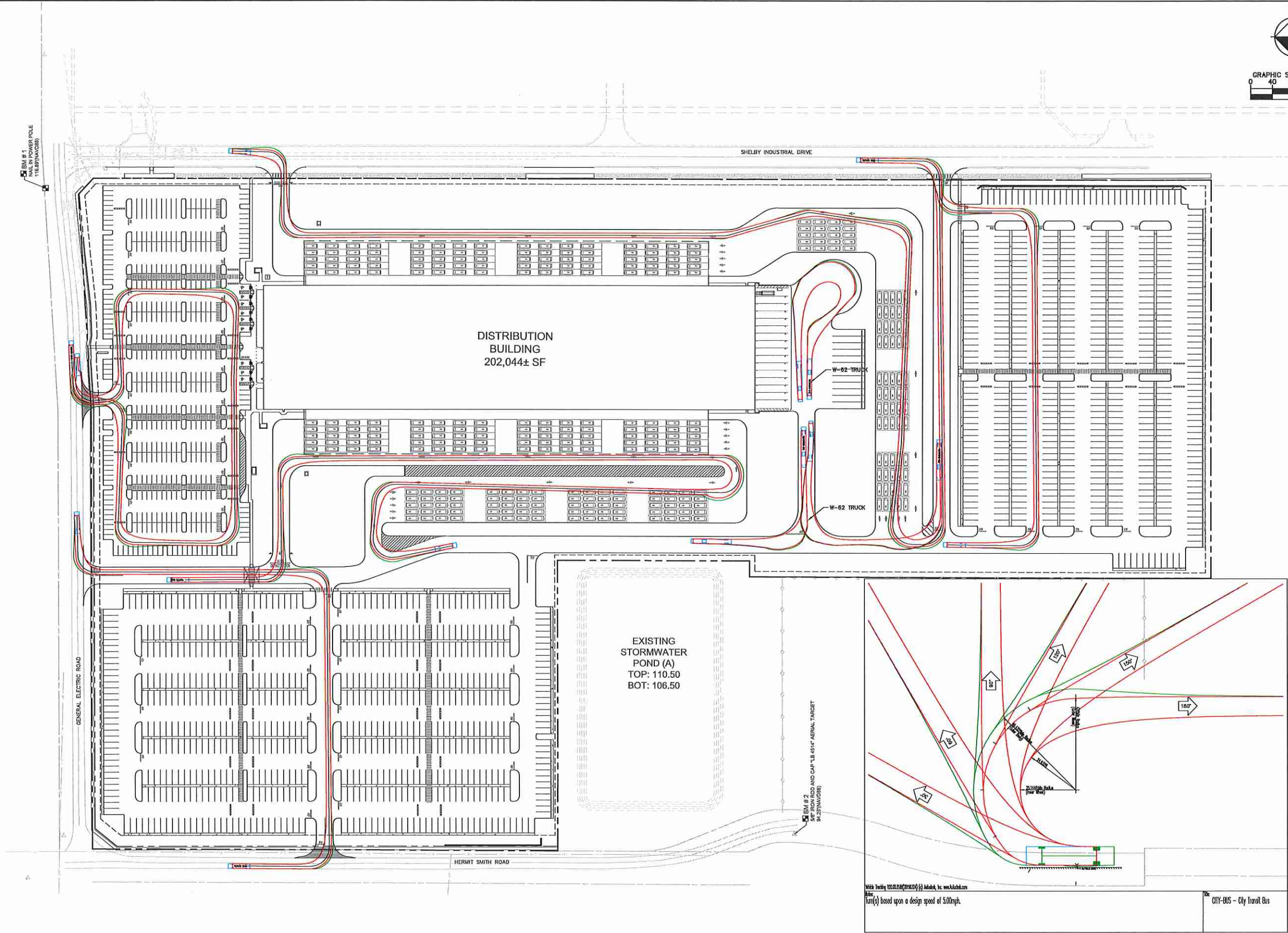
SUNSHINE STATE ONE CALL OF FLORIDA, INC. 

Plotted By: Duddy, Benjamin, Sheet: S01-D015, APOPKA LAST MILE, LAYOUT OVERALL, May 04, 2020, 02:29:09pm, R:\LAK_Civil\046265014 - DFL5 APOPKA CADD\PLUD\CD00-OVERALL MAP.dwg
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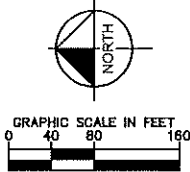
SHEET NUMBER C200		DFL5- APOPKA LAST MILE PREPARED FOR SEEFRIED DEVELOPMENT MANAGEMENT, INC. CITY OF APOPKA FLORIDA		OVERALL SITE PLAN		KHA PROJECT 046265014 DATE APRIL 2020 SCALE AS SHOWN DESIGNED BY JAL DRAWN BY RS CHECKED BY SS DATE		LISCENSED PROFESSIONAL JASON A. LEWIS, P.E. FLORIDA LICENSE NUMBER 62572 www.kimley-horn.com		Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33601 PHONE: 863-701-8702 WWW.KIMLEY-HORN.COM CA 00000696		No.		REVISIONS		DATE		BY	

Plotted By: Duddy, Benjamin. Sheet Set: DFL5-APOPKA LAST MILE. LAYOUT: C500 MASTER SITE PLAN. May 04, 2020. 02:31:04pm. K:\LAK-COA\046265014 - DFL5 APOPKA\CA00 AUTOTURN SITE PLAN.dwg
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DIAL 811
Know what's below.
Call before you dig.
811
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

AUTOTURN SITE PLAN		DFL5- APOPKA LAST MILE PREPARED FOR SEEFRIED DEVELOPMENT MANAGEMENT, INC. CITY OF APOPKA FLORIDA	
KHA PROJECT 046265014		LICENSED PROFESSIONAL	
DATE APRIL 2020		JASON A. LEWIS, P.E.	
SCALE AS SHOWN		FLORIDA LICENSE NUMBER 62572	
DESIGNED BY JAL		DATE	
DRAWN BY RS		NO.	
CHECKED BY SS		REVISIONS	
		DATE	
		BY	



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MASTER SITE PLAN

**CALL 2 BUSINESS
DAYS BEFORE
YOU DIG**

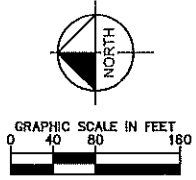
811

**IT'S THE LAW!
DIAL 811**

**Know what's below.
Call before you dig**

MARSHINE STATE ONE CALL OF FLORIDA, INC.

PARKING	USER REQUIRED
ASSOCIATE / EMPLOYEE SPACES	422
VAN STORAGE SPACES	1,132
TOTAL PARKING	1,554
VAN LOADING	160
VAN STAGING	160
TRAILER / BOX TRUCK LOADING	15



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PHONE: 863-701-8702
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62572

FL5- APOKA LAST MILE
PREPARED FOR
SEEFRIED DEVELOPMENT
MANAGEMENT, INC.

CITY OF APOPKA
FLORIDA

SHEET NUMBER
C500

SS	DATE:
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REVISIONS

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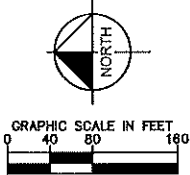
99

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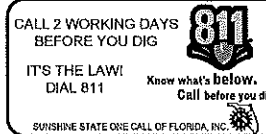
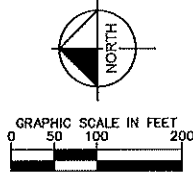
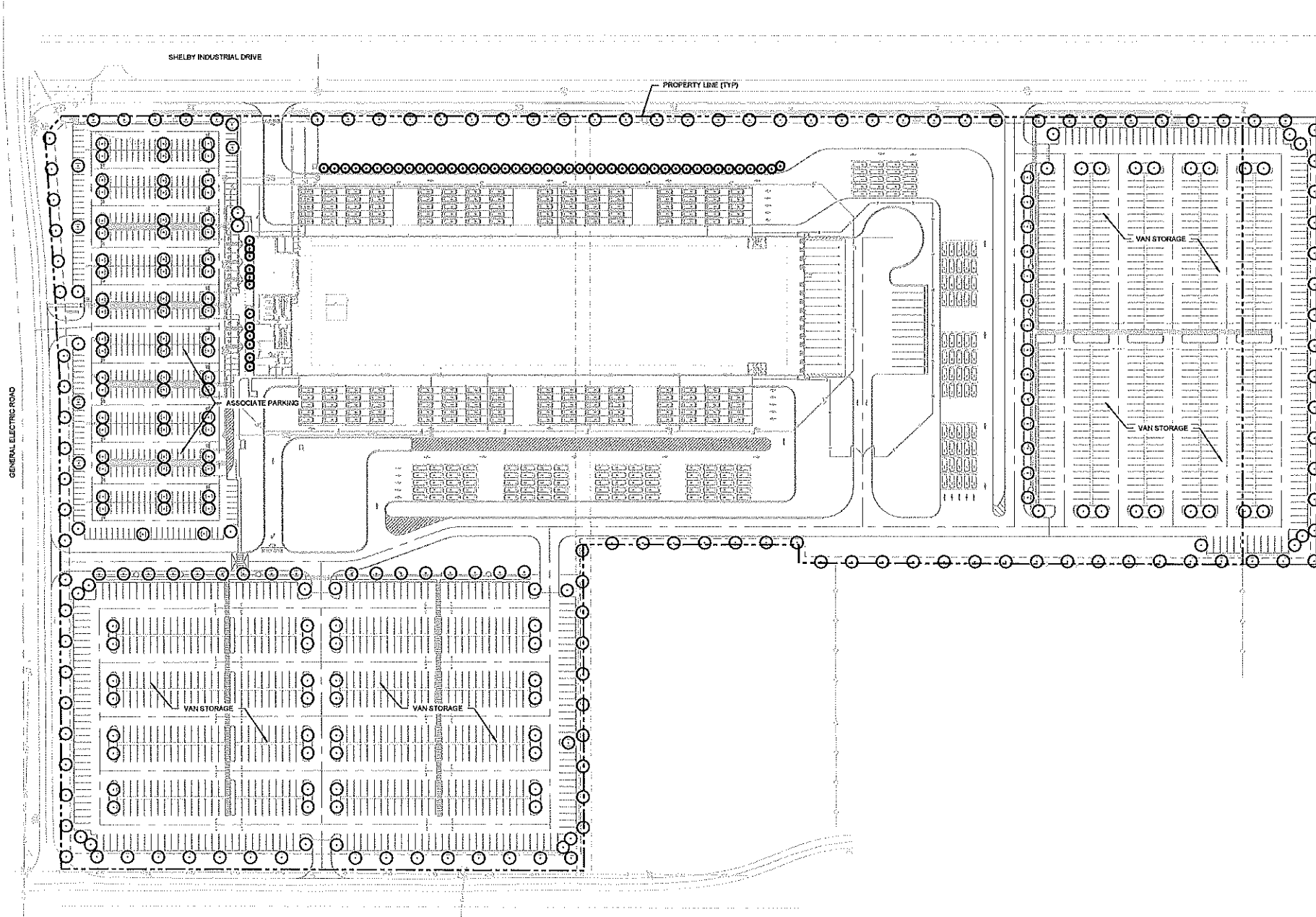
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LANDSCAPE CALCULATIONS <i>PER CITY OF APOPKA LAND DEVELOPMENT CODE</i>		
	REQUIRED	PROVIDED
MINIMUM TREE REQUIREMENT	1 TREE PER 8,000 SF OF SITE AREA 1,899,216 SF / 8,000 SF = 237 TOTAL TREES	318 TOTAL TREES PROVIDED
VEHICULAR USE AREA LANDSCAPING	30% SHADE TREE COVERAGE OF GROSS PARKING LOT AREA 772,318 SF X 30% = 231,695 SF SHADE AREA REQUIRED 1 SHADE TREE PER 6 PARKING SPACES 1,354 PARKING SPACES / 6 = 259 SHADE TREES REQUIRED	231,695 SF SHADE AREA PROVIDED 259 SHADE TREES PROVIDED
BUILDING FOUNDATION LANDSCAPING	1 UNDERSTORY TREE PER 20' OF BUILDING FACADE FACING R.O.W. (4' WIDE PLANTING AREA WITH 24" H' MIN. SHRUBS 24" O.C., PLANTED 30" FROM WALL) 1,118 LF / 20 LF = 56 UNDERSTORY TREES REQUIRED	56 UNDERSTORY TREES PROVIDED
PERIMETER BUFFER LANDSCAPING	6,481 LF, 10' WIDE BUFFER 64,810 SF / 1,000 = 64.81 X 3.7' = 227.5' DBH REQUIRED 64,810 X 25% = 16,202 SF LANDSCAPE REQUIRED	307.5' DBH (123 SHADE TREES) 16,202 SF LANDSCAPE PROVIDED

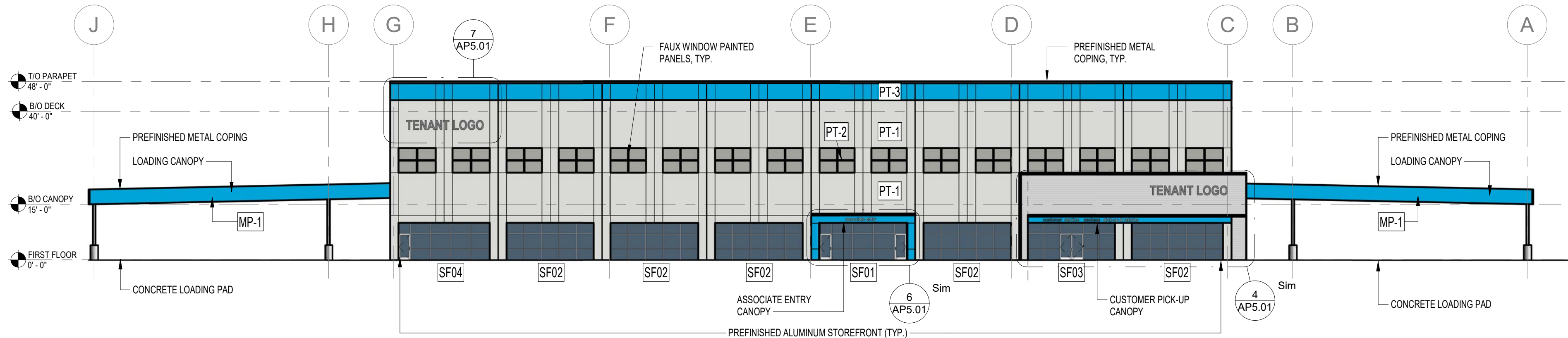
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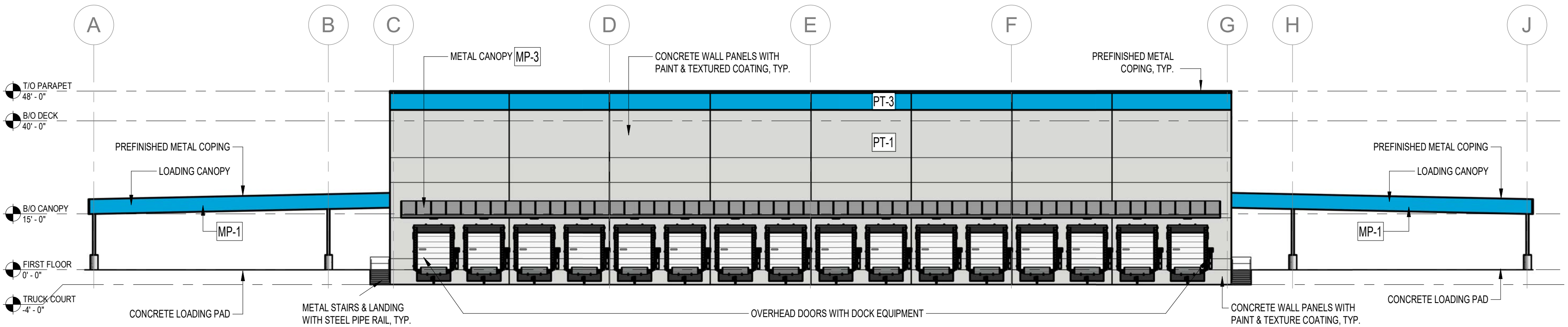
DFL5 - APOPKA PREPARED FOR SEEFRIED DEVELOPMENT MANAGEMENT, INC. CITY OF APOPKA FLORIDA		CONCEPT LANDSCAPE PLAN		KHA PROJECT C4626S014 DATE APRIL 2020 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY KHA CHECKED BY CDC DATE: 4/20/2020		Kimley»»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 1777 MAIN STREET, SUITE 200, SARASOTA, FL 34236 PHONE: 941-378-7600 WWW.KIMLEY-HORN.COM CA 00000698	No. _____ REVISIONS _____ DATE _____ BY _____
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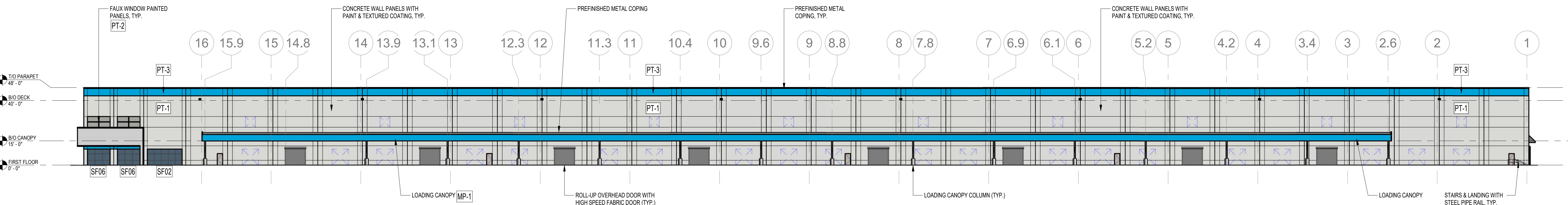
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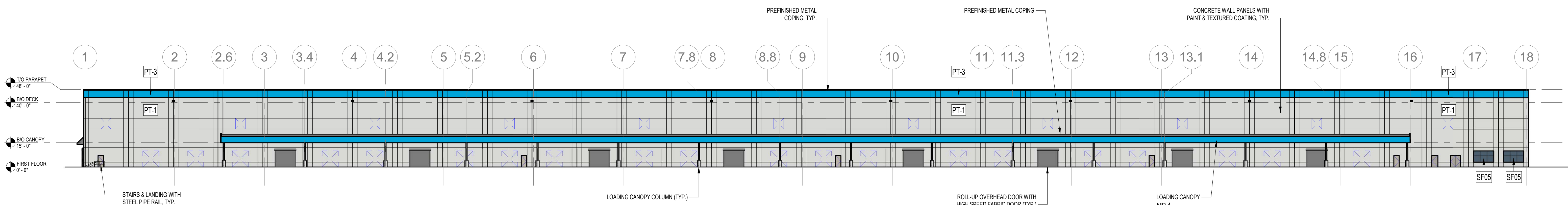
5 NORTH ELEVATION
3/64" = 1'-0"



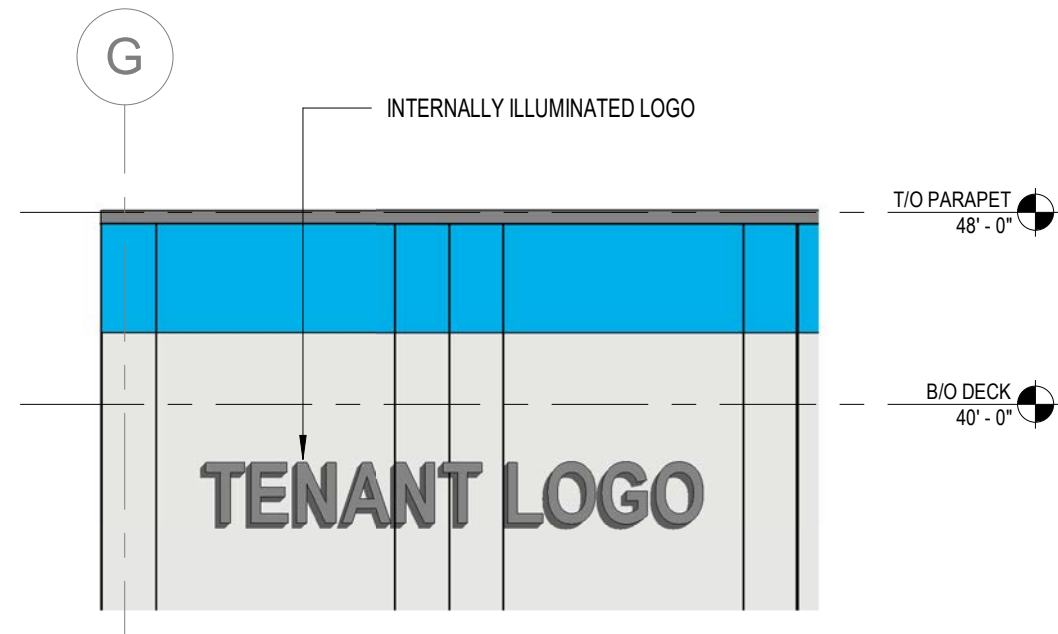
3 SOUTH ELEVATION
3/64" = 1'-0"



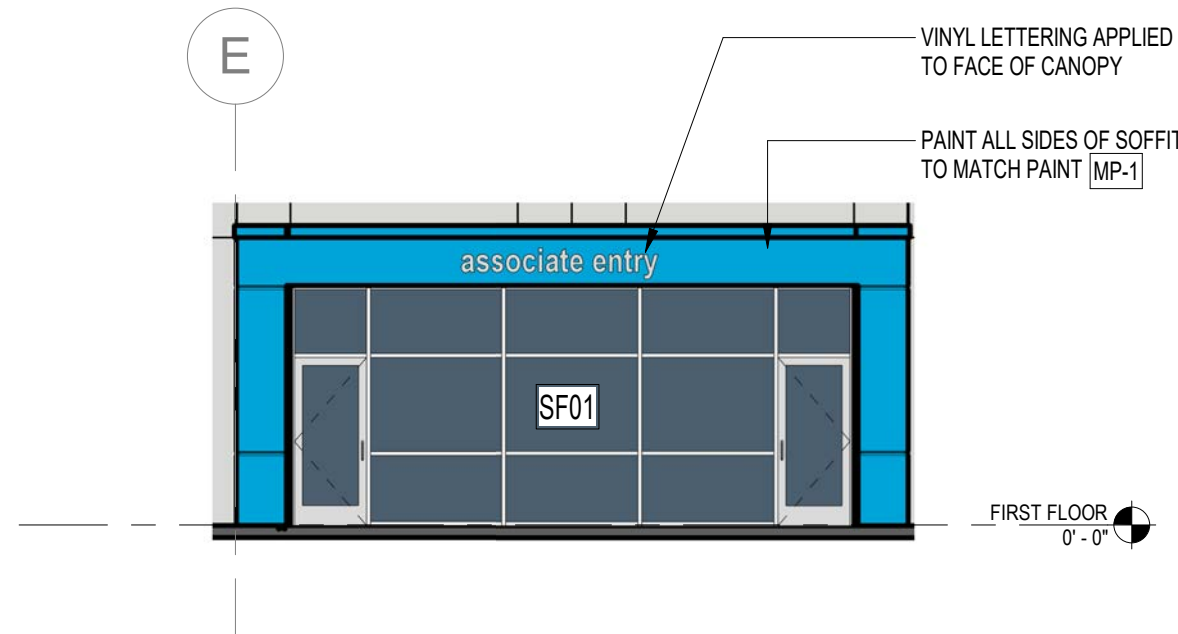
2 WEST ELEVATION
1" = 30'-0"



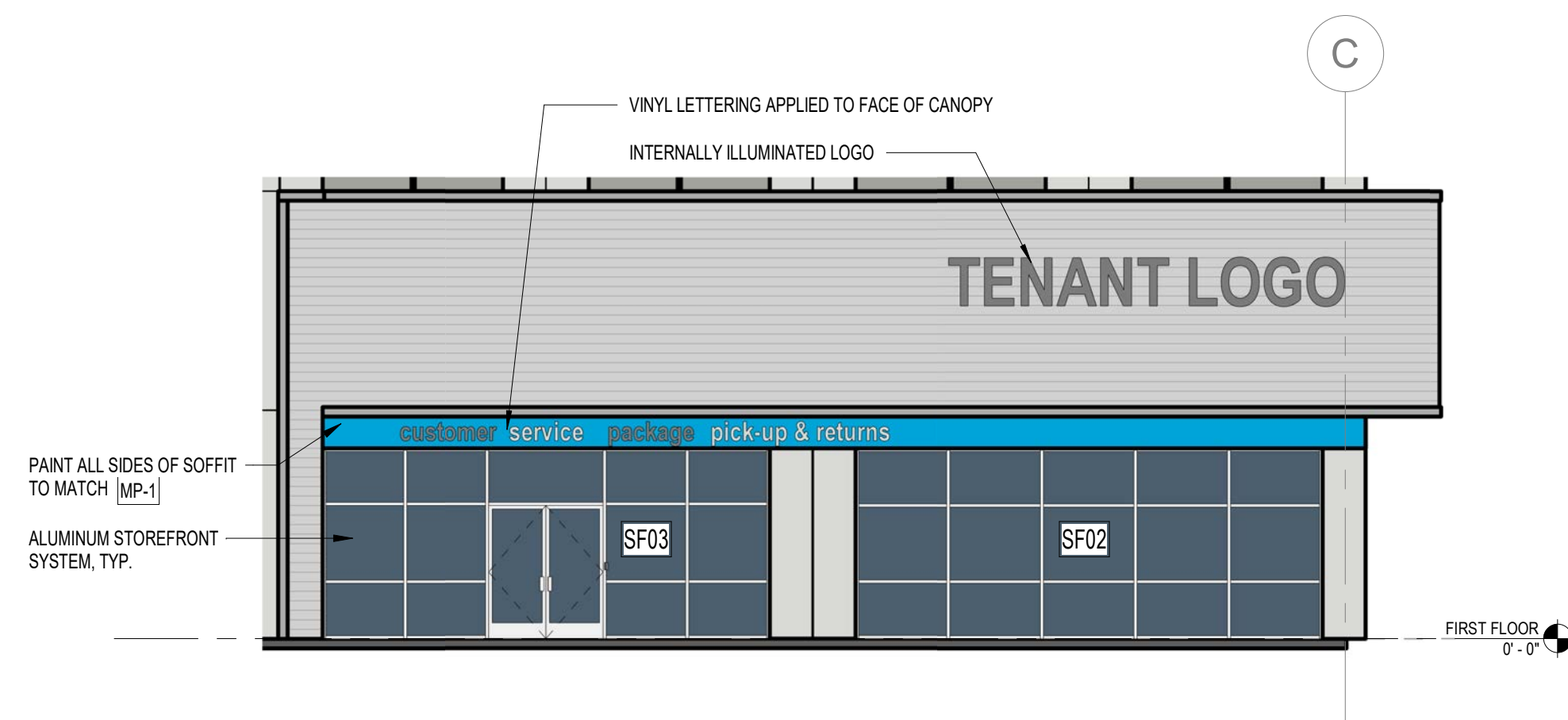
1 EAST ELEVATION
1" = 30'-0"



7 TENANT LOGO SIGNAGE
1/8" = 1'-0"



6 ASSOCIATE ENTRY SIGNAGE
1/8" = 1'-0"



4 TENANT HUB ENTRY SIGNAGE
1/8" = 1'-0"

EXTERIOR PAINT COLOR LEGEND

PT-1 SHERWIN WILLIAMS SW 7063 NEBULOUS WHITE	PT-2 SHERWIN WILLIAMS SW 7066 GRAY MATTERS	PT-3 PANTONE 2995C BLUE
MP-1 PANTONE 2995C BLUE	MP-2 PAC-CLAD 'BONE WHITE'	MP-3 PAC-CLAD 'SLATE GREY'

BUILDING ELEMENTS	COLOR
METAL COPING	MP-3: PAC-CLAD 'SLATE GRAY'
METAL DOWNSPOUT AND CONDUCTOR HEADS	MP-3: PAC-CLAD 'SLATE GRAY'
HOLLOW METAL DOORS AND FRAMES	COLOR TO MATCH MP-3
EXTERIOR METAL RAILINGS, STAIRS AND LANDINGS	GALVANIZED - NO PAINT
LOADING CANOPY SOFFIT	MP-2: PAC-CLAD 'BONE WHITE'
ASSOCIATE ENTRY CANOPY/LOADING CANOPY	MP-1: 'TENANT BLUE'
BOLLARDS	SAFETY YELLOW
INTERIOR STAIRS, RAILINGS AND GUARDRAILS	RED / GRAY
ALL EXPOSED METAL STRUCTURE	PT-1

EXTERIOR ELEVATION GENERAL NOTES :

- HOLD ALL VERTICAL DIMENSIONS.
- HORIZONTAL DIMENSIONS OF REVEAL (NOT PANELS) DIMENSIONS CAN BE +/- FOR PANEL CONSTRUCTION.
- FAUX WINDOWS, OVERFLOWS, ETC. SHOULD BE CENTERED OVER DOOR BELOW.
- FOR TYPICAL FAUX WINDOW PANEL DIMENSIONS SEE EXTERIOR ELEVATIONS ON A5.01.
- SEE TYPICAL REVEAL AND PANEL JOINT DETAILS ON G0.02