

APOPKA PLANNING COMMISSION AGENDA

DECEMBER 08, 2020 5:30 PM

Apopka City Hall Chambers

APOPKA PLANNING COMMISSION MEETING WILL BE [LIVE-STREAMED AND AVAILABLE ON YOUTUBE.](#)

CALL TO ORDER

OPENING AND INVOCATION

APPROVAL OF MINUTES

PUBLIC COMMENT PERIOD

The Public Comment Period is for City-related issues that may or may not be on today's Agenda. If you are here for a matter that requires a public hearing, please wait for that item to come up on the agenda. If you wish to address the Council, you must fill out an Intent to Speak form and provide it to the City Clerk prior to the start of the meeting. If you wish to speak during the Public Comment Period, please fill out a green-colored Intent-to-Speak form. If you wish to speak on a matter that requires a public hearing, please fill out a white-colored Intent-to-Speak form. Speaker forms may be completed up to 48 hours in advance of the Council meeting. Each speaker will have four minutes to give remarks, regardless of the number of items addressed. Please refer to Resolution No. 2016-16 for further information regarding our Public Participation Policy & Procedures for addressing the City Council.

PUBLIC HEARING

1. Comprehensive Plan – Small Scale – Future Land Use Amendment
From: Office (MAX. 0.3 FAR)
To: Mixed Use (MAX. 1.0 FAR, 15 DU/AC)
Owner/Applicant: Carpenter Companies Florida LLC
Location: South of E. Oak Street and west of N. Forest Avenue
Project: 0.13 +/- acres
Project Manager: Phil Martinez

SITE PLANS

1. Major Development Plan – Jason Dwelley K-8 Relief School
Owner: Orange County Public Schools
Applicant: Klima Weeks Civil Engineering, c/o, Jay A. Klima, P.E.
Location: 4650 and 4700 Jason Dwelley Parkway
Project: 15.09 +/- acres; K-8 school
Project Manager: Bobby Howell
2. Special Exception – To allow outdoor storage (as a principal use) in the I-L (Light Industrial District)
Owners/Applicants: Jose L. Perez
Location: 2025 Coral Hills Road
Project: 2.24 +/- acres
Project Manager: Phil Martinez

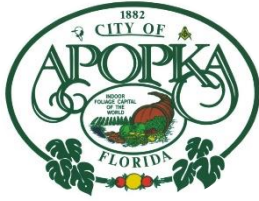
OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Planning Commission with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Planning Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Planning Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Planning Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the Planning Commission meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ SITE PLAN
☐ SPECIAL REPORTS
☐ OTHER:

MEETING OF: December 8, 2020
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Future Land Use Map
Adjacent Zoning Map
Adjacent Uses Map

SUBJECT: COMPREHENSIVE PLAN – SMALL SCALE FUTURE LAND USE
AMENDMENT – CARPENTER

REQUEST: COMPREHENSIVE PLAN – SMALL SCALE FUTURE LAND USE
AMENDMENT – CARPENTER COMPANIES FLORIDA LLC
FROM: OFFICE (MAX. 0.3 FAR)
TO: MIXED USE (MAX. 1.0 FAR, 15 DU/AC)

SUMMARY:

OWNER: Carpenter Companies Florida LLC
APPLICANT: Carpenter Companies Florida LLC
LOCATION: South of E. Oak Street and West of N. Forest Avenue
PARCEL ID NUMBER: 10-21-28-2200-00-521
EXISTING USE: Vacant
CURRENT ZONING: MU-D (Mixed Use Downtown District)
TRACT SIZE: 0.13 +/- acres
MAXIMUM ALLOWABLE
DEVELOPMENT: EXISTING: 1,698 non-residential sq. ft. +/-
PROPOSED: 1 Dwelling Unit and/or 5,662 non-residential sq. ft. +/-

RECOMMENDED ACTION:

Find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from Office to Mixed Use, subject to the findings of the Staff Report.

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The proposed “Mixed Use” Future Land Use is compatible with the property due to residential-oriented Future Land Use designations and residential uses being found in the vicinity. In addition, the proposed Mixed-Use Future Land Use is compatible with the current zoning, MU-D (Mixed Use Downtown District). The applicant has expressed intent to construct a single-family home on the parcel.

COMPREHENSIVE PLAN COMPLIANCE: The proposed Future Land Use, “Mixed Use”, is consistent with the proposed zoning designation, MU-D (Mixed Use District). Site development cannot exceed the density allowed by the Mixed Use policies in the Comprehensive Plan. Planning & Zoning staff determines that the below policies support a “Mixed Use” designation at the subject site.

SCHOOL CAPACITY REPORT: The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school Capacity and Concurrency per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on November 6, 2020.

PUBLIC HEARING SCHEDULE:

December 8, 2020 - Planning Commission (5:30 pm)

January 6, 2021 - City Council (1:30 pm) - 1st Reading

January 20, 2021 – City Council (7:00 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

November 27, 2020 – Public Notice and Notification (Apopka Chief); Property owner(s) were notified of the hearing schedule via U.S. Postal Service mail.

RECOMMENDATION ACTION:

Development Review Committee: Finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the proposed Future Land Use Designation of “Mixed Use” for the property owned by Carpenter Companies Florida LLC and located south of E. Oak Street and west of N. Forest Avenue.

Planning Commission Recommended Motion: Find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change of Future Land Use Designation from Office to Mixed Use, subject to the findings of the Staff Report.

Note: This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Institutional/Public	O	Advent Health Medical Plaza
East (City)	Office	MU-D	Brighthouse Substation
South (City)	Office	MU-D	Single Family Homes
West (City)	Office	MU-D	Parking Lot

II. LAND USE ANALYSIS

The subject property is currently vacant, future development must comply with the Mixed Use future land use designation and be consistent with the Comprehensive Plan policies.

The proposed Mixed Use future land use designation is consistent with the general future land use character of the surrounding area.

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Core Area” of the JPA. The proposed FLUM Amendment request for a change from Office to Mixed Use (MAX. 1.0 FAR, 15 DU/AC) is consistent with the terms of the JPA (Second Amendment). Carpenter Companies Florida LLC is the property owner, and has been notified of the hearing schedule.

Transportation: Road access to the site is from E. Oak Street.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Mixed Use (MAX. 1.0 FAR, 15 DU/AC). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population.

CALCULATIONS:

ADOPTED: 1,698 non-residential sq. ft. +/-

PROPOSED: 1 Dwelling Unit and/or 5,662 non-residential sq. ft. +/-

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. The subject property is 0.13 acres in size and is exempt from this requirement.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita; 90 GPD/1,000sf

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: _____ GPD
3. Projected total demand under proposed designation: _____ GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 90 GPD/1,000sf
7. Improvement/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 174 GPD/Capita; 200 GPD/1,000sf

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: _____ GPD
3. Projected total demand under proposed designation: _____ GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 174 GPD/Capita
6. Projected LOS under proposed designation: 200 GPD/1,000sf

7. Improvement/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area.

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: _____ lbs/ day /Capita
4. Projected LOS under proposed designation: _____ lbs / day /1,000sf
5. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 24.141 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site:
2. Projected LOS under existing designation:
3. Projected LOS under proposed designation:
4. Improvement/expansion: On site retention / detention ponds

Recreation

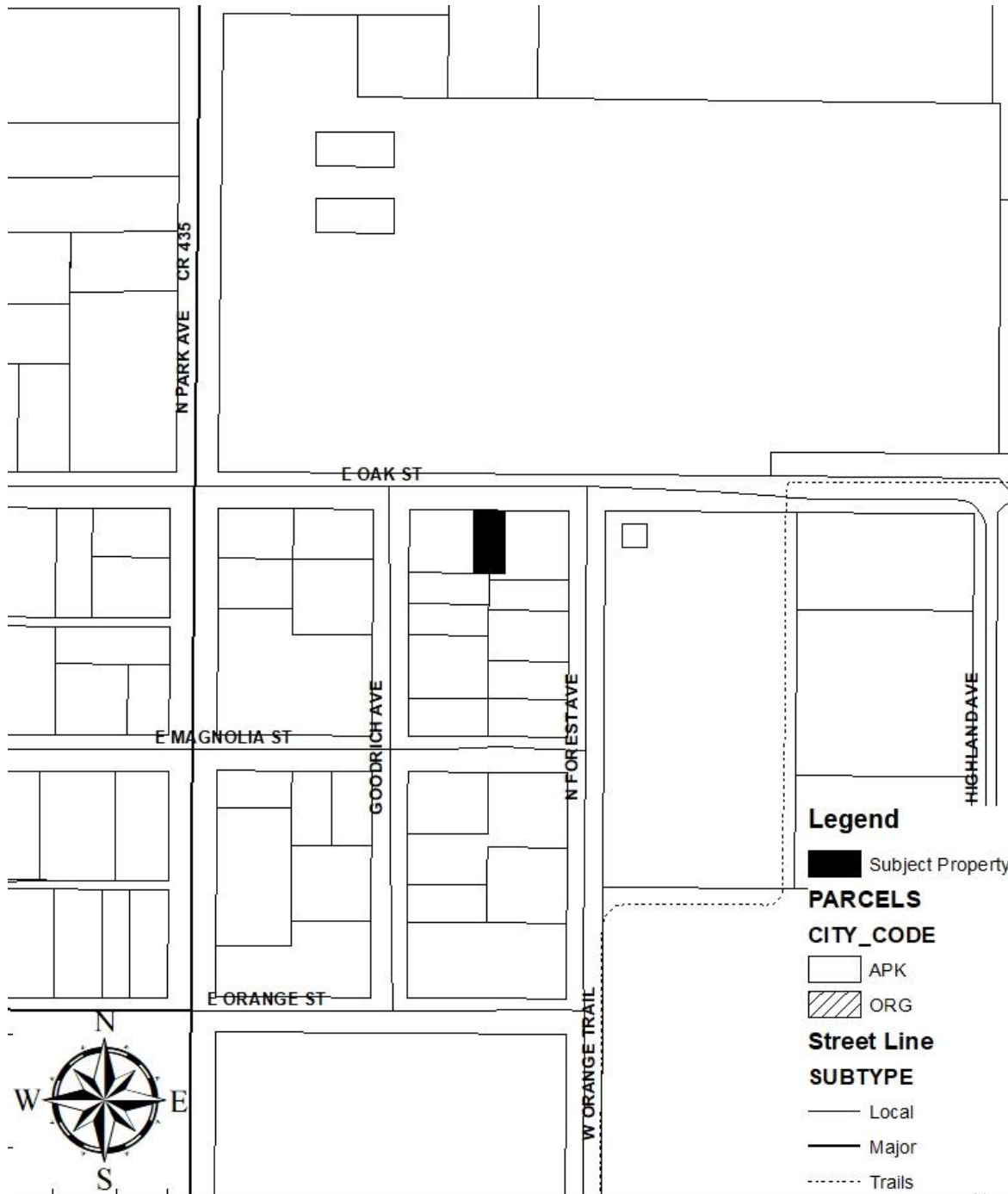
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 acre / 1000 capita
2. Projected facility under existing designation: 0 acres
3. Projected facility under proposed designation: 0.01 acres

4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

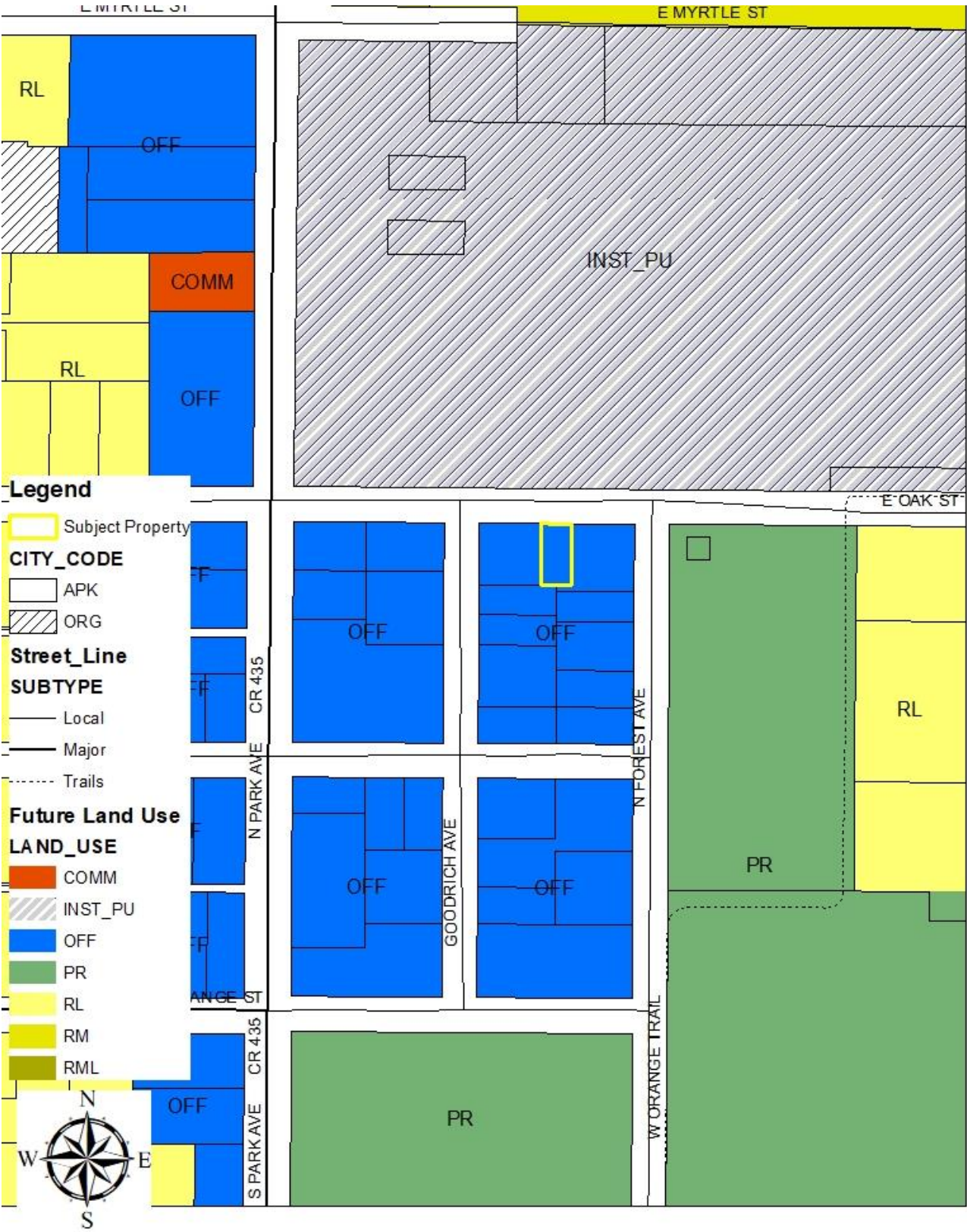


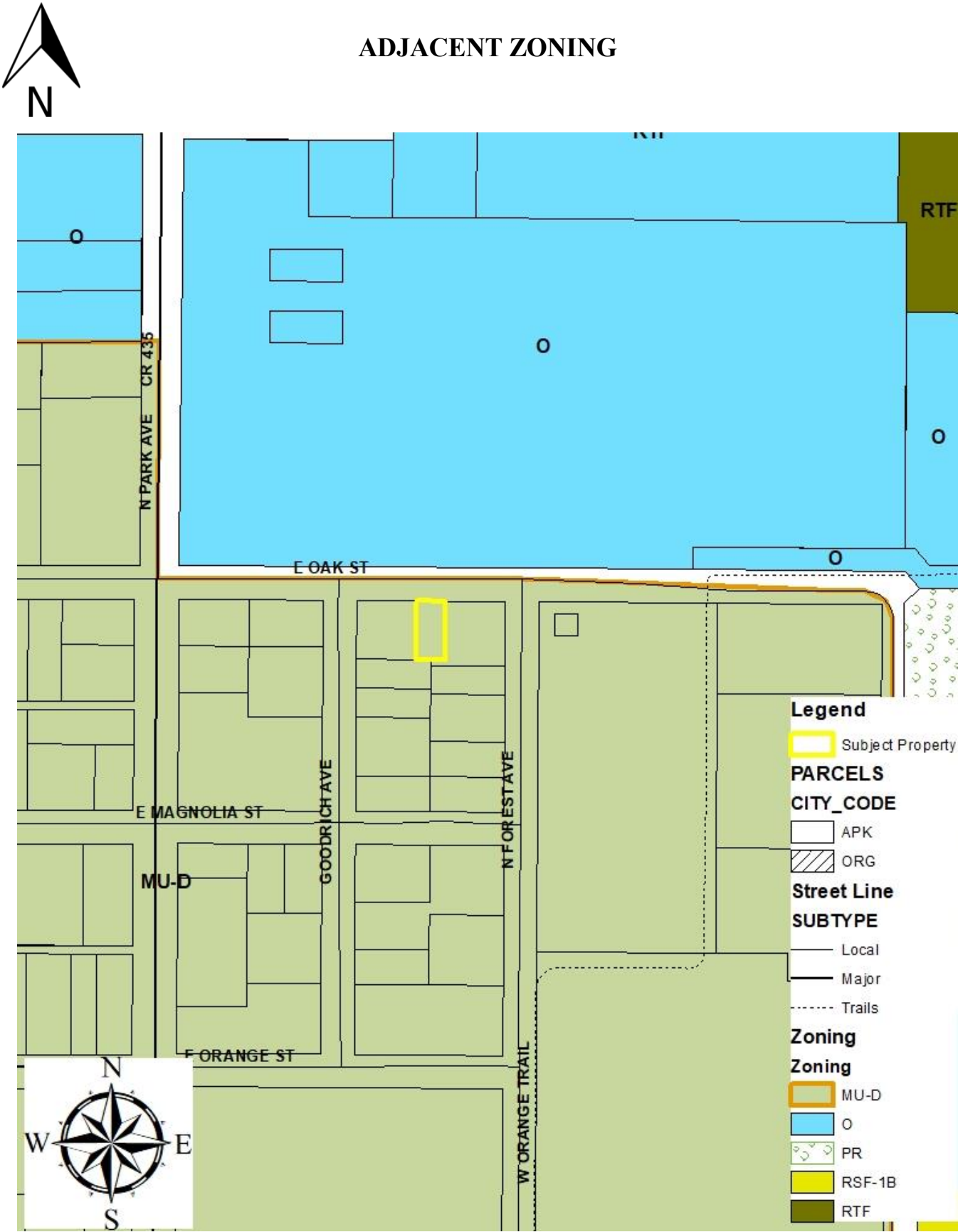
Carpenter Companies Florida LLC
0.13 +/- acres
Proposed Small-Scale Future Land Use Amendment:
From: Office
To: Mixed Use
Parcel ID #: 10-21-28-2200-00-521

VICINITY MAP



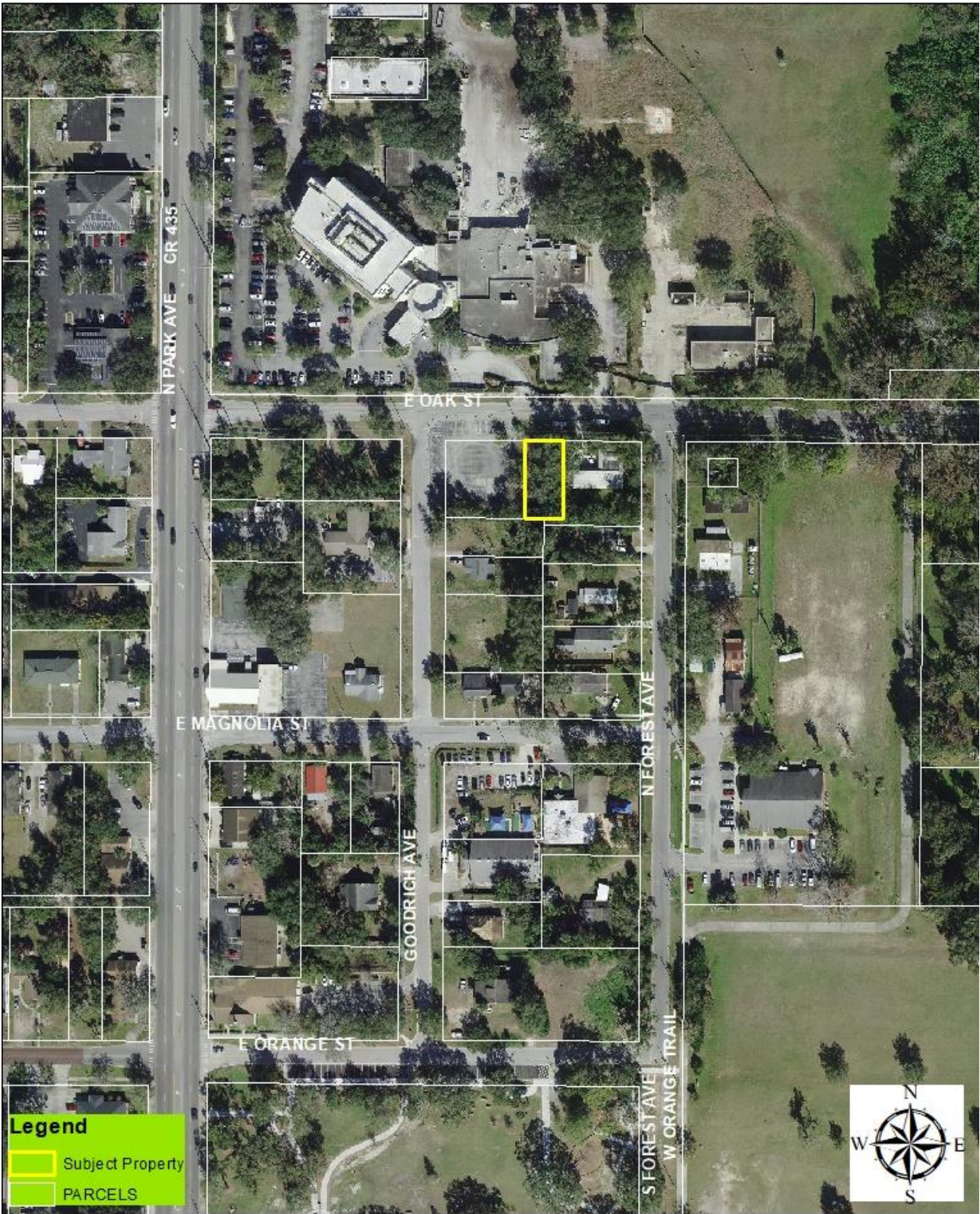
FUTURE LAND USE MAP

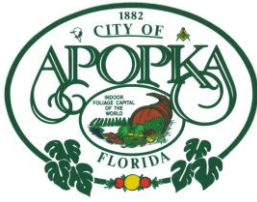






ADJACENT USES





CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☒ SITE PLAN
☐ SPECIAL REPORTS
☐ OTHER:

MEETING OF: December 8, 2020
FROM: Community Development
EXHIBITS: Vicinity Map
Major Development Plan

SUBJECT: JASON DWELLEY K-8 RELIEF SCHOOL - MAJOR DEVELOPMENT PLAN

REQUEST: RECOMMEND APPROVAL OF THE JASON DWELLEY K-8 RELIEF SCHOOL - MAJOR DEVELOPMENT PLAN

SUMMARY:

OWNER: Orange County Public Schools
APPLICANT: Klima Weeks Civil Engineering, c/o, Jay A. Klima, P.E.
LOCATION: 4650 and 4700 Jason Dwelley Parkway
PARCEL ID NUMBER: 18-20-28-0000-00-053, 18-20-28-0000-00-054
EXISTING USE: Vacant
FLUM DESIGNATION: Institutional/Public Use
CURRENT ZONING: O (Office)
PROPOSED DEVELOPMENT: 141,952 square foot K-8 school
TRACT SIZE: 15.09 acres +/-
APPLICABLE LDC: 2019

RECOMMENDED ACTION:

Recommend approval of the Jason Dwelley K-8 Relief School Major Development Plan.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

PLANNING COMMISSION – DECEMBER 8, 2020
JASON DWELLEY K-8 SCHOOL – MAJOR DEVELOPMENT PLAN
PAGE 2

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City, County)	“City” Residential Very Low Suburban, “County” Rural	“City” RSF-1A, “County” A-1	Single-family residence, agricultural buildings
East (City)	Residential Estate	City PD	Rock Springs Ridge
South (City)	Residential Very Low Suburban	City PD	Orchid Estates subdivision
West (City, County)	“City” Residential Very Low Suburban, “County” Rural	“City” RSF-1A, “County” A-1	Vacant, mobile home residence

PROJECT USE: The applicant has submitted a Major Development Plan for a 141,952 square foot K-8 school. The subject property is located at 4650 and 4700 Jason Dwelley Parkway and is approximately 15.09 acres in size. The Major Development Plan details the construction of the main school building, gymnasium, a track and ball fields, hardcourts, drop-off/pick-up area and reserves an area for future portables to be installed as needed.

ACCESS/PARKING: The site will be accessed via Jason Dwelley Parkway via two access points which consist of one right-in/right-out that is reserved for school buses, and one full access point that leads to the parking lot and parent drop-off/pick-up loop. Right and left turn lanes will be constructed leading into the site at the full access point, and a right turn lane will be constructed at the access point that is reserved for school buses. A total of 145 parking spaces are provided on site. Of the 145 parking spaces, 5 are accessible parking spaces.

STORMWATER: Stormwater retention ponds are proposed to be located in the center of the school bus loop, and the center of the parent drop-off/pick-up area.

LANDSCAPING: The landscape plan proposes the planting of Magnolia, Loblolly Pine, Shumard Oak, and Live Oak as trees on site. These materials are consistent with the requirements of the Land Development Code. A natural tree protection area consisting of existing pines will be preserved on the portion of the property that is adjacent to Jason Dwelley Parkway. In addition, an area of existing trees and understory material will be preserved adjacent to the Orchid Estates residential subdivision to act as a buffer between the existing residences and the proposed school.

ORANGE COUNTY NOTIFICATION: Orange County was notified at the time of the Major Development Plan submittal for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE

December 8, 2020 - Planning Commission, 5:30 pm

December 16, 2020 - City Council, 7:00 pm

RECOMMENDATION ACTION:

Development Review Committee: Finds the Major Development Plan consistent with the Land Development Code.

Recommended Motion: Recommend approval of the Major Development Plan for Jason Dwelley K-8 relief school.

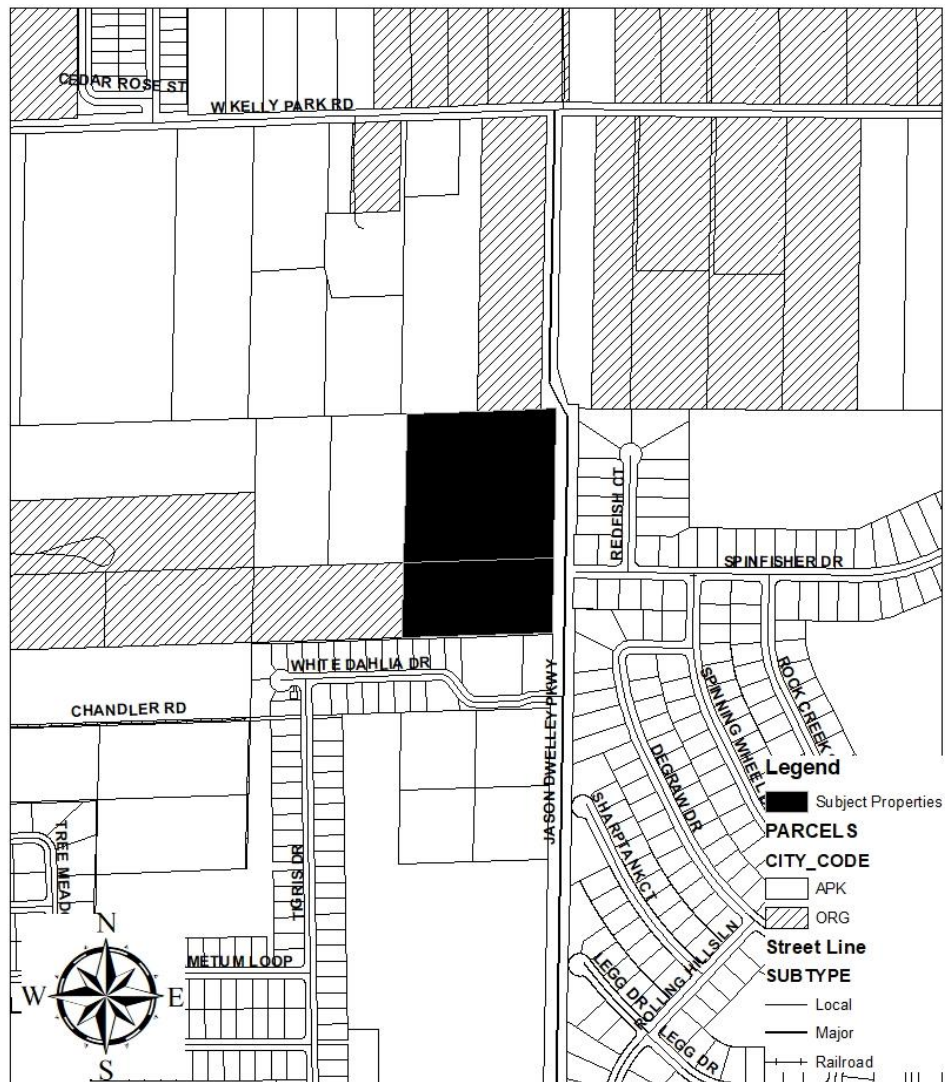
Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

PLANNING COMMISSION – DECEMBER 8, 2020
JASON DWELLEY K-8 SCHOOL – MAJOR DEVELOPMENT PLAN
PAGE 4

Project: Jason Dwelley K-8 school
Owned by: Orange County Public Schools
Location: 4650 and 4700 Jason Dwelley Parkway
Parcel ID#: 18-20-28-0000-00-053, 18-20-28-0000-00-054

VICINITY MAP



(THIS MAP IS FOR REFERENCE PURPOSES ONLY AND IS NOT TO SCALE)



SITE 90-K8-N-7

APOPKA, FLORIDA 32712
OCP PROJECT NUMBER: S-0094
FOR

ORANGE COUNTY PUBLIC SCHOOLS



ORANGE COUNTY SCHOOL BOARD

Teresa Jacobs Chairman
Pam Gould
Angie Gallo
Johanna Lopez
Linda Kobert
Kathleen "Kat" Gordon
Karen Castor Dentel
Melissa Byrd

Barbara M. Jenkins Superintendent
Rahim Jones Area Superintendent
North Learning Community

INDEX OF DRAWINGS

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V002	BOUNDARY & TOPOGRAPHIC SURVEY
C001	GENERAL NOTES
C100	SITE PLAN
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C201	DEMOLITION & EROSION CONTROL PLAN
C300	GEOMETRY & STRIPING PLAN
C301	GEOMETRY & STRIPING PLAN
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C401	GRADING & DRAINAGE PLAN
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C701	GRADING & DRAINAGE DETAILS
C800	UTILITY DETAILS
C801	UTILITY DETAILS
C802	UTILITY DETAILS
C803	UTILITY DETAILS
C804	UTILITY DETAILS
C805	UTILITY DETAILS
C900	LIFT STATION DETAILS
C901	LIFT STATION DETAILS

CONSULTANTS

Civil	Klima Weeks Civil Engineering
Landscape	BONNETT design group, llc
Structural	BBM Structural Engineers
MEP	SGM Engineering Inc.



Digitally signed by Jay A. Klima
Reason: This document has been
digitally signed and sealed by Jay
A. Klima. P.E. on the date indicated
below. Printed copies of this
document are not considered
signed and sealed and the
signature must be verified on any
electronic copies.
Date: 2020.09.30 15:53:17 -0400

JAY A. KLIMA, P.E.
FL P.E. #12943

Klima
Weeks
CIVIL ENGINEERING

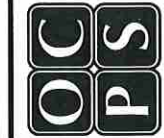
Certificate of Authorization No.: 9230

REV	DATE	NOTE

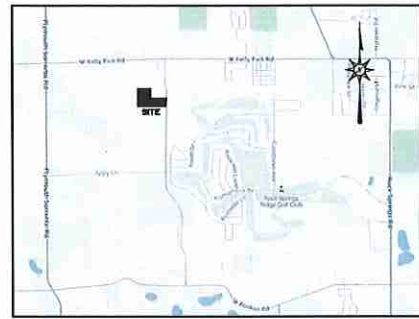
ZYSCOVICH
ARCHITECTS
200 S. Park Avenue # 510
Orlando, Florida 32709
Tel: 407.274.1188
Fax: 407.274.1188
www.zyscovich.com

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCP Project No: S-0094

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
EDG. 200, 6601 MAGIC WAY ORLANDO, FLORIDA 32809



DRAWN: JAK
CHECKED: JAK
DATE: 02-24-20
OCP DRAWING FILE NAME:
SHEET NUMBER:
Cooo
OF (Total)



VICINITY MAP

SURVEYOR'S NOTES

1. THIS BOUNDARY SURVEY WAS PREPARED FOR ORANGE COUNTY PUBLIC SCHOOLS. ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SPOKING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST, NAD 83, NOS ADJUSTMENT OF 2011, GRID 12A. THE NORTH LINE OF THE NE 1/4 OF SECTION 16, TOWNSHIP 20 SOUTH, RANGE 28 EAST BEARS N88°07'25"E 659.39'.
3. UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY ARE BASED ON ACTUAL FIELD MEASUREMENTS.
4. THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 6J-17 STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS.
5. THE SUBJECT PROPERTY CONTAINS 15.092 ACRES OF LAND, MORE OR LESS.
6. THE FOLLOWING WERE USED IN THE PREPARATION OF THIS SURVEY:
 - A. PLAT OF JASON DWELLEY PARKWAY AS RECORDED IN PLAT BOOK 87, PAGES 34-38 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
 - B. CERTIFIED CORNER RECORD DOCUMENT NUMBERS 41736, 41876, 41877 AND 41878.
 - C. A REVIEW OF FLOOD INSURANCE RATE MAPS FOR ORANGE COUNTY, FLORIDA, INDICATES THAT THE PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). THIS INFORMATION WAS TAKEN FROM MAP NUMBER 1204500000, REVISED SEPTEMBER 25, 2009.
 - D. AS OF THE DATE OF THIS SURVEY, THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
 - E. AS OF THE DATE OF THIS SURVEY, THE SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
 - F. AS OF THE DATE OF THIS SURVEY, NO WETLAND FLAGS WERE OBSERVED ON THE SUBJECT PROPERTY.
 - G. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND RESTRICTIONS THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT DEPICTED ON THE SURVEY.
 - H. THE VERTICAL DATUM FOR THIS SURVEY IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE BENCHMARK THIS SURVEY IS BASED ON IS DESCRIBED AS FOLLOWS: ORANGE COUNTY BENCHMARK # 708023, A 2" ORANGE COUNTY BRASS DISK SET IN A 1-FOOT ROUND CONCRETE MONUMENT ON THE NORTH SIDE OF KELLY PARK ROAD, 118' +/- EAST OF THE CENTERLINE OF DRIVEWAY AT ADDRESS NUMBER 2015, PUBLISHED ELEVATION = 115.208 FEET. SITE BENCHMARKS ARE SHOWN AND DESCRIBED GRAPHICALLY ON THE SURVEY.

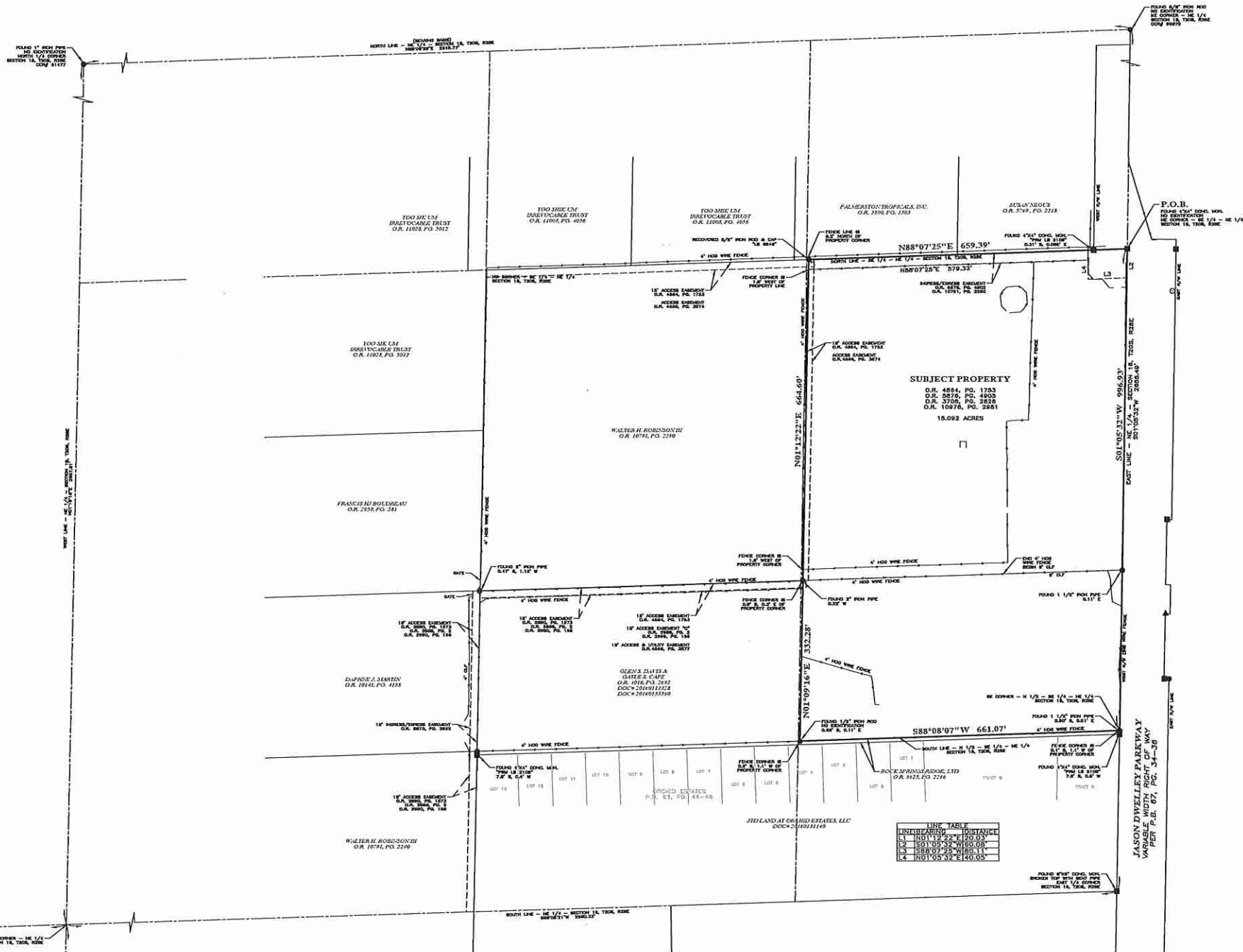
LEGAL DESCRIPTION (AS SURVEYED)

A PARCEL OF LAND LOCATED IN THE NE 1/4 OF SECTION 16, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE NORTHEAST CORNER OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 16; THENCE WITH THE EAST LINE OF THE NE 1/4 OF SAID SECTION 16, ALSO BEING THE WEST RIGHT-OF-WAY LINE OF JASON DWELLEY PARKWAY (VARIABLE-WIDTH RIGHT OF WAY PER PLAT BOOK 87, PAGES 34-38, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA), 501°53'32"W, A DISTANCE OF 988.93 FEET TO THE SOUTHEAST CORNER OF THE N 1/2 OF THE SE 1/4 OF SAID SECTION 16; THENCE WITH THE SOUTH LINE OF THE N 1/2 OF THE SE 1/4 OF SAID SECTION 16, 180°00'00"W, A DISTANCE OF 651.07 FEET, THENCE LEAVING SAID SOUTH LINE, 180°00'00"W, A DISTANCE OF 330.28 FEET, THENCE N01°12'22"E, A DISTANCE OF 664.60 FEET TO THE NORTH LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 16; THENCE WITH THE NORTH LINE OF THE SE 1/4 OF SAID SECTION 16, N01°07'23"E, A DISTANCE OF 829.39 FEET TO THE POINT OF BEGINNING.

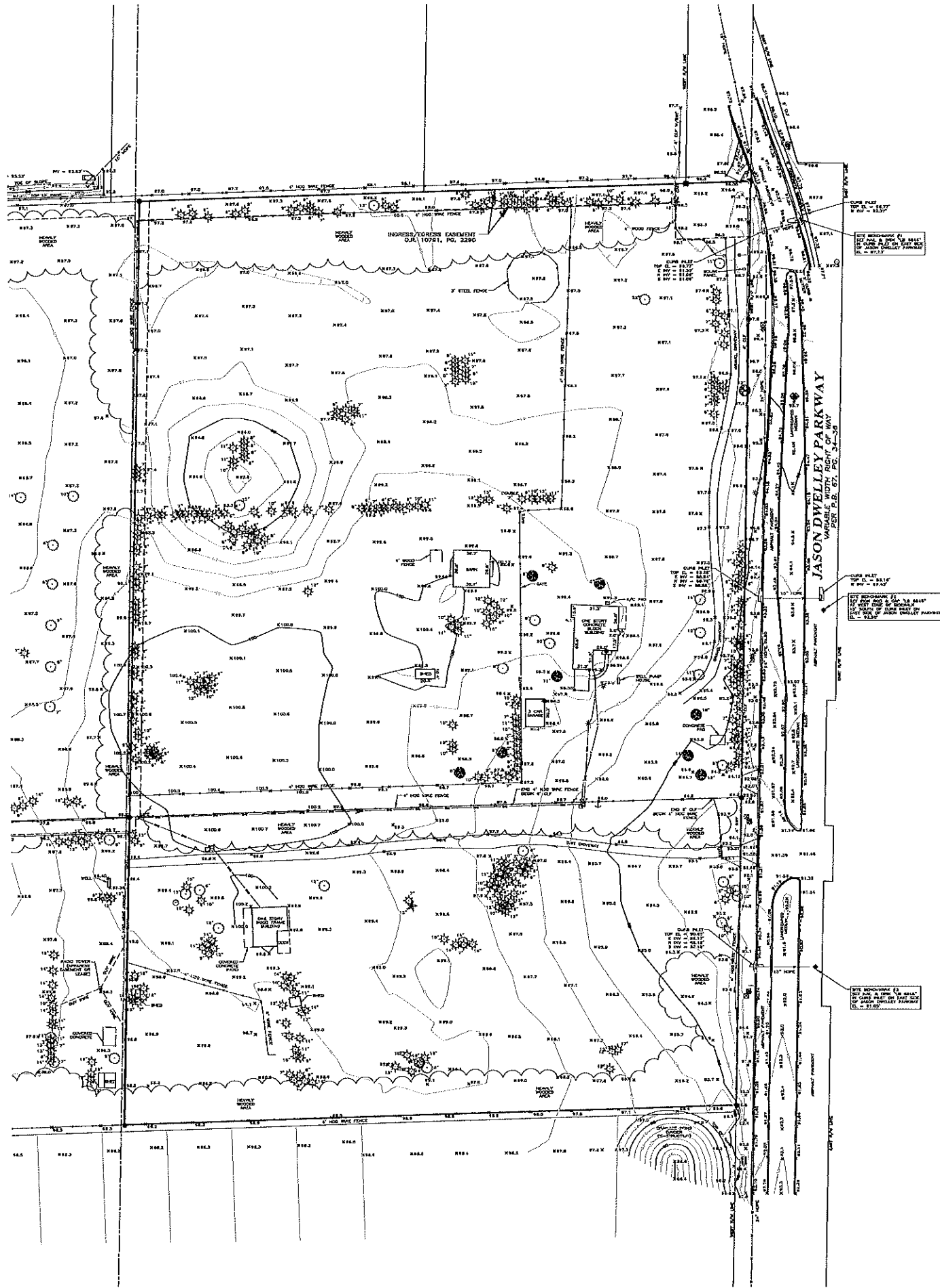
CONTAINING 15.092 ACRES OF LAND, MORE OR LESS.

BOUNDARY & TOPOGRAPHIC SURVEY OF WOLF LAKE AREA ELEMENTARY SCHOOL

LOCATED IN SECTION 18, TOWNSHIP 20 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA



Document Name: XXXX_XXXX_V001.DWG
Document Issue Date: 13 October 2003



- LEGEND**
- FOUND CONCRETE MONUMENT
 - FOUND IRON ROD
 - FOUND NAIL & DISK
 - FOUND IRON PIPE
 - SET 3/8" HIGH ROD & CAP "LB 8846"
 - SITE BENCHMARK
 - WOOD POLE
 - LIGHT POLE
 - GUY ANCHOR
 - BOLLARD
 - TELEPHONE PEDIESTAL
 - WIRE PULL BOX
 - IRON
 - WELL
 - MIXED END SECTION
 - WELL
 - PINE TREE
 - OAK TREE
 - PALE TREE
 - MISCELLANEOUS TREE
 - SPOT ELEVATION - HARD SURFACE
 - SPOT ELEVATION - GROUND SPOT
 - FENCE LINE
 - OVERHEAD ELECTRIC LINE
 - STORM SEWER LINE
 - WOODPILE
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - CONC. MON. CONCRETE MONUMENT
 - PERM. REF. MON. PERMANENT REFERENCE MONUMENT
 - LIB. LIBRARY
 - PROFESSIONAL SURVEYOR & MAPPER
 - O.J.L. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - P.G. PAGE
 - R/W RIGHT OF WAY
 - CCR CERTIFIED CORNER REDDOR
 - T TOWNSHIP
 - R RANGE
 - (C) CALCULATED
 - (D) PER DEED
 - HOPE HIGH DENSITY POLYETHYLENE
 - HY HYDRAULIC
 - EL ELEVATION

0 50 100 150
GRAPHIC SCALE 1" = 50'

NOT VALID WITHOUT THE SIGNATURE
AND ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR & MAPPER (SEE SHEET 1 OF 2)

LEIS PROJECT NUMBER: 020-10178
LEIS DRAWING NUMBER: 020-10178-000
DATE OF LAST FIELD WORK: 22 MAR 2003

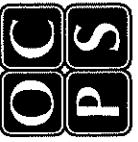
REVISIONS	DATE	BY

**LEADING EDGE
LAND SERVICES**
10000 W. US HWY 1
SUITE 200
ORLANDO, FLORIDA 32835
PHONE: (407) 251-0000
FAX: (407) 251-0001
FLORIDA LICENSED BUSINESS NUMBER: LB 8846

**WOLF LAKE AREA
ELEMENTARY SCHOOL
SITE 90-E-N-7**

BOUNDARY & TOPOGRAPHIC SURVEY

**ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES & ENVIRONMENTAL SERVICES**
Bldg. 200, 8601 MAGIC WAY ORLANDO, FLORIDA 32809



DRAWN: EAC
CHECKED: JCH
DATE: 03/18 PLT SCALE: 1"=50'
OCPS DRAWING FILE NAME:
XXXX_XXXX_V001.DWG
SHEET NUMBER:

V002

Of (Total): 2

GENERAL NOTES:

1. THE CONTRACTOR AND C/M ARE SYNONYMOUS.
2. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS ALSO TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES AND ANY UTILITY ADJUSTMENT REQUIRED. UTILITY COMPANIES SHALL BE NOTIFIED A MINIMUM OF THREE WORKING DAYS PRIOR TO EXCAVATION.
3. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE DEPICTED FROM INFORMATION PROVIDED BY CITY OF APOPKA UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND CONFIRM THE LOCATION OF EXISTING UTILITIES TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION AND TO COORDINATE WITH THE UTILITY OWNERS TO RESOLVE THESE CONFLICTS.
4. THE SUBSURFACE INFORMATION FOR THIS PROJECT WAS OBTAINED FOR DESIGN PURPOSES AND MAY NOT BE AN ADEQUATE REPRESENTATION OF ACTUAL CONDITIONS FOR PROJECT CONSTRUCTION. INFORMATION SHOWN, INCLUDING WATER LEVELS, REPRESENTS EXISTING CONDITIONS AT THE SPECIFIC BORING LOCATIONS AT THE TIME THE BORINGS WERE MADE.
5. GEOTECHNICAL REPORT INFORMATION:
 - 1) PREPARED BY: ECS FLORIDA, LLC
 - 2) DATE: JULY 10, 2020
 - 3) PROJECT #: 24-5912-H
 - 4) TITLE: GEOTECHNICAL ENGINEERING REPORT
SITE 90-K8-N-7 DESIGN LEVEL
4850 JASON DWELLEY PARKWAY
APOPKA, ORANGE COUNTY, FLORIDA 32712
6. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER, IN WRITING, PER CONTRACT DOCUMENTS. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH DIFFERING CONDITIONS WILL BE ALLOWED IF HE OR SHE FAILS TO PROVIDE THE WRITTEN NOTIFICATION.
7. ALL MATERIALS, INSTALLATION AND TESTING SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS ALONG WITH CITY OF APOPKA AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. WHERE THE SPECIFICATIONS CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
8. THE CONTRACTOR SHALL PROVIDE ALL SHEETING, SHORING AND BRACING REQUIRED TO PROTECT ADJACENT STRUCTURES AND UTILITIES OR MINIMIZE TRENCH WIDTH AS REQUIRED. SHEETING AND SHORING SHALL BE DESIGNED BY A STATE OF FLORIDA PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
10. ALL DEBRIS AND WASTE MATERIALS GENERATED BY CLEARING OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY.
11. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR CLEARING, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. ANY PUBLIC LAND CORNER, WITHIN THE LIMITS OF CONSTRUCTION, IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING ALTERED AND HAS NOT YET BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WITHOUT DELAY.
13. COORDINATE VALUES ARE BASED ON A LOCAL GRID ESTABLISHED BY THE SURVEY.
14. ALL REFERENCES TO PROPOSED CONSTRUCTION INDICATES CONSTRUCTION INCLUDED IN THIS CONTRACT.
15. ALL PIPING TO HAVE A MINIMUM OF THREE (3) FEET COVER UNLESS OTHERWISE NOTED ON PLANS.
16. EXISTING ROADWAY BASE MATERIALS SUCH AS SHELL OR LIMEROCK MAY BE UTILIZED IN STABILIZATION IF SUITABLE FOR MIXING.
17. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL NECESSARY STRIPING, TRAFFIC CONTROL AND SAFETY DEVICES IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," LATEST EDITION, AND THE LATEST FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY DESIGN STANDARDS."
18. MAINTENANCE OF TRAFFIC: ACCESS FOR LOCAL TRAFFIC SHALL BE MAINTAINED. IF, DURING CONSTRUCTION, ACCESS FOR LOCAL TRAFFIC IS CHANGED, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE JURISDICTIONAL AGENCY A MINIMUM OF THREE (3) WORKING DAYS IN ADVANCE. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH INDEX NO. 102-000 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS AND POLK COUNTY. CONTRACTOR IS ADVISED THAT TEMPORARY CONSTRUCTION ACCESS WILL BE PROVIDED, AND MAINTAINED, BY THE DEVELOPER, THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO COORDINATE WITH DEVELOPER AS REQUIRED.
19. REFER TO FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS FOR THE FOLLOWING:
 - * TYPE C INLET (INDEX NO. 425-010 & 425-052)
 - * TYPE E INLET (INDEX NO. 425-010 & 425-052)
 - * TYPE G INLET (INDEX NO. 425-010 & 425-053)
 - * CURB RAMP (INDEX NO. 522-002)
 - * TYPE D CURB (INDEX NO. 520-001)
 - * TYPE F CURB & CUTTER (INDEX NO. 520-001)
 - * CURB TRANSITION (INDEX NO. 520-001)
 - * CROSSWALK, STOP BAR (INDEX NO. 711-001)
 - * PAVEMENT ARROWS (INDEX NO. 711-001)
 - * SPECIAL MARKING AREAS (INDEX NO. 711-001)
 - * CONCRETE PAVEMENT JOINTS (INDEX NO. 350-001)
 - * CONCRETE SIDEWALK (INDEX NO. 522-001)
 - * SITE DISTANCE (INDEX NO. 546)
 - * MAINTENANCE OF TRAFFIC (INDEX NO. 102-000)
20. THIS PROJECT IS IN FLOOD ZONE "X" PER FEMA FIRM PANEL #1209SC0050F. MAP PANEL DATE: SEPT. 25, 2003.
21. ALL STORM, SANITARY AND WATER INSTALLATION NOT LOCATED ON PUBLIC R.O.W. OR DEEDED EASEMENTS SHALL COMPLY WITH FLORIDA BUILDING CODES-PLUMBING.
22. VIBRATORY COMPACTION IS NOT PERMITTED.

GRADING AND DRAINAGE NOTES:

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM TO SPECIFICATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATION SECTIONS 31 AND 33, UNLESS INDICATED OTHERWISE. MOST STRINGENT REQUIREMENT SHALL APPLY.
2. CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO CITY OF APOPKA CODE AND REQUIREMENTS.
4. ALL GRADES SHOWN, WITH THE EXCEPTION OF THOSE INDICATED ON THE SURVEY BASE DRAWING, ARE FINISHED GRADES UNLESS INDICATED OTHERWISE.
5. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE GRADED TO ORIGINAL GROUND LINES AND FINISHED WITH 500 PER PROJECT SPECIFICATIONS UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL MAINTAIN ALL AREAS UNTIL FINAL ACCEPTANCE.
6. STORMWATER COLLECTION SYSTEM TO BE PRIVATELY OWNED AND MAINTAINED.
7. CONTRACTOR SHALL GRADE FROM GRADE POINT TO GRADE POINT IN A UNIFORM MANNER UNLESS OTHERWISE INDICATED ON THE PLANS. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
8. CONTRACTOR IS RESPONSIBLE TO DEVELOP, CONSTRUCT AND MAINTAIN ANY TEMPORARY DEWATERING REQUIRED FOR CONSTRUCTION OF PROJECT IMPROVEMENTS. NO OFFSITE DISCHARGE OF DEWATERING IS ALLOWED, UNLESS ALLOWED BY SJRWMD AND FDEP. ANY TEMPORARY IMPROVEMENTS SHALL BE REMOVED AFTER USE AND THE AREA RESTORED TO THE CONDITION SHOWN ON THE PLANS.

EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS OF THE CITY OF APOPKA, AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
2. EROSION AND SEDIMENT CONTROL BEST PRACTICES ARE DICTATED BY FDEP NPDES CONSTRUCTION GENERIC PERMIT, 62-621.300(4)(a) FAC. BEST MANAGEMENT PRACTICES (BMPs) USED ON SITE MUST MEET THE MINIMUM SPECIFICATIONS IN THE 2013 STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL. (REFER TO PART 5.1 OF THE NPDES CONSTRUCTION GENERIC PERMIT.)
3. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP, IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
4. SOIL MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
5. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
6. ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC OR PRIVATE ROADS AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A STABILIZED CONSTRUCTION ACCESS/ SOIL TRACKING PREVENTION DEVICE (STPD) TO ASSIST WITH THE REMOVAL OF SOIL MATERIAL CAPTURED ON VEHICLE TIRES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE SOIL TRACKING PREVENTION DEVICE SHALL MEET THE MINIMUM SPECIFICATIONS OF THE 2013 STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL AND FOOT INDEX 108.
8. ALL PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS AFTER FINAL GRADING.
9. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED. TIME FRAMES FOR PERMANENT AND TEMPORARY STABILIZATION MUST CONFORM WITH REQUIREMENTS SET FORTH IN THE NPDES CONSTRUCTION GENERIC PERMIT SECTION 5.4. STABILIZATION MEASURES MUST BE INITIATED WITHIN 7 CALENDAR DAYS WHERE ACTIVITIES HAVE EITHER PERMANENTLY OR TEMPORARILY CEASED.
10. THE EROSION CONTROL MEASURES ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.

VERTICAL DATUM NOTE:

1. ALL ELEVATIONS SHOWN WITHIN THIS PLAN SET ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF NAVD83.
2. BASED ON THE VERTCON SOFTWARE, THE VERTICAL DATUM CONVERSION IS -0.945' FOR THIS PROJECT SITE.
3. DATUM CONVERSION EXAMPLE: 100.00' NAVD 83 = -0.945' = 100.945' NGVD 29
4. CONTRACTOR SHALL CONFIRM THAT ALL WORK BY THE DEVELOPER IN OFF-SITE PERIMETER AREA ARE COORDINATED AND ARE BEING CONSTRUCTED ON THE SAME DATUM.

NPDES PERMIT:

1. CONTRACTOR SHALL PREPARE AND SUBMIT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE "NOTICE OF INTENT" AND "NOTICE OF TERMINATION" FOR "STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES," PER FLORIDA ADMINISTRATIVE CODE 62-621.300(4). IN ACCORDANCE WITH FDEP REQUIREMENTS, THE CONTRACTOR SHALL PREPARE AND SUBMIT WITH THE APPLICATION, AN APPROVED "STORMWATER POLLUTION PREVENTION PLAN" AND PERFORM/CERTIFY ALL INSPECTIONS AND RETAIN ALL INSPECTION REPORTS AND DOCUMENTATION ON FILE AS REQUIRED FOR DEP REVIEW. ALL FEES SHALL BE PAID BY THE CONTRACTOR, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PENALTIES OR FINES DEP MAY LEVY FOR FAILURE TO COMPLY WITH THE PERMITTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE A COPY OF THE NOI AND THE NOT TO THE NS4 OPERATOR.

DEWATERING NOTES:

1. IF ONSITE DEWATERING MAY OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL REFER TO THE DEWATERING REQUIREMENTS IN 62-621.300(4)(a) CONSTRUCTION GENERIC PERMIT OR 62-621.300(2)(a) DEWATERING GENERIC PERMIT AS APPLICABLE. APPROPRIATE BEST MANAGEMENT PRACTICES MUST BE IMPLEMENTED TO ENSURE THAT DISCHARGES DO NOT EXCEED SURFACE WATER QUALITY STANDARDS PER THE CONSTRUCTION GENERIC PERMIT. IF DEWATERING OFFSITE OR INTO THE COUNTY MS4, TURBIDITY MUST BE MONITORED TO ENSURE THAT DISCHARGES DO NOT EXCEED 29 NTU OVER BACKGROUND PER 62-302.530 FAC. THE DISCHARGE OF GROUNDWATER DURING DEWATERING ACTIVITIES TO COUNTY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY UTILIZATION PERMIT.

GEOMETRY NOTES:

1. THREE (3) FOOT CURB TRANSITIONS SHALL BE PROVIDED AT ALL CURB TERMINATIONS AND DROP CURB INTERFACES.
2. DETECTABLE SURFACE ON CURB RAMP WALKING SURFACE (REFER TO FOOT INDEX 522-002).
3. POINTS SHOWN ON THE PLANS HAVE BEEN SET AT EDGE OF PAVEMENT PC, PT, CURB MIDPOINT AND INTERSECTION LOCATIONS. POINTS SHOWN ON UTILITY STRUCTURES ARE AT THE CENTER OF THE STRUCTURE.

STORM LEGEND:

- 12.00± M.E.G.
12.00 PROPOSED SPOT GRADE
x11.00 EXISTING SPOT GRADE
PROPOSED DRAINAGE FLOW
MANHOLE
INLET
NYLO/LAST DRAIN
PVC
HDPE
RCP
CLEANOUT

WATER / SEWER LEGEND:

- WATER LINE
SANITARY LINE
FIRE LINE
FDC FIRE LINE
FIRE HYDRANT ASSEMBLY
FIRE DEPARTMENT CONNECTION
GATE VALVE
SANITARY MANHOLE
SANITARY CLEANOUT

UTILITY NOTES:

1. ALL WATER MAIN MATERIALS AND APPURTENANCES SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE STANDARDS OF CITY OF APOPKA AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
2. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 - A. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER, REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - B. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN (10) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - C. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE (3) FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST TWELVE (12) INCHES ABOVE THE TOP OF THE SEWER.
 - D. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN (10) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM.
3. VERTICAL SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.
 - A. WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TWELVE (12) INCHES ABOVE THE OUTSIDE OF THE OTHER PIPELINE.
 - B. WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TWELVE (12) INCHES ABOVE THE OUTSIDE OF THE OTHER PIPELINE.
 - C. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE (3) FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610 F.A.C.
4. ALL UTILITIES LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.
5. BACTERIOLOGICAL SAMPLE POINTS SHALL BE AS DESCRIBED IN THE FDEP PERMIT CONDITIONS.
6. A MINIMUM COVER OF THREE (3) FEET SHALL BE PROVIDED OVER ALL PROPOSED UTILITIES.
7. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF CONNECTION POINTS TO WATER AND WASTEWATER WITH THE DEVELOPER. POINTS SHOWN ARE BASED ON LATEST AVAILABLE DESIGN INFORMATION.
8. CONTRACTOR TO PROVIDE TEMPORARY SUPPORT, ADEQUATE PROTECTION, AND MAINTENANCE OF ALL UNDERGROUND AND SURFACE UTILITY STRUCTURES DURING CONSTRUCTION.

JVA/KLP/PE
FLPE 412545

JMS DOUGLAS AVENUE #11 2100
ALAMONTA SPRINGS FL 32714
TELEPHONE 407.478.8750
FACSIMILE 407.478.8749
WWW.KLIMAWEEKS.COM

Klima
Weeks
CIVIL ENGINEERING

Certificate of Authorization No.: 9230

PHASE 3 100% CD SUBMISSION

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

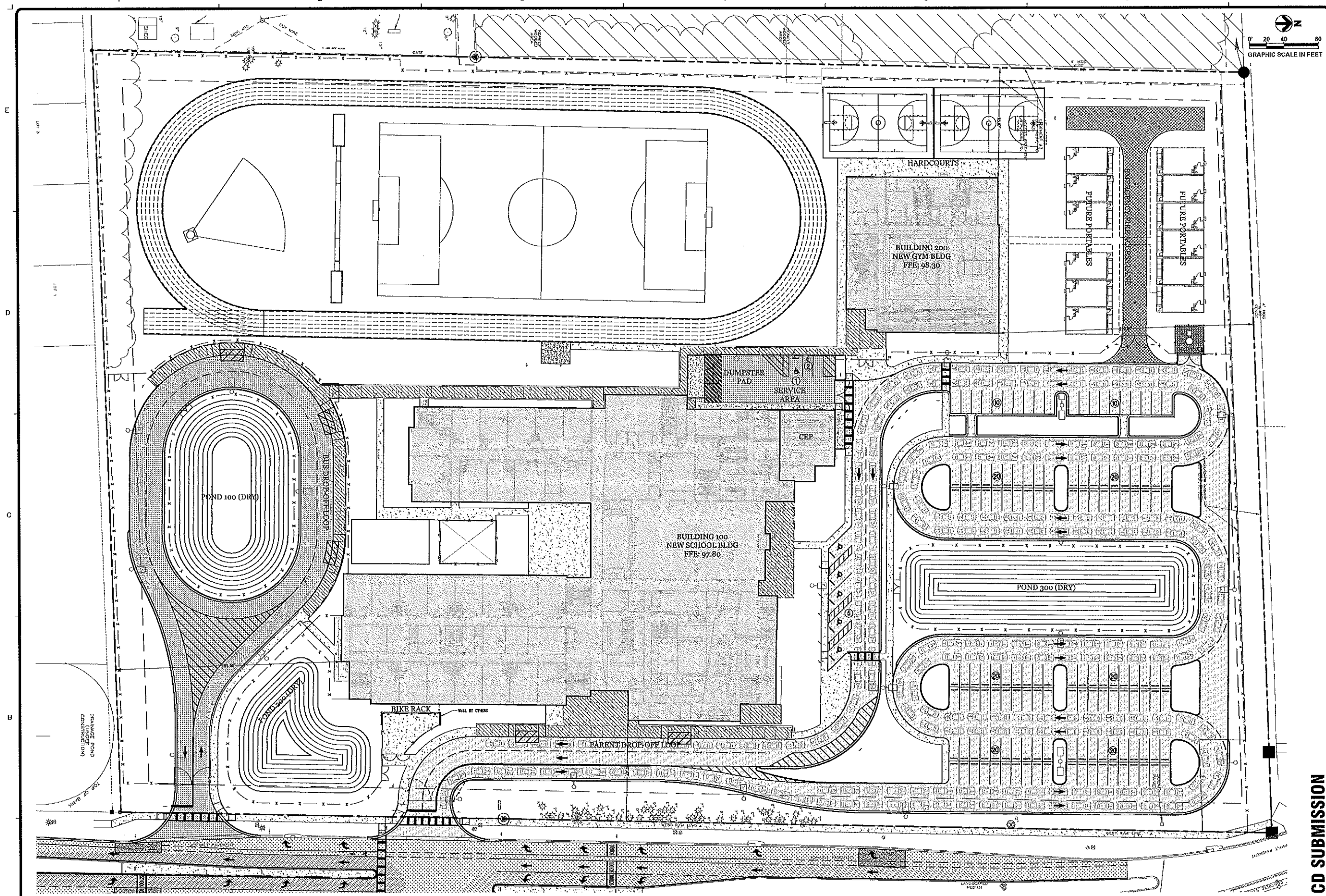
OC
PS

DRAWN: JAK
CHECKED: JAK
DATE: 02-24-20 PLOT SCALE: 1"=30'
OCPS DRAWING FILE NUMBER
SHEET NUMBER:
C001
OF (Total):

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

GENERAL NOTES

ZYSCOVICH
ARCHITECTS
200 E. Douglas Ave. #1100
Altamonte Springs, FL 32714
Tel: 407.478.8750
Fax: 407.478.8749
www.zyscovich.com



LEGEND:

- PROPERTY LINE
- CHAIN LINK FENCE (BLACK VINYL COATED)
- HEAVY DUTY PAVEMENT
- REGULAR PAVEMENT
- CANOPY (SEE ARCH. PLAN FOR DETAILS)
- CONCRETE
- STABILIZED ROAD
- NEW OFFSITE PAVEMENT
- LIMITS OF MILLING & REPLACING PAVEMENT
- LIMITS OF OPEN-PAVEMENT CUT

PROPERTY:
4700 JASON DOWLEY POND
APOKA, FL 32712
PARCEL ID:
18-28-28-0000-00-033 & 18-28-28-0000-00-054
ZONING:
A2 - AGRICULTURAL
PROPERTY USE:
0100: SINGLE FAMILY
PROPOSED LAND USE:
PUBLIC SCHOOL

SITE SETBACKS:		BUILDING		REQUIRED	PROVIDED
GEOGRAPHIC LOCATION:		LOCATION:		(IN FEET)	(IN FEET)
WEST	REAR	WEST	REAR	25'	95'
NORTH	SIDE	NORTH	SIDE	25'	220'
EAST	FRONT	EAST	FRONT	25'	87'
SOUTH	SIDE	SOUTH	SIDE	25'	193'

EXISTING ADJACENT ZONING:
NORTH A-1 & R-1A
EAST PUD
SOUTH PUD
WEST A-1
EXISTING ADJACENT USE:
NORTH SINGLE FAMILY RESIDENTIAL & CONTAINER NURSERY
EAST SINGLE FAMILY RESIDENTIAL
SOUTH SINGLE FAMILY RESIDENTIAL
WEST SINGLE FAMILY RESIDENTIAL - VACANT

385 DOUGLAS AVENUE, STE 2100
ALABAMA SPRING, FL 32714
TELEPHONE 407.478.8750
FACSIMILE 407.478.8750
WWW.KLIMAWEEDS.COM



Certificate of Authorization No.: 9230

PHASE 3 100% CD SUBMISSION

OCPS

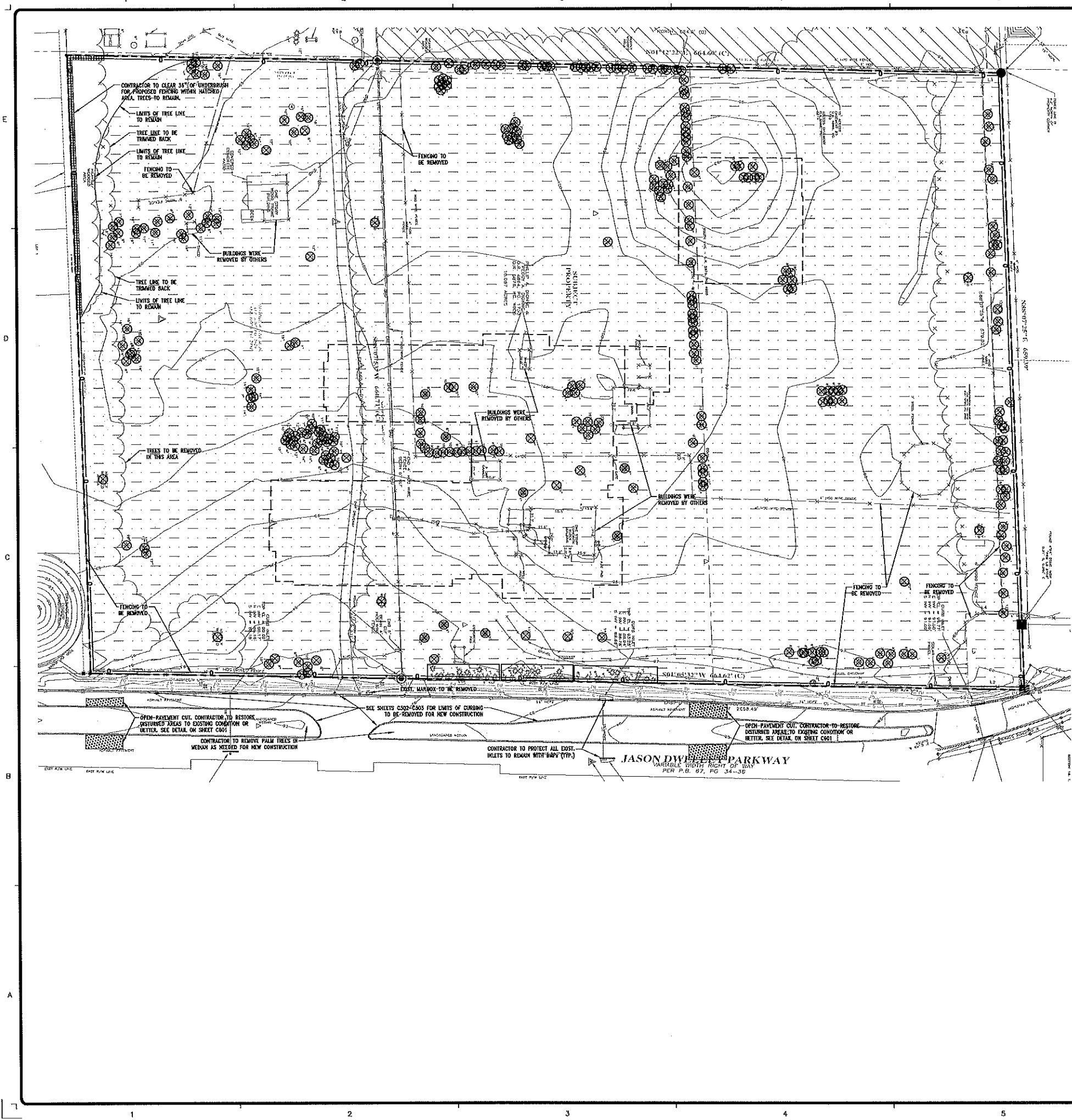
ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

DRAWN: JAK
CHECKED: JAK
DATE: 02-24-20
PROJECT: K8 SCHOOL COMPREHENSIVE PROJECT
SHEET NUMBER: C100

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ARCHITECTS
250 S. Pine Avenue, Suite 400
Orlando, Florida 32709
P: 407.251.4333
F: 407.332.4545
www.zyscovich.com

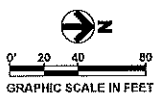
SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
SITE PLAN

REV	DATE	NOTE



DEMOLITION LEGEND

- LIMITS OF CLEARING (REMOVAL OF SITE DEBRIS, CONCRETE, PAVERMENT, WALLS, FENCE, BRIDGING, UTILITIES, TREES, ETC.) ALL IMPROVEMENTS IN THIS AREA, BOTH ABOVE GROUND AND BELOW, SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THESE PLANS.
- PROPERTY BOUNDARY
- PROPOSED BUILDING OUTLINE
- TYPE II SILT FENCE PER FOOT INDEX NO. 102.
- EXISTING TREE(S) TO REMAIN
- EXISTING TREE(S) TO BE REMOVED
- CONSTRUCTION ENTRANCE



PHASE 3 100% CD SUBMISSION

1405 DOUGLAS AVENUE, SUITE 2100
ALAPONTA SPRINGS, FL 32714
TELEPHONE 407.476.8750
FACSIMILE 407.476.8749
www.klimaweeks.com



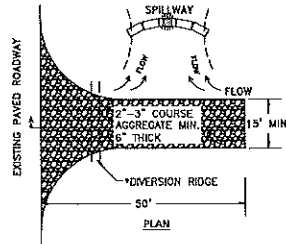
Certificate of Authorization No.: 9230

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F: 407.382.4566
www.zyscovich.com

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
DEMOLITION & EROSION CONTROL PLAN

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

OCPS
DRAWN: JAK
CHECKED: JAK
DATE: 02-24-2017
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C200
OF (Total):

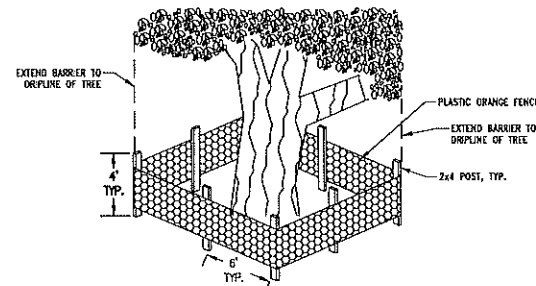


*DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

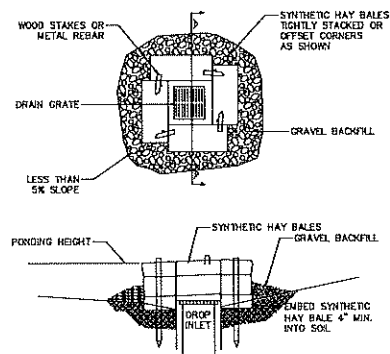
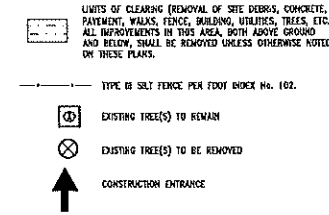


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASH.
 4. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 106.

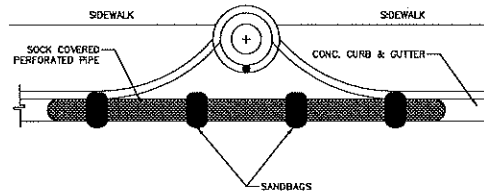


NOTE: FENCING TO FOLLOW DRIFLINE.
TREE BARRIER DETAIL
N.T.S.

DEMOLITION LEGEND

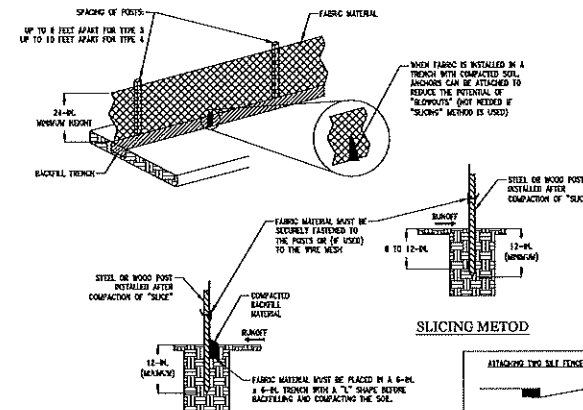


- NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS (LESS THAN 5%).
 2. EMBED THE BALES 4" INTO THE SOIL AND OFFSET CORNERS OR PLACE BALES WITH ENDS TIGHTLY ADJUTING. GRAVEL BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES.
 3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWN SLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASH ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWN SLOPE OF THE STRUCTURE MAY BE NECESSARY.



- NOTES:
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
 3. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 4. INSPECT BARRIERS AND REMOVED SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.
 5. AT THE END OF EACH WORKDAY, SWEEP OR SCRAPE UP SOIL TRACKED ONTO THE STREET.

INLET PROTECTION DETAIL
N.T.S.



TRENCHING METHOD

SLICING METHOD

SILT FENCE BARRIER INSTALLATION

THE DOUGLASS AVENUE SITE 2103
ALAPONTA SPRINGS, FL 32714
TELEPHONE 407-472-8750
FACSIMILE 407-472-8749
WWW.KLIMAWEEDS.COM

Klima Weeks
CIVIL ENGINEERING

Certificate of Authorization No.: 9230

PHASE 3 100% CD SUBMISSION

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809



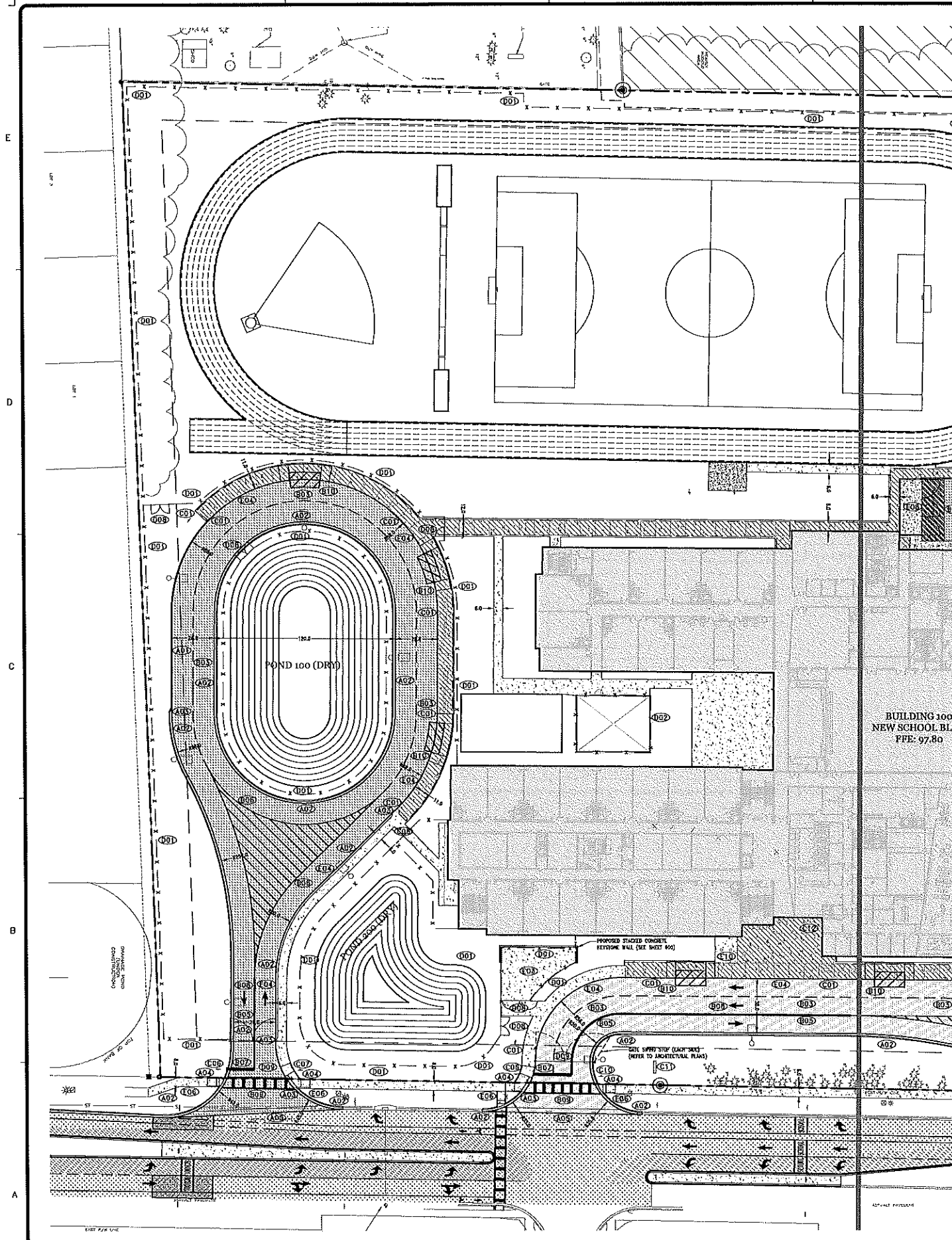
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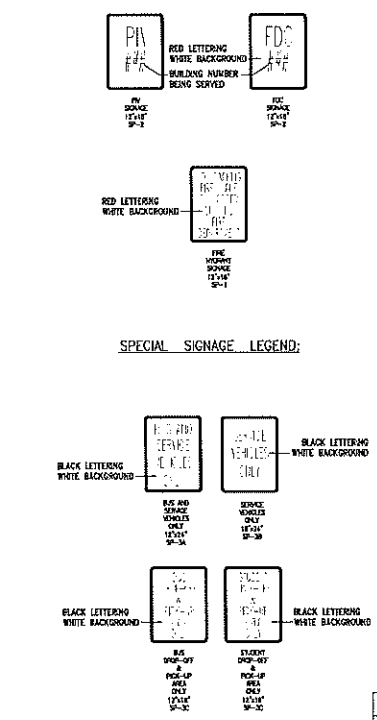
OF (Total):

ZYSCOVICH
ARCHITECTS
250 S. Pine Avenue #500
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www.zyscovich.com

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
DEMOLITION & EROSION CONTROL DETAILS



NOTE:
REFER TO SHEET C302-C303 FOR OFFSITE WORK



CURBING - A		STRIPING - B	
A001 FOOT TYPE D CURB, REFER TO FOOT INDEX #520-001.	B001 4" SOLID WHITE STRIPE - TRAFFIC PAINT.		
A002 FOOT TYPE F CURB AND CUTTER, REFER TO FOOT INDEX #520-001.	B002 6" SOLID WHITE STRIPE - TRAFFIC PAINT.		
A003 FOOT CURB TRANSITION, REFER TO FOOT INDEX #520-001.	B003 6" SOLID WHITE, 10' STRIPE, 10' STOP - TRAFFIC PAINT		
A004 FOOT SIDEWALK CURB, REFER TO FOOT INDEX #522-002.	B004 "NO PARKING" W/12" CHEVRON @45°, 10' D.C. W/YELLOW TRAFFIC PAINT		
A005 FOOT VALLEY CUTTER, REFER TO DETAIL ON SHEET C600.	B005 6" SOLID, DOUBLE YELLOW STRIPE - TRAFFIC PAINT		
A006 12"x6" RIBBON CURB, REFER TO DETAIL ON SHEET C600.	B006 6" SOLID YELLOW STRIPE w/ 18" CHEVRONS @ 45°, 10' D.C. - TRAFFIC PAINT.		
	B007 24" STOP BAR, PAINTED ONSITE - THERMOPLASTIC OFFSITE.		
	B008 DIRECTIONAL ARROW AND/OR PAVEMENT MESSAGE REFER TO FOOT DETAILS.		
	B009 CROSSWALK, PAINTED ONSITE - THERMOPLASTIC OFFSITE, REFER TO FOOT INDEX #17546.		
	B010 6" RAMP, 20' FLUSH LOADING ZONE w/ 4" SOLID YELLOW TRAFFIC PAINT BORDER AND 12" SOLID YELLOW STRIPE @ 45°, 5' O.C. (TYP.)		
	B011 HANDICAP PARKING STRIPING AND SIGNAGE, REFER TO DETAIL ON SHEET C600.		
SIGNAGE - C		FENCING - D	
C001 NO PARKING FIRE LANE (SP-1). (SEE DETAIL ON SHEET C600).	D001 6" HIGH BLACK VINYL COATED CHAIN LINK FENCE.		
C002 FIRE DEPARTMENT CONNECTION(FDC) / POST INDICATOR VALVE(PIV) BUILDING NUMBER BEING SERVED SIGN (SP-2).	D002 4" HIGH, BLACK VINYL COATED CHAIN LINK FENCE.		
C003 FOOT "DO NOT ENTER" SIGN (R3-1).	D003 24" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE		
C004 FOOT "LEFT TURN ONLY" SIGN.	D004 30" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE		
C005 FOOT "RIGHT TURN ONLY" SIGN.	D005 10" BLACK VINYL COATED CHAIN LINK GATE		
C006 FOOT "STOP" SIGN (R1-1; 30"x30").	D006 5' BLACK VINYL COATED CHAIN LINK GATE		
C007 BUS VEHICLE ONLY SIGNAGE (SP-3A). (SEE DETAIL ON SHEET C300).	D007 6" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE		
C008 BUS DROP-OFF SIGNAGE (SP-3C). (SEE DETAIL ON SHEET C300).	D008 12" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE		
C009 SERVICE VEHICLE ONLY SIGNAGE (SP-3B). (SEE DETAIL ON SHEET C300).	D009 BAR GATE (SEE ARCHITECTURAL PLANS FOR DETAILS).		
C010 STUDENT DROP-OFF SIGNAGE (SP-3D). (SEE DETAIL ON SHEET C300).	D010 BLACK VINYL CHAIN LINK FENCE BACKSTOP. SEE ARCHITECTURAL PLANS FOR DETAILS.		
C011 SCHOOL SIGN. REFER TO ARCHITECTURAL PLAN FOR DETAILS.			
C012 "NOTICE TO ALL VISITORS" SIGN (SEE DETAIL ON SHEET C300).			
C013 LIFT STATION SIGN.			
		SITE - E	
		E001 6" THICK CONCRETE	
		E002 BOLLARD, REFER TO DETAIL ON SHEETS C600.	
		E003 BIKE RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS.	
		E004 RAISED CONCRETE WALK, REFER TO DETAIL ON SHEET C600.	
		E005 FLUSH CONCRETE WALK, REFER TO DETAIL ON SHEET C600.	
		E006 RAMP w/ DETECTABLE WARNING SURFACE, REFER TO FOOT DETAIL (TYP.)	
		E007 6" CONCRETE WHEEL STOP, REFER DETAIL ON SHEET C600.	
		E008 DUMPSITE PAD, REFER TO STAIR DETAIL ON SHEET C600. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.	
		E009 EMERGENCY ACCESS MARKER, REFER TO DETAIL ON SHEET C600.	
		E010 FLAG POLE, REFER TO DETAIL ON ARCHITECTURAL PLANS.	

"NOTICE" SIGNAGE
NOTICE TO ALL VISITORS
In case of an emergency, contact OPCS Security at 407-337-3333.
All visitors must check in at the main office and present photo identification. Any person, including a student, currently under suspension or expulsion, who does not have legitimate business, authorization to participate in school activities, or who is not a current student, is not permitted on school grounds and is subject to criminal prosecution under Florida Statutes.
Any person who possesses or exhibits on school grounds, including in any vehicle, any firearm, weapon, or other dangerous or destructive device, including, but not limited to, any knife, razor, or other weapon, is subject to criminal prosecution under Florida Statutes.
This is a drug-free, tobacco-free and violence-free school. Any person who possesses, distributes, or uses any controlled substance, or any other prohibited substance, on school property is subject to criminal prosecution.
NOTICE OF LIMITED RESPONSIBILITY FOR SUPERVISING STUDENTS BEFORE OR AFTER SCHOOL ACTIVITIES
OPCS employees are not responsible for supervising students who arrive on school grounds more than 30 minutes before a school activity is scheduled to begin or students remaining on school grounds more than 30 minutes after the school-sponsored activity ends.
Consent or holdover contact between OPCS personnel and students on school grounds shall not result in a duty to supervise students if such contacts occur more than 30 minutes before or after a school activity.
OPCS employees are not responsible for supervising students not in attendance at school, or students not authorized to participate in school-sponsored activities.
NOTICE TO VISITORS AND THEIR EMPLOYERS
All visitors and their employers who enter school grounds when students are present, or who have direct contact with students, must undergo a security background check pursuant to the Florida Uniform Act and must obtain authorization through the OPCS Personnel Department.
All visitors and their employers must display OPCS visitor photo identification while on school grounds.
36"x36" BLACK LETTERS ON WHITE BACKGROUND ROUNDED CORNERS

OPCS
ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

Klima
Weeks
CIVIL ENGINEERING

Certificate of Authorization No.: 9230

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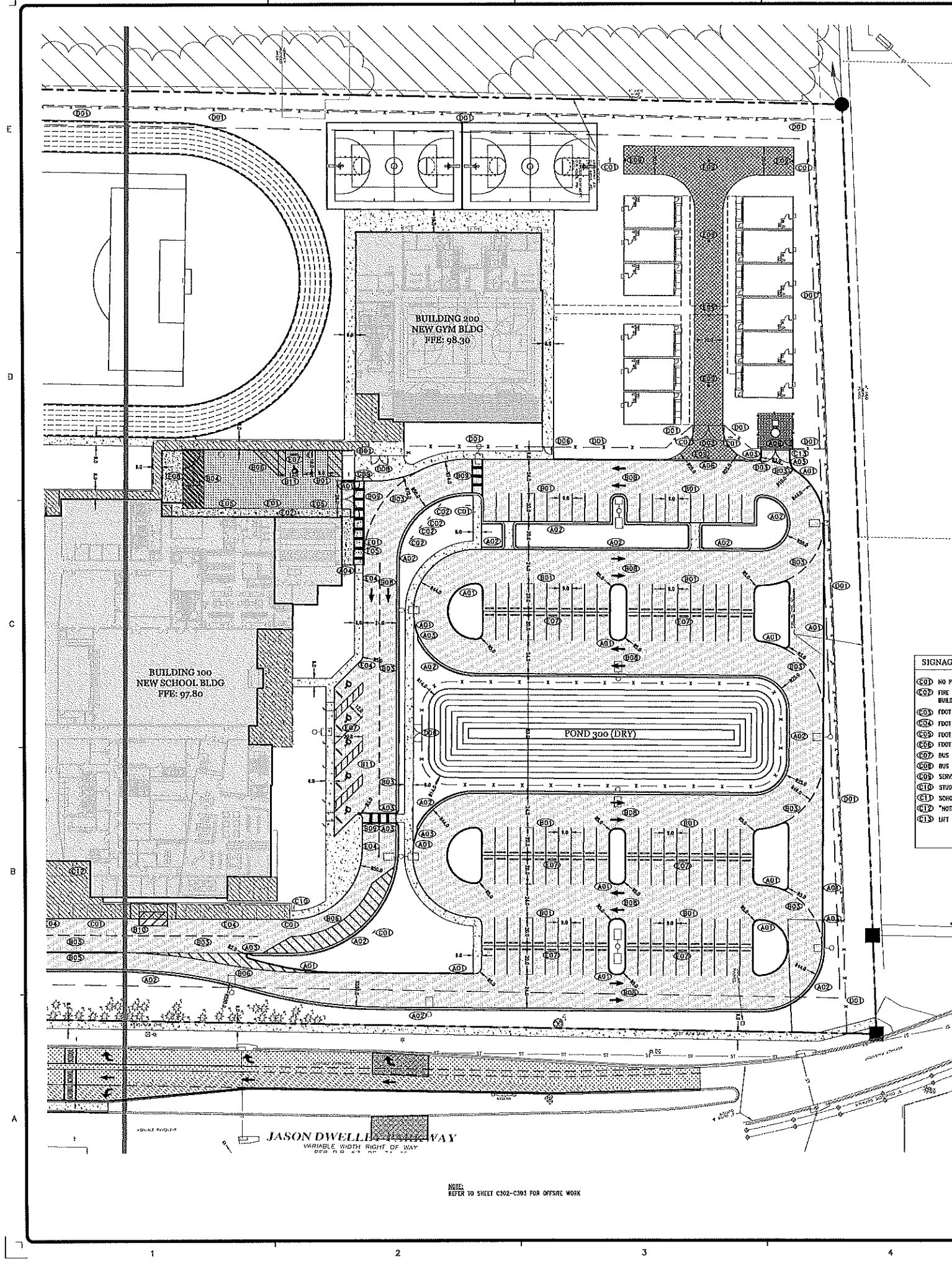
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SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OPCS Project No: S-0094
GEOMETRY & STRIPING PLAN

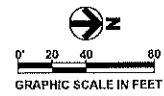
ORANGE COUNTY PUBLIC SCHOOLS
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FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

OPCS

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DATE: 02-24-20
SCALE: 1"=30'
OPCS DRAWING FILE NAME:
SHEET NUMBER:
C300
OF (Total):



- LEGEND:**
- PROPERTY LINE
 - CHAIN LINK FENCE (BLACK VINYL COATED)
 - HEAVY DUTY PAVEMENT
 - REGULAR PAVEMENT
 - CANOPY (SEE ARCH. PLAN FOR DETAILS)
 - CONCRETE
 - STABILIZED ROAD
 - NEW OFFSITE PAVEMENT
 - LIMITS OF MILLING & REPLACING PAVEMENT
 - LIMITS OF OPEN-PAVEMENT CUT



CURBING - A	STRIPING - B
A001 FOOT TYPE D CURB, REFER TO FOOT INDEX #520-001. A002 FOOT TYPE F CURB AND GUTTER, REFER TO FOOT INDEX #520-001. A003 FOOT CURB TRANSITION, REFER TO FOOT INDEX #520-001. A004 FOOT SIDEWALK CURB, REFER TO FOOT INDEX #522-002. A005 FOOT VALLEY GUTTER, REFER TO DETAIL ON SHEET C001. A006 12"x6" RIBBON CURB, REFER TO DETAIL ON SHEET C000.	B001 4" SOLID WHITE STRIPE - TRAFFIC PAINT. B002 6" SOLID WHITE STRIPE - TRAFFIC PAINT. B003 6" SOLID WHITE, 10' STRIPE, 10' STOP - TRAFFIC PAINT B004 "NO PARKING" W/12" CHEVRON @ 45', 10' D.C. W/YELLOW TRAFFIC PAINT B005 6" SOLID, DOUBLE YELLOW STRIPE - TRAFFIC PAINT B006 6" SOLID YELLOW STRIPE w/ 18" CHEVRONS @ 45', 10' O.C. - TRAFFIC PAINT. B007 24" STOP BAR, PAINTED ONSITE - THERMOPLASTIC OFFSITE. B008 DIRECTIONAL ARROW AND/OR PAVEMENT MESSAGE REFER TO FOOT DETAILS. B009 CROSSWALK, PAINTED ONSITE - THERMOPLASTIC OFFSITE, REFER TO FOOT INDEX #17346. B010 6" RAMP, 20' FLUSH LOADING ZONE w/ 4" SOLID YELLOW TRAFFIC PAINT BORDER AND 12" SOLID YELLOW STRIPE @ 45', 5' O.C. (TYP.) B011 HANDICAP PARKING STRIPING AND SIGNAGE, REFER TO DETAIL ON SHEET C000.
FENCING - D	SITE - E
D001 6" HIGH BLACK VINYL COATED CHAIN LINK FENCE. D002 4" HIGH, BLACK VINYL COATED CHAIN LINK FENCE D003 24" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE D004 30" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE D005 10" BLACK VINYL COATED CHAIN LINK GATE D006 5" BLACK VINYL COATED CHAIN LINK GATE D007 6" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE D008 12" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE D009 BAR GATE (SEE ARCHITECTURAL PLANS FOR DETAILS). D010 BLACK VINYL CHAIN LINK FENCE BACKSTOP. SEE ARCHITECTURAL PLANS FOR DETAILS.	E001 6" THICK CONCRETE E002 HOLLARD, REFER TO DETAIL ON SHEETS C600. E003 BIKE RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS. E004 RAISED CONCRETE WALK, REFER TO DETAIL ON SHEET C600. E005 FLUSH CONCRETE WALK, REFER TO DETAIL ON SHEET C600. E006 RAMP w/ DETECTABLE WARNING SURFACE, REFER TO FOOT DETAIL (TYP.) E007 6" CONCRETE WHEEL STOP, REFER DETAIL ON SHEET C600. E008 DUMPSTER PAD, REFER TO SLAB DETAIL ON SHEET C600. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS. E009 EMERGENCY ACCESS WARNING, REFER TO DETAIL ON SHEET C600. E010 FLAG POLE, REFER TO DETAIL ON ARCHITECTURAL PLANS.

- SIGNAGE - C**
- C001 NO PARKING FIRE LANE (SP-1), (SEE DETAIL ON SHEET C600).
 - C002 FIRE DEPARTMENT CONNECTION(FDC) / POST INDICATOR VALVE(PIV) BUILDING NUMBER BEING SERVED SIGN (SP-2).
 - C003 FOOT "DO NOT ENTER" SIGN (RS-1).
 - C004 FOOT "LEFT TURN ONLY" SIGN.
 - C005 FOOT "RIGHT TURN ONLY" SIGN.
 - C006 FOOT "STOP" SIGN (R1-1; 30"x30").
 - C007 BUS VEHICLE ONLY SIGNAGE (SP-3A), (SEE DETAIL ON SHEET C300).
 - C008 BUS DROP-OFF SIGNAGE (SP-3C), (SEE DETAIL ON SHEET C300).
 - C009 SERVICE VEHICLE ONLY SIGNAGE (SP-3B), (SEE DETAIL ON SHEET C300).
 - C010 STUDENT DROP-OFF SIGNAGE (SP-3C), (SEE DETAIL ON SHEET C300).
 - C011 SCHOOL SIGN, REFER TO ARCHITECTURAL PLAN FOR DETAILS.
 - C012 "NOTICE TO ALL VISITORS" SIGN (SEE DETAIL ON SHEET C300).
 - C013 LIFT STATION SIGN.

- FENCING - D**
- D001 6" HIGH BLACK VINYL COATED CHAIN LINK FENCE.
 - D002 4" HIGH, BLACK VINYL COATED CHAIN LINK FENCE.
 - D003 24" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE.
 - D004 30" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE.
 - D005 10" BLACK VINYL COATED CHAIN LINK GATE.
 - D006 5" BLACK VINYL COATED CHAIN LINK GATE.
 - D007 6" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE.
 - D008 12" WIDE, DOUBLE SWING, BLACK VINYL COATED CHAIN LINK GATE.
 - D009 BAR GATE (SEE ARCHITECTURAL PLANS FOR DETAILS).
 - D010 BLACK VINYL CHAIN LINK FENCE BACKSTOP, SEE ARCHITECTURAL PLANS FOR DETAILS.

200 DOUGLASS AVENUE, STE 2100
ALAMONTE SPRINGS, FL 32714
TELEPHONE 407.478.8750
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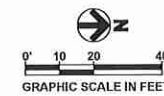
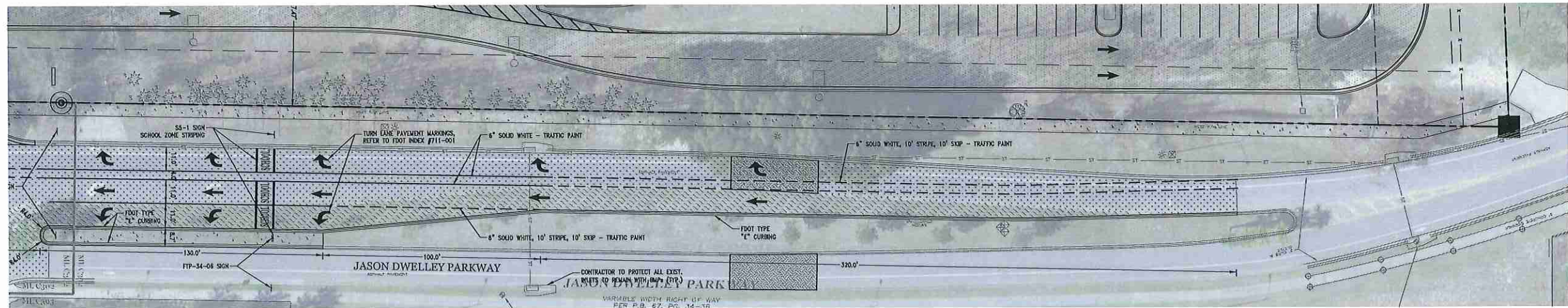
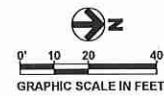
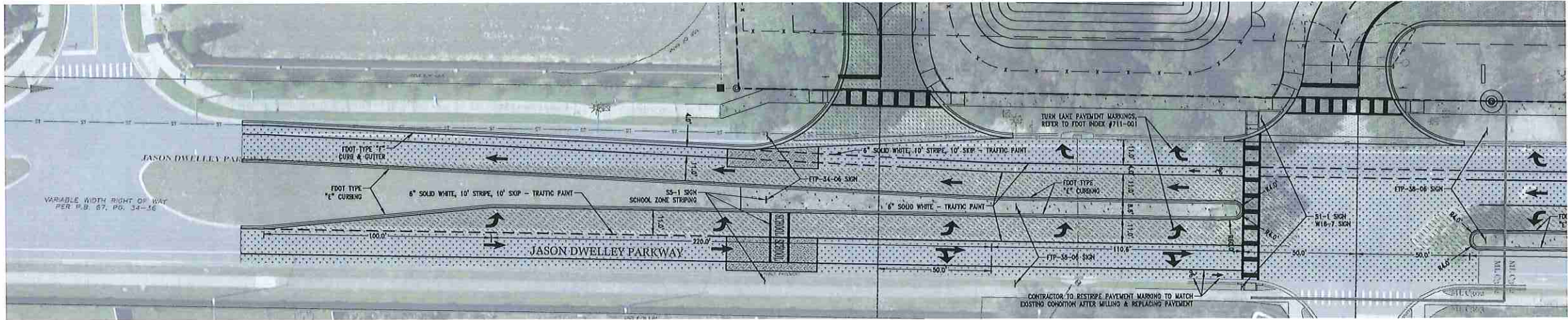
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SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
GEOMETRY & STRIPING PLAN

ORANGE COUNTY PUBLIC SCHOOLS
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BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809



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SHEET NUMBER:
C301
OF (Total):



LEGEND:

- PROPERTY LINE
- x- CHAIN LINK FENCE (BLACK VINYL COATED)
- [Pattern] HEAVY DUTY PAVEMENT
- [Pattern] REGULAR PAVEMENT
- [Pattern] CANOPY (SEE ARCH. PLAN FOR DETAILS)
- [Pattern] CONCRETE
- [Pattern] STABILIZED ROAD
- [Pattern] NEW OFFSITE PAVEMENT
- [Pattern] LIMITS OF MILLING & REPLACING PAVEMENT
- [Pattern] LIMITS OF OPEN-PAVEMENT CUT

JAVA/KLW/P.E.
FL P.E. #19945

1835 DOUGLAS AVENUE, STE 2100
ALAMONTA SPRINGS, FL 32714
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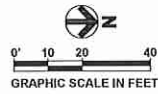
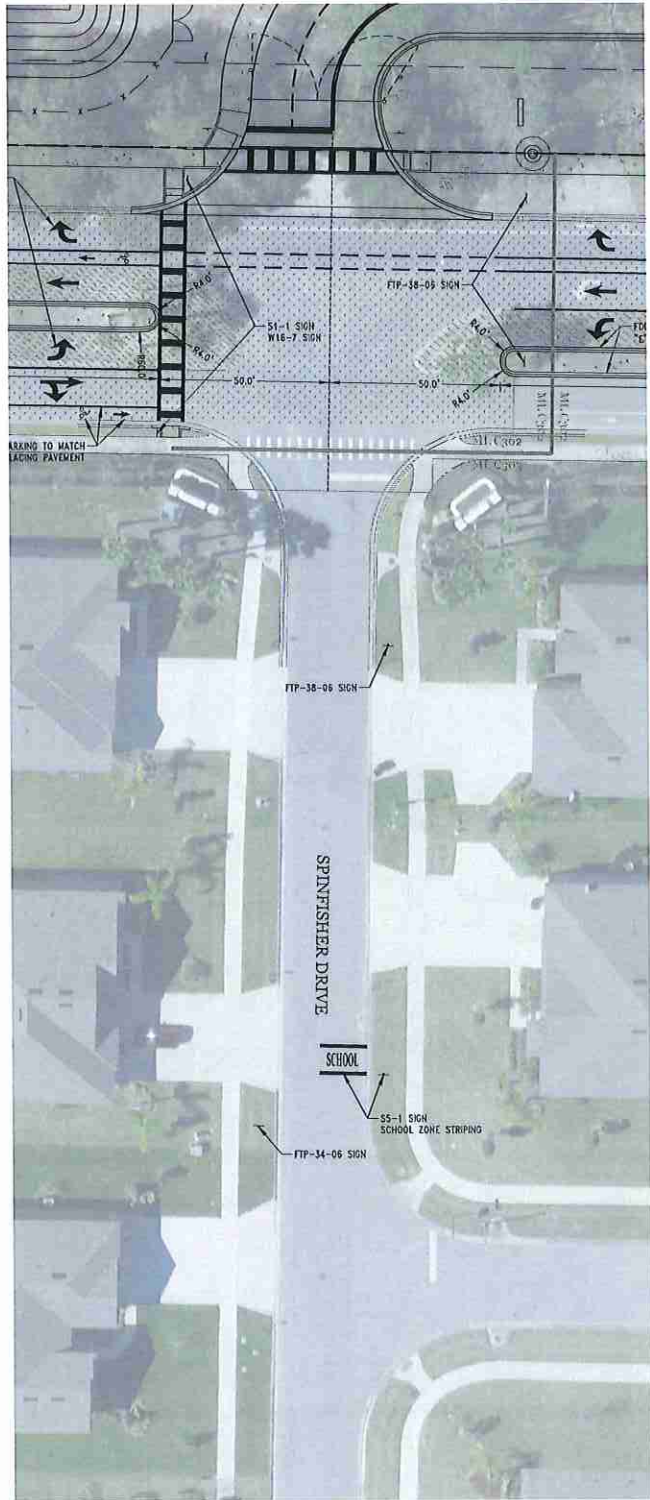


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SHEET NUMBER:
C302
OF (Total):

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
OFFSITE ROADWAY PLAN

ZYSCOVICH
ARCHITECTS
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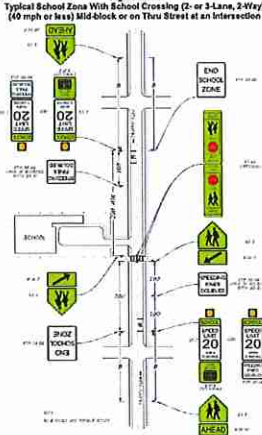
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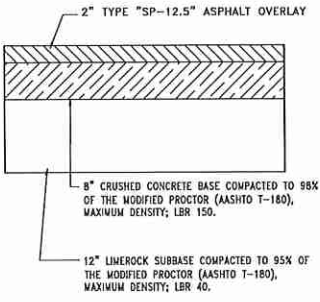
LEGEND:

- PROPERTY LINE
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- HEAVY DUTY PAVEMENT
- REGULAR PAVEMENT
- CANOPY (SEE ARCH. PLAN FOR DETAILS)
- CONCRETE
- STABILIZED ROAD
- NEW OFFSITE PAVEMENT
- LIMITS OF MILLING & REPLACING PAVEMENT
- LIMITS OF OPEN-PAVEMENT CUT

Typical School Zone With School Crossing (2- or 3-Lane, 2-Way) (40 mph or less) Mid-block or on Thru Street at an Intersection



- 1) FOR OFFSITE SIGNAGE AND STRIPING DETAILS, REFER TO FIGURE 15-12 SHOWN ON THIS SHEET.
- 2) ALL NEW SCHOOL RELATED SIGNAGE MUST BE RETROREFLECTIVE FLUORESCENT YELLOW-GREEN (REFER TO 15.9 TRAFFIC CONTROL DEVICES OF THE FOOT SPEED ZONING MANUAL).



- NOTE: 1. CRUSHED CONCRETE SHALL MEET GRADATION REQUIREMENTS OF FOOT SPEC SECTION 204.
- 2. THE OFFSITE PAVEMENT SHALL MATCH EXISTING PAVEMENT DESIGN WITH MINIMUM OF 2" ASPHALTIC CONCRETE LAYER AND 8" CRUSHED CONCRETE WITH LBR OF 150 AND 95% COMPACTION.
- 3. ASPHALT GREATER THAN 2" TO BE PLACED IN (2) TWO LIFTS.

OFFSITE PAVEMENT SECTION
N.T.S.



FOOT REDUCED SPEED ZONE SIGNAGE
REFER TO FOOT INDEX #700-102

- NOTE: 1) SS-1 GROUND MOUNTED SIGN w/ A SOLAR POWERED FLASHING BEACON & TEMPLE 500-071 TIME CLOCK COMPATIBLE W/ RTC MANUFACTURER'S CFB CENTRAL PAGES SYSTEM.
- 2) THE SPEED LIMIT SHOWN ON THE SIGN SHOULD BE 20 MPH.

345 DOUGLAS AVENUE, STE. 2108
DIADEMATA SPRINGS, FL 32714
TELEPHONE: 407-478-8750
FACSIMILE: 407-478-8749
www.klimaweeks.com



Certificate of Authorization No.: 9230

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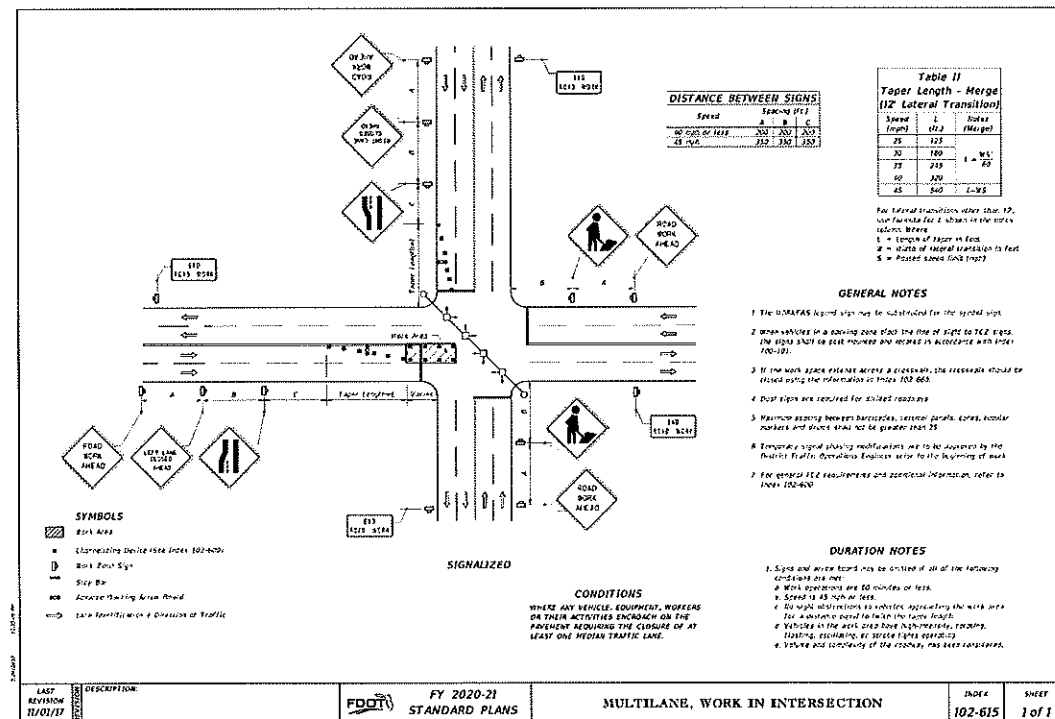
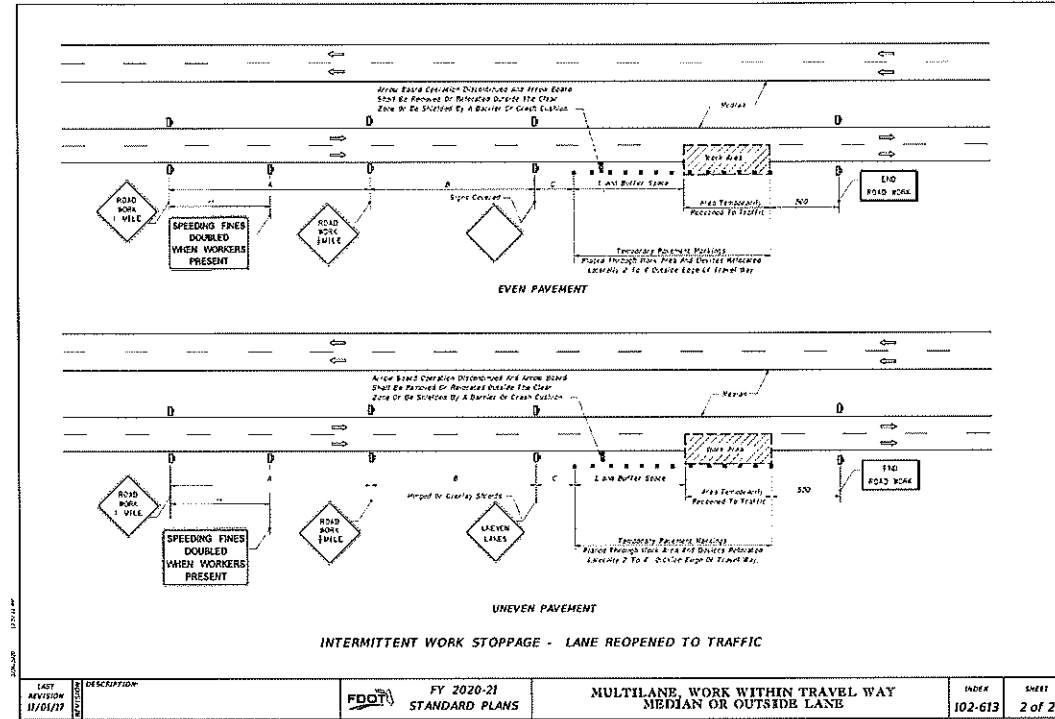
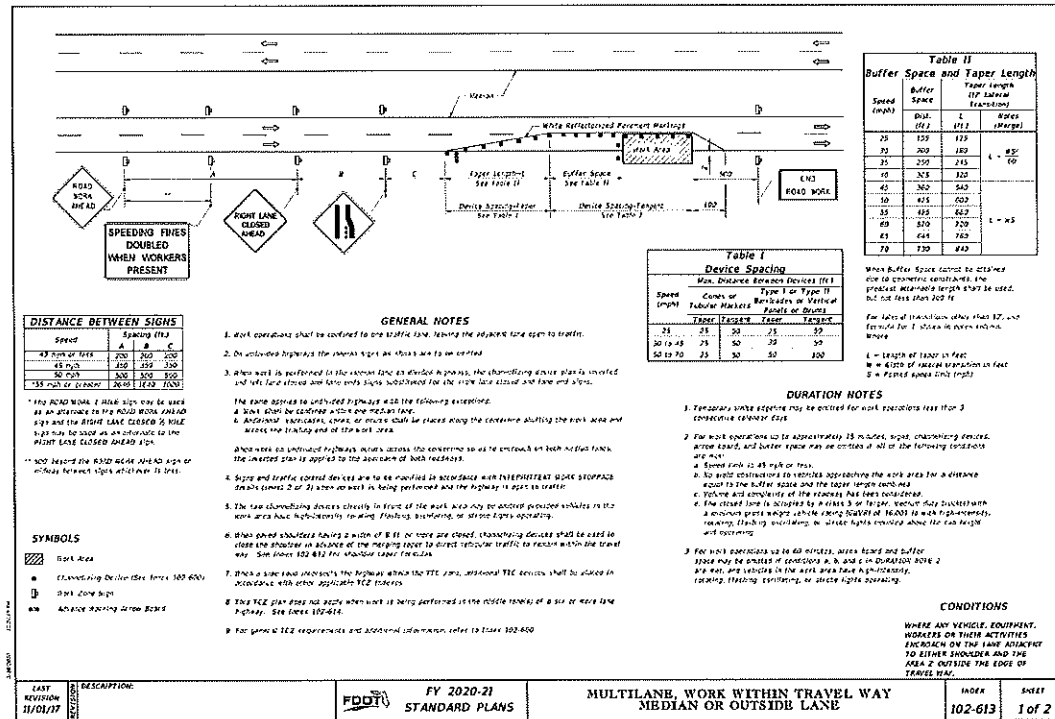
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DATE: 02-24-20
SCALE: 1"=30'
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SHEET NUMBER:
C303
OF (Total):

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
OFFSITE ROADWAY PLAN

REV	DATE	NOTE

ZYSCOVICH
ARCHITECTS
255 S. Palm Avenue, Suite 100
Orlando, Florida 32809
Tel: 407-251-1838
Fax: 407-251-4546
www.zyscovich.com



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ZYSOVICH
ARCHITECTS
1000 S. Pine Avenue, Suite 200
Orlando, Florida 32803
Tel: 407.252.4545
Fax: 407.252.4546
www.zysovich.com

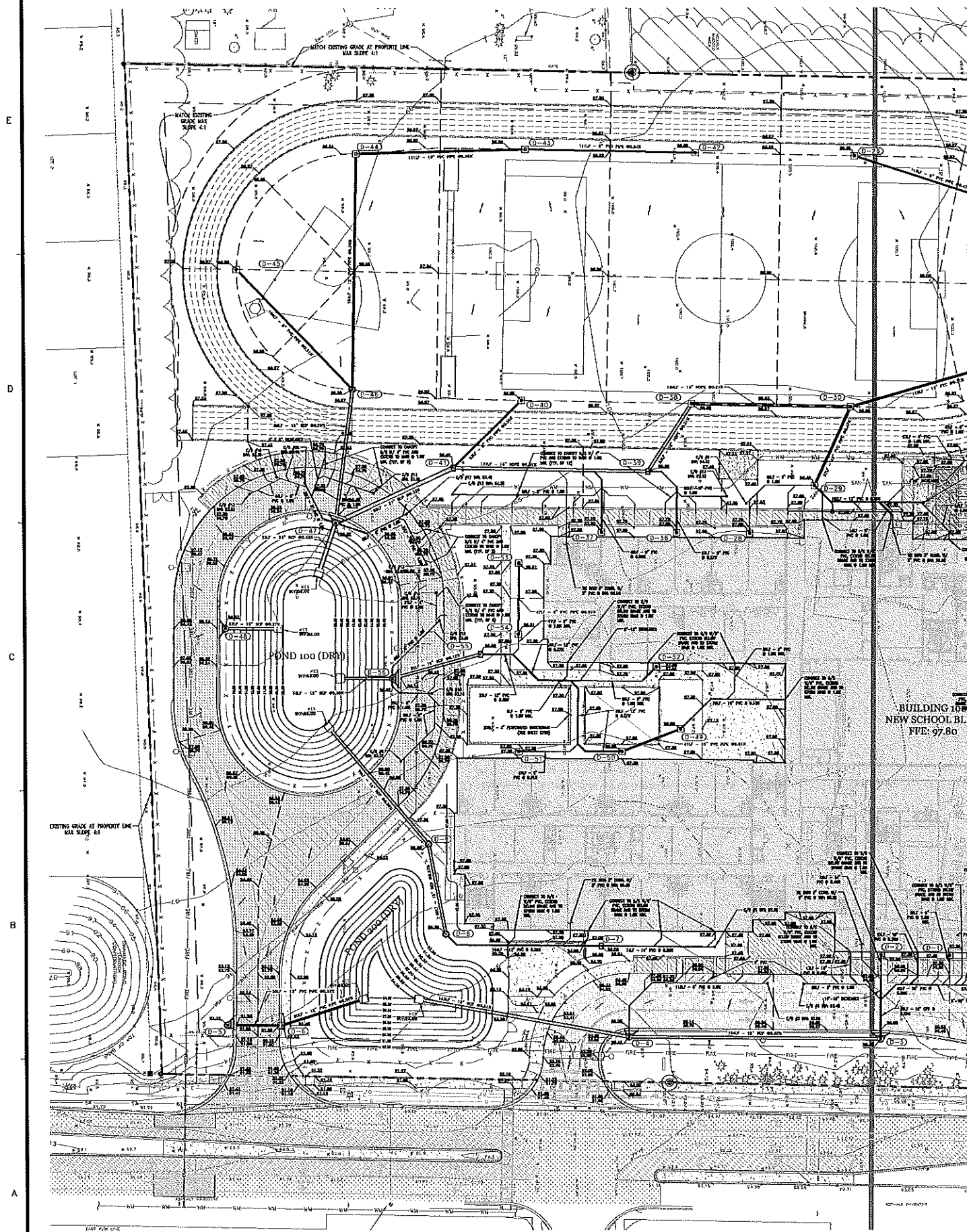
SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
MOT DETAILS

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32803

OCPS

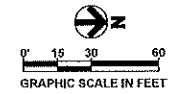
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DATE: 02-24-2017
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SHEET NUMBER:
C304
OF (Total):

Klima Weeks
CIVIL ENGINEERING
1000 S. Pine Avenue, Suite 200
Orlando, Florida 32803
Tel: 407.252.4545
Fax: 407.252.4546
www.klimaweeks.com
Certificate of Authorization No: 9230



LEGEND:

- — — — — PROPERTY LINE
- x — CHAIN LINK FENCE (BLACK VINYL COATED)
-  HEAVY DUTY PAVEMENT
-  REGULAR PAVEMENT
-  CANOPY (SEE ARCH. PLAN FOR DETAILS)
-  CONCRETE
-  STABILIZED ROAD
-  NEW OFFSITE PAVEMENT
-  LIMITS OF MILLING & REPLACING PAVEMENT
-  LIMITS OF OPEN-PAVEMENT CUT



D-2
1#1 INSIDE DRUM
W/ BOWED GALLE
TOP \$7.30
E. NY. \$2.40

D-3
INDEX NO. 425-020
TYPE F-4 CUSH INLET
TOP \$6.48
E. NY. \$1.80
N. NY. \$2.00

D-4
INDEX NO. 425-020
TYPE F-3 CUSH INLET
TOP \$5.65
E. NY. \$4.80
N. NY. \$1.25
W. NY. \$1.75

D-5
INDEX NO. 425-020
TYPE F-3 CUSH INLET
TOP \$5.13
N. NY. \$4.15

D-6
INDEX NO. 413-021
TYPE P-3
TOP \$2.33
S. INV. \$6.03
N. INV. \$4.60

D-7
INDEX NO. 413-052
TYPE C BOLT
TOP \$4.00
S. INV. \$3.00
N. INV. \$1.83

D-8

INDEX NO. 425-001
TYPE "P" MANHOLE
TOP \$18.00
W. RY. \$0.45
N. RY. \$1.00

D-9
INDEX NO. 425-001
TYPE "P" MANHOLE
TOP \$15.50
W. RY. \$0.25
N. RY. \$1.50

0-28
15" OAK BASH
W/ STD. GRATE
TOP \$6.65
N. BCF. \$4.15

U-39
24' CRAM EASY
W/ STD. CRATE
TOP \$9.40
NW. NY. \$1.30
NE. NY. \$3.40
S. NY. \$2.90

W/ STD. GRATE
TOP \$6.85
M. RY. \$2.60
SE. RY. \$2.85

O-36
12" DEAM BASIN
W/ DOWED GRATE
TOP \$7.50
W. RY. \$3.60

P-17

12" DRAIN BASIN
W/ DOWED GRATE
TOP \$7.50
W. INV. \$1.65

D-38
24" DRAIN BASIN
W/ STD. GRATE
TOP \$8.45
SE. INV. \$1.25

D-38
PRICE NO. 425-052
TYPE C PILET
TOP 18.50
W. 30Y. 51.75
S. 30Y. 51.50
N. 30Y. 53.50

D-40
15' BRAM BASIN
W/ STD. GRADE
TOP 18.45
SE. 30Y. 53.70

D-41
PRICE NO. 425-052
TYPE C PILET
TOP 18.40
W. 30Y. 51.35
SE. 30Y. 50.70
N. 30Y. 51.20

D-42
15' BRAM BASIN
W/ STD. GRADE
TOP 18.40

D-43
15" DRAIN BASIN
W/ STD. GRATE
TOP \$8.65
S. INY. \$3.35
K. INY. \$2.55

D-44
15" DRAIN BASIN
W/ STD. GRATE
TOP \$8.55
S. INY. \$2.75
K. INY. \$2.55

D-43
15" DRAIN BASIN
W/ STD. GRATE
TOP \$8.50
NZ. INV. \$16.05

D-47
INDEX NO. 415-02
TYPE P-4 CLARK IN
100 54.52
E. DIV. 48.15
W. DIV. 51.25
NW. DIV. 50.42
R. DIV. 53.00

D-48
INDEX NO. 415-02
TYPE P-4 CURB IN
TOP 56.52
N. INV. 26.10

D-49
15" DRAIN BASIN
W/ STD. GRATE
TOP 56.80

Q. NY. \$3.70
N.Y. NY. \$3.80
D-50
15" GRAY BASS
W/ STD. GRAPE
TOP \$4.85
N. NY. \$5.45
S. NY. \$3.25
D-51
14" GRAY BASS
W/ STD. GRAPE
TOP \$4.85
N. NY. \$5.45
S. NY. \$3.25

W/ STD. GRATE
TOP 97.00
FL. INT. 93.65
D-SI
8" DRAIN BASH
W/ DOWNED GRATE
TOP 97.45
SE. INT. 94.00
D-S3

15" DEEP BASSIN
W/ STD. GRATE
TOP \$4.90
E. INV. \$4.33

D-54
15" DRAIN BASIN
W/ STD. GRATE
TOP \$6.90
E. INY. \$3.80
W. INY. \$3.90

D-55
INDEX NO. 425-
TYPE C INLET
TOP \$6.55
E. INY. \$2.83
W. INY. \$2.20

D-56
INDEX NO. 425-
TYPE F-4 CURB
TOP \$4.52
S. INY. \$5.10
E. INY. \$2.85
W. INY. \$2.10
W. INY. \$3.00

AS AVENUE, 3YE 2100
E SPRING, FL 32714

DUGLAS AVENUE, STE 2100
MONTE SPRINGS, FL 32714
TELEPHONE 407.478.0750
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Certificate of Authorization No. 9230

**Klima
Weeks**
CIVIL ENGINEERING

PHASE 3 100% CD SUBMISSION

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DESIGN & CONSTRUCTION
FACILITIES SERVICES



DRAWN: JAK
CHECKED: JAK
DATE: 02-24-20 PLT SCALE: 1"=3'
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C400

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

GRADING & DRAINAGE PLAN

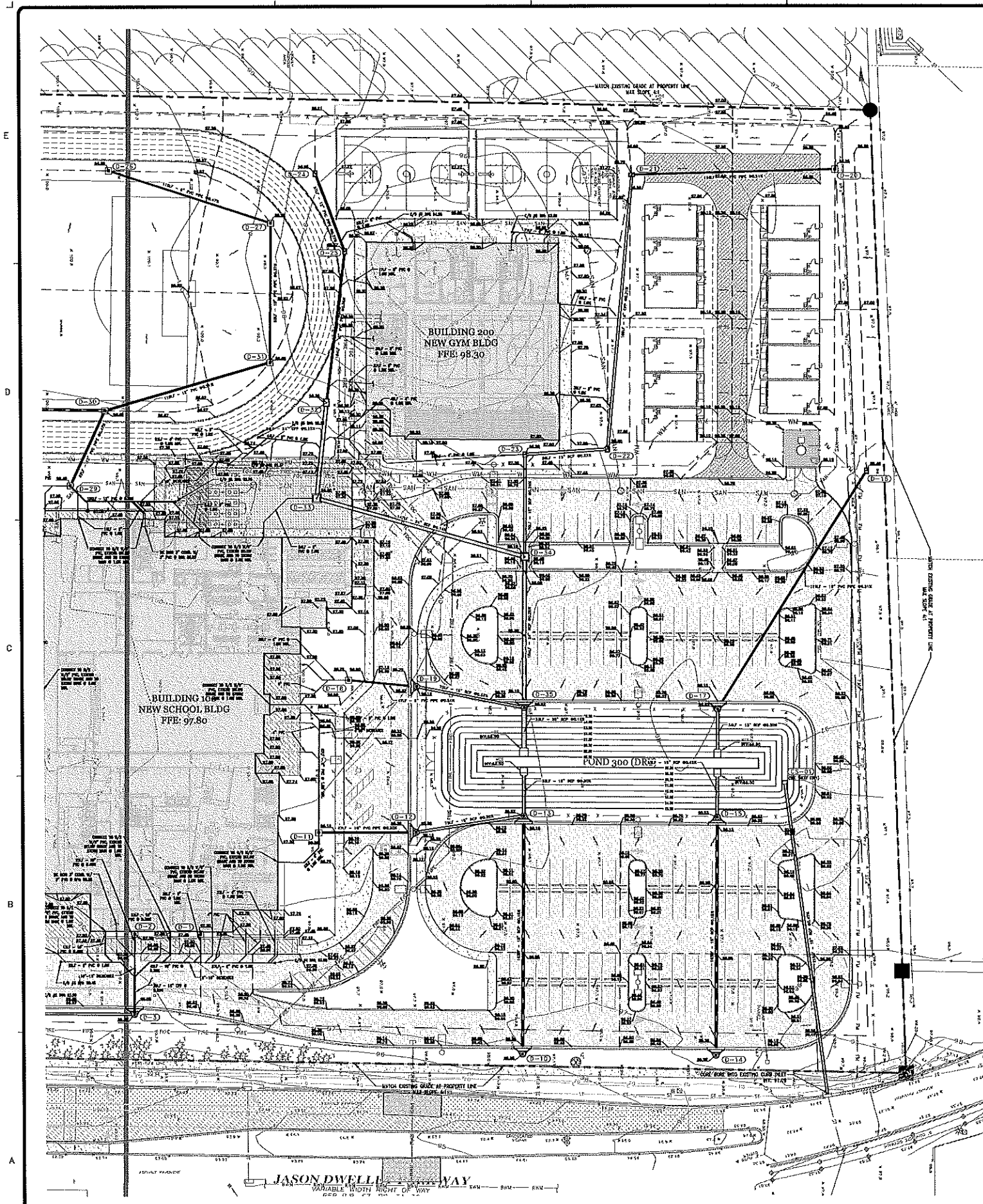
ZYSCOVICH
ARCHITECTS

220 S. Park Avenue # 510
Orlando, Florida 32769

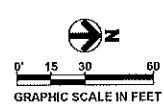
t 407.374.1929
f 407.372.4546

e info@zysovrch.com
w www.zysovrch.com

Orlando, Florida 32759
f 407.392.4546
www.dynaswitch.com



- LEGEND:**
- PROPERTY LINE
 - CHAIN LINK FENCE (BLACK VINYL COATED)
 - HEAVY DUTY PAVEMENT
 - REGULAR PAVEMENT
 - CANOPY (SEE ARCH. PLAN FOR DETAILS)
 - CONCRETE
 - STABILIZED ROAD
 - NEW OFFSITE PAVEMENT
 - LIMITS OF MILLING & REPLACING PAVEMENT
 - LIMITS OF OPEN-PAVEMENT CUT



- 0-1 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-2 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-3 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-4 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-5 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-6 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-7 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-8 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-9 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-10 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-11 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-12 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-13 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-14 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-15 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-16 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-17 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-18 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-19 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-20 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-21 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-22 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-23 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-24 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-25 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-26 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-27 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-28 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-29 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50
- 0-30 12" DIAM. DRAIN
W/ 10' DIA. MANHOLE
TOP 11.50
S. INV. 11.50
E. INV. 11.50

345 DOUGLAS AVENUE, STE 2100
ALAMOGOR SPRINGS, FL 32114
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FACSIMILE 407.276.8749
WWW.KLIMAWEEDS.COM



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OCPS

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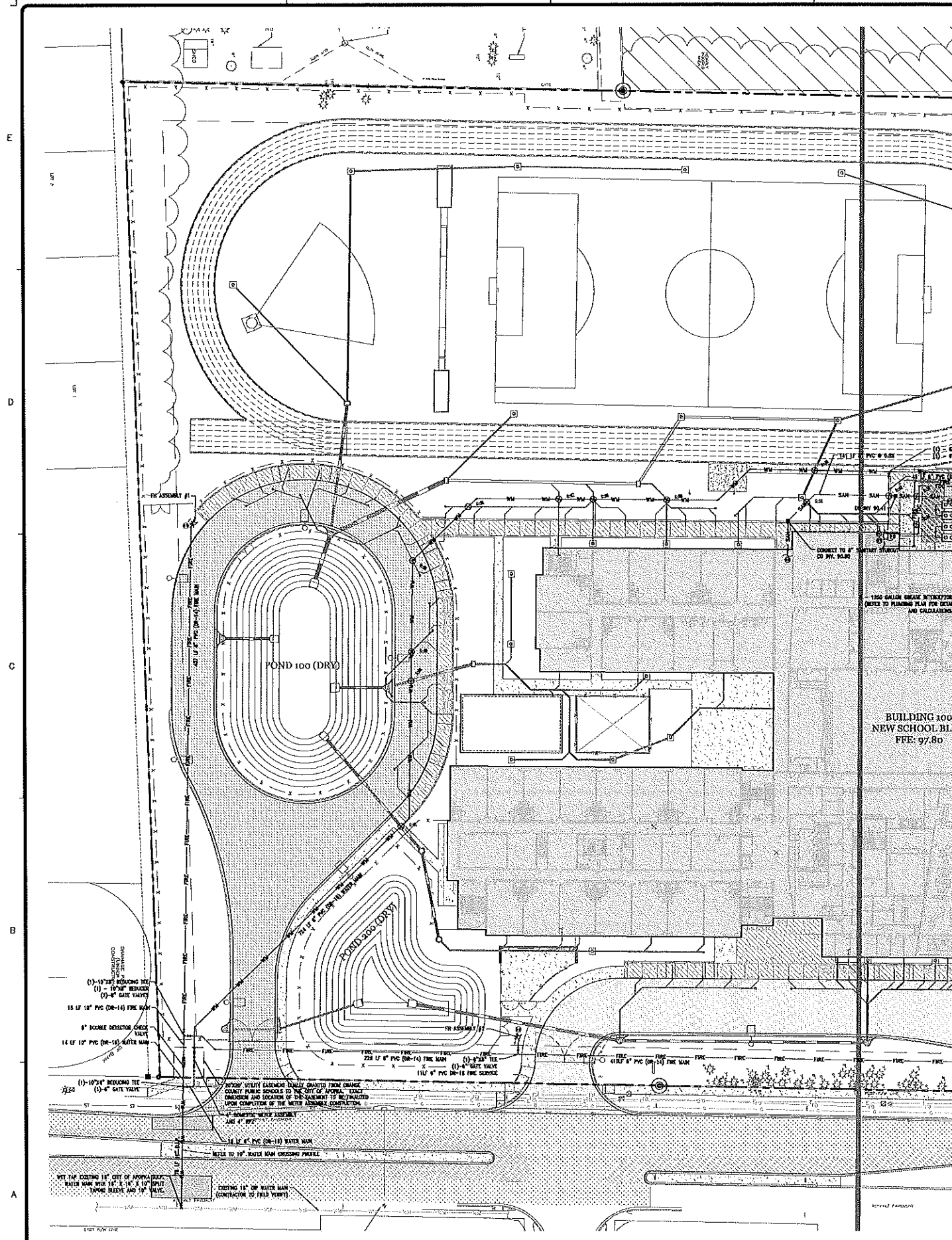
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CHECKED: JAK
DATE: 02-24-2011
SCALE: 1"=30'
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C401
OF (Total):

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
GRADING & DRAINAGE PLAN

ZYSCOVICH
ARCHITECTS

100 S. Park Avenue #510
Orlando, Florida 32709
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F 407.251.4544
www.zyscovich.com

REV	DATE	NOTE



FIRE FLOW NOTES AND CALCULATIONS:

18.3.1* AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS ARE HEREAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION.

18.3.3* THE NUMBER AND TYPE OF FIRE HYDRANTS CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS.

18.3.4* FIRE HYDRANTS AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE ACCESSIBLE TO THE FIRE DEPARTMENT.

STEP 2: MINIMUM REQUIRED FIRE FLOW
(TABLE 18.4.5.1.2)
NEW SCHOOL BLD: 4,000 GPM

50% FIRE FLOW REDUCTION FACTOR (2,000 GPM)
THEREFORE 2,000 GPM REQUIRED.

STEP 3: HYDRANTS REQUIRED
(ANNEX E, TABLE E.3)
2 HYDRANTS REQUIRED, 500 FT AVERAGE SPACING.
4 NEW HYDRANTS PROVIDED

(BASIS: NFPA 1, CHAPTER 18, 2015)

STEP 1: BUILDING DATA
CONSTRUCTION TYPE: PROP BLDG 100: FBC TYPE I-B FULLY SPRINKLED

FIRE AREA:
PROP NEW SCHOOL BLD: 141,952 SF

FIRE DEPARTMENT NOTES:

1. A SEPARATE PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY FIRE LINE.
2. INSTALLATION OF ALL UNDERGROUND FIRE LINES SHALL COMPLY WITH THE 2016 EDITION OF NFPA 24.
3. UNDERGROUND FIRE LINES SHALL BE INSTALLED BY AN APPROPRIATELY CERTIFIED FIRE SPRINKLER CONTRACTOR OR A TYPE V UNDERGROUND CONTRACTOR AS DEFINED AND OUTLINED IN 633.021, 633.021 AND 633.021.
4. PIPING USED FOR FIRE PROTECTION SERVICE (I.E. FOR FIRE HYDRANTS AND FIRE SPRINKLER SERVICE) THAT IS RUN UNDER DRIVEWAYS SHALL BE BURIED AT A MINIMUM DEPTH OF 36-INCHES.

UTILITY CROSSING TABLE:

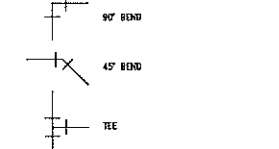
1. BOTT. OF 6" WATER: 92.50	TOP OF 15" STORM: 99.49
2. BOTT. OF 8" STORM: 93.10	TOP OF 6" WATER: 91.60
3. BOTT. OF 12" STORM: 92.13	TOP OF 6" WATER: 90.60
4. BOTT. OF 6" STORM: 93.30	TOP OF 6" WATER: 91.60
5. BOTT. OF 6" STORM: 92.72	TOP OF 6" WATER: 92.20
6. BOTT. OF 8" STORM: 94.17	TOP OF 6" WATER: 92.65
7. BOTT. OF 8" STORM: 93.15	TOP OF 6" WATER: 91.65
8. BOTT. OF 8" STORM: 92.56	TOP OF 6" WATER: 91.00
9. BOTT. OF 8" STORM: 93.64	TOP OF 6" WATER: 92.10
10. BOTT. OF 12" STORM: 92.68	TOP OF 6" WATER: 91.55
11. BOTT. OF 12" STORM: 93.42	TOP OF 8" SANITARY: 91.40

LEGEND:

- PROPERTY LINE
- - - CHAIN LINK FENCE (BLACK VINYL COATED)
- [Pattern] HEAVY DUTY PAVEMENT
- [Pattern] REGULAR PAVEMENT
- [Pattern] CANOPY (SEE ARCH. PLAN FOR DETAILS)
- [Pattern] CONCRETE
- [Pattern] STABILIZED ROAD
- [Pattern] NEW OFFSITE PAVEMENT
- [Pattern] LIMITS OF MILLING & REPLACING PAVEMENT
- [Pattern] LIMITS OF OPEN-PAVEMENT CUT

- WATER LINE
- SANITARY LINE
- FIRE LINE
- [Symbol] FIRE HYDRANT ASSEMBLY
- [Symbol] FIRE DEPARTMENT CONNECTION (4")
- [Symbol] POST INDICATOR VALVE
- [Symbol] GATE VALVE
- [Symbol] CROSSING HUMBER
- [Symbol] SANITARY MANHOLE
- SP # SAMPLE POINT
- W.M. WATER MAIN
- R.W.M. RECLAIMED WATER MAIN

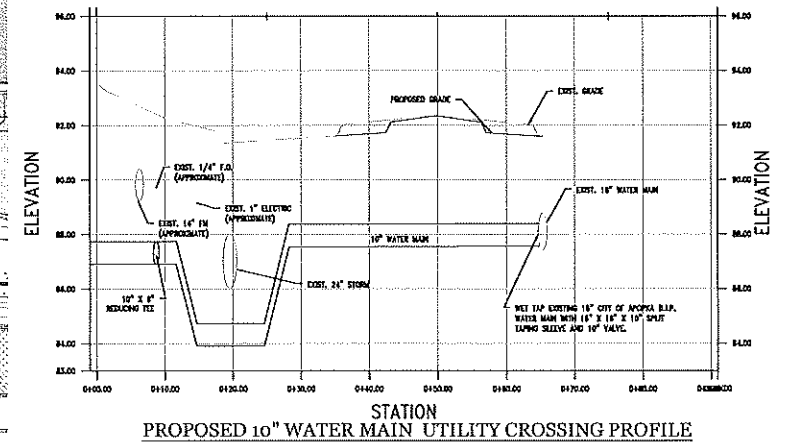
TYPICAL PIPE BENDS



NOTE: ALL OTHER PIPE BENDS USED IN DESIGN OF THIS PROJECT ARE NOTED ON THE PLANS

KEYNOTES - UTILITIES

1. 4" PVC WATER SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
2. 6" PVC WATER SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
3. 4" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
4. 6" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
5. 4" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
6. 6" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
7. 4" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
8. 6" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
9. 4" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
10. 6" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.
11. 4" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR SPLIT TO BUILDING AND CONNECTION INTO BUILDING.



JAY K. KLIMA, P.E.
FL.P.E. #12916



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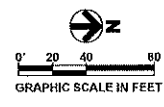
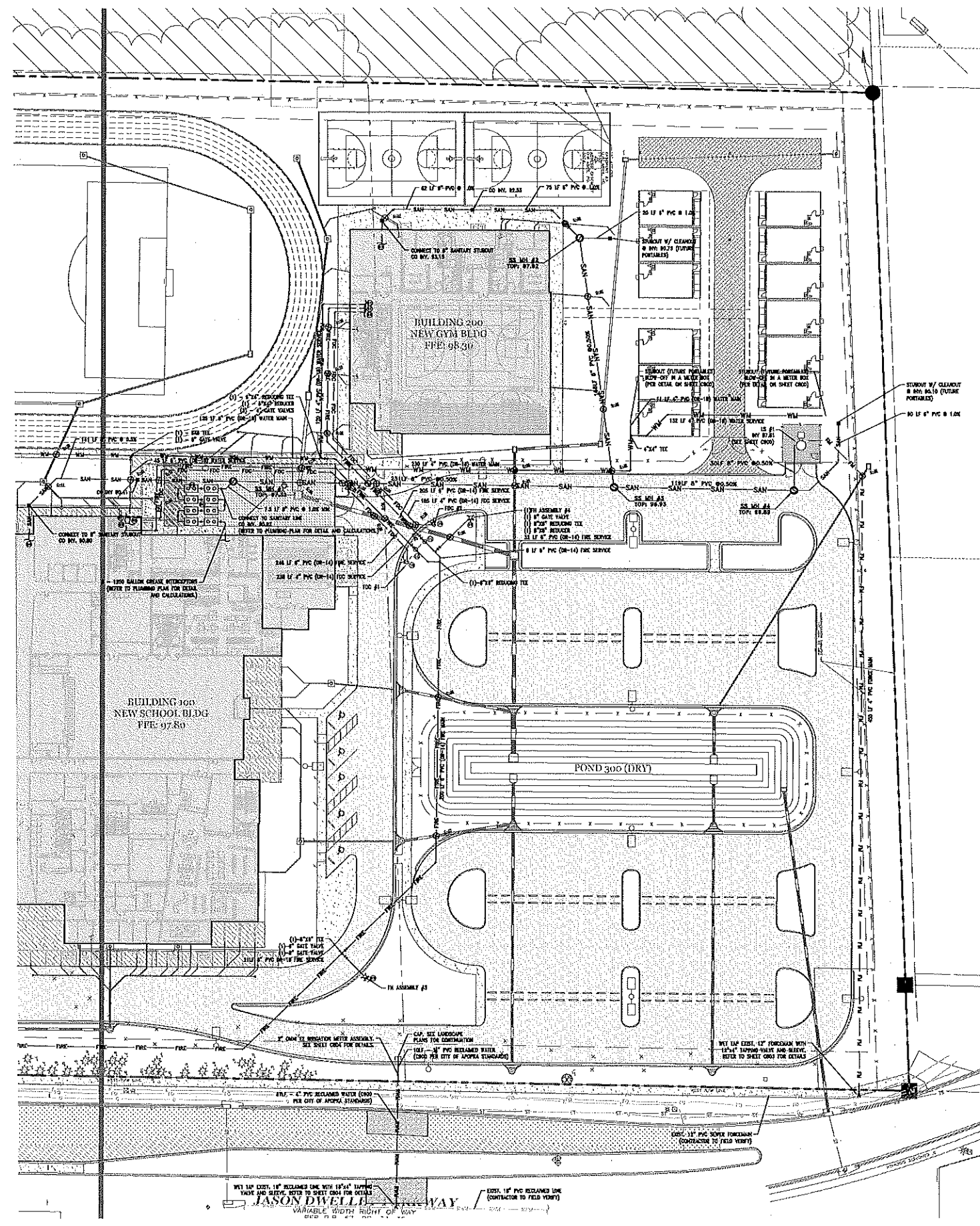
ZYSCOVICH
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SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809



DRAWN: JAK
CHECKED: JAK
DATE: 02-24-20
SCALE: 1/32"
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C500
OF (Total):



STRUCTURE TABLE

SS M1 #1	TOP 92.12
K. WY. 92.00	
S. WY. 92.10	
N. WY. 92.00	
SS M1 #2	TOP 92.00
K. WY. 92.00	
S. WY. 92.10	
N. WY. 92.00	
SS M1 #3	TOP 92.10
K. WY. 92.00	
S. WY. 92.10	
N. WY. 92.00	
SS M1 #4	TOP 92.00
K. WY. 92.00	
S. WY. 92.10	
N. WY. 92.00	

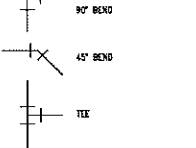
LEGEND:

- PROPERTY LINE
- CHAIN LINK FENCE (BLACK VINYL COATED)
- HEAVY DUTY PAVEMENT
- REGULAR PAVEMENT
- CANOPY (SEE ARCH. PLAN FOR DETAILS)
- CONCRETE
- STABILIZED ROAD
- NEW OFFSITE PAVEMENT
- UNITS OF MILLING & REPLACING PAVEMENT
- UNITS OF OPEN-PAVEMENT CUT
- WATER LINE
- SANITARY LINE
- FIRE LINE
- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (4")
- POST INDICATOR VALVE
- GATE VALVE
- CROSSING HANDBAR
- SANITARY MANHOLE
- SP # SAMPLE POINT
- W.M. WATER MAIN
- R.W.M. RECLAIMED WATER MAIN

UTILITY CROSSING TABLE

12. BOIT. OF 6" WATER: 93.80	23. BOIT. OF 4" FIRE: 93.00	34. BOIT. OF 16" STORM: 91.18
TOP OF 8" SANITARY: 91.11	TOP OF 8" SANITARY: 90.23	TOP OF 8" SANITARY: 89.79
13. BOIT. OF 4" FIRE: 92.15	24. BOIT. OF 8" STORM: 93.00	35. BOIT. OF 4" WATER: 94.15
TOP OF 8" SANITARY: 91.01	TOP OF 8" SANITARY: 90.21	TOP OF 8" SANITARY: 90.55
14. BOIT. OF 12" STORM: 92.85	25. BOIT. OF 24" STORM: 91.69	36. BOIT. OF 15" STORM: 91.72
TOP OF 4" FIRE: 92.85	TOP OF 4" FIRE: 90.10	TOP OF 8" FIRE: 90.20
15. BOIT. OF 24" STORM: 91.82	26. BOIT. OF 24" STORM: 91.68	37. BOIT. OF 15" STORM: 91.30
TOP OF 4" FIRE: 90.30	TOP OF 4" FIRE: 90.10	TOP OF 8" FIRE: 89.80
16. BOIT. OF 15" STORM: 91.88	27. BOIT. OF 24" STORM: 91.65	38. BOIT. OF 10" STORM: 92.08
TOP OF 8" SANITARY: 90.45	TOP OF 4" FIRE: 90.10	TOP OF 4" SAN. FW: 91.00
17. BOIT. OF 8" STORM: 94.88	28. BOIT. OF 24" STORM: 91.84	
TOP OF 8" SANITARY: 93.62	TOP OF 4" FIRE: 90.10	
18. BOIT. OF 8" STORM: 93.55	29. BOIT. OF 24" STORM: 91.81	
TOP OF 4" FIRE: 92.45	TOP OF 4" FIRE: 90.10	
19. BOIT. OF 8" STORM: 92.83	30. BOIT. OF 8" STORM: 93.10	
TOP OF 4" FIRE: 92.35	TOP OF 8" SANITARY: 92.35	
20. BOIT. OF 4" STORM: 92.85	31. BOIT. OF 8" STORM: 92.80	
TOP OF 4" FIRE: 92.35	TOP OF 8" SANITARY: 91.15	
21. BOIT. OF 8" FIRE: 93.00	32. BOIT. OF 15" STORM: 91.65	
TOP OF 8" SANITARY: 90.32	TOP OF 4" WATER: 99.75	
22. BOIT. OF 8" FIRE: 93.00		
TOP OF 8" SANITARY: 90.29		

TYPICAL PIPE BENDS



NOTE: ALL OTHER PIPE BENDS USED IN DESIGN OF THIS PROJECT ARE NOTED ON THE PLANS

KEYNOTES - UTILITIES

- 4" PVC WATER SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR DETAIL AT BUILDING AND CONNECTION INTO BUILDING.
- 4" PVC WATER SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR DETAIL AT BUILDING AND CONNECTION INTO BUILDING.
- 4" PVC SANITARY SERVICE TO BUILDING, REFER TO PLUMBING PLANS FOR DETAIL AT BUILDING AND CONNECTION INTO BUILDING.
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340 DOWLING AVENUE, STE 2100
ALAMONTA SPRINGS, FL 32714
TELEPHONE: 407-478-8750
FACSIMILE: 407-478-8749
WWW.KLIMAWEEKS.COM

Certificate of Authorization No.: 9230

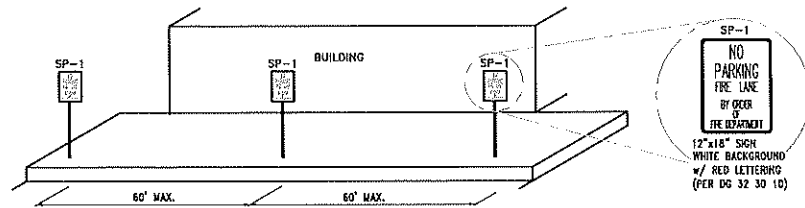
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ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

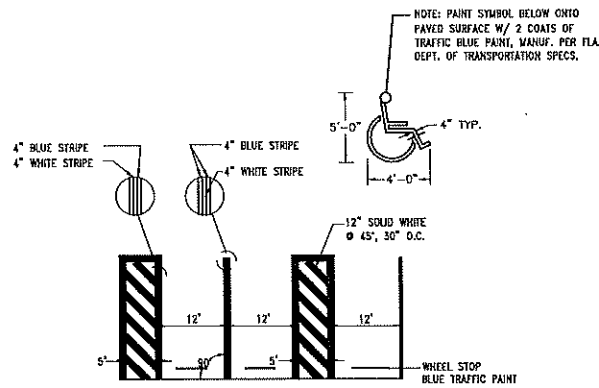
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SHEET NUMBER:
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OF (Total):

ZYSKOVICH
ARCHITECTS
200 S. Pine Street, Suite 400
Orlando, Florida 32801
Phone: 407.232.4346
www.zyskovich.com

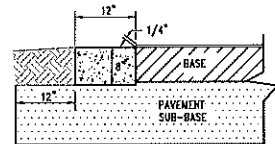
SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
UTILITY PLAN



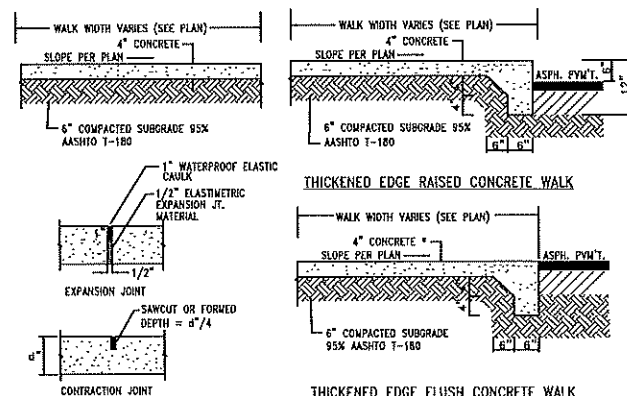
FIRE LANE DETAIL
N.T.S.



ADA PARKING DETAILS
N.T.S.

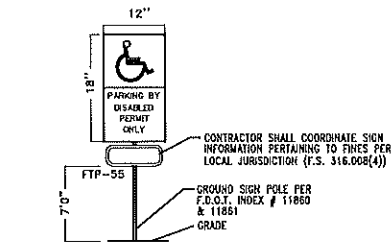


STANDARD CONCRETE RIBBON CURB
N.T.S.



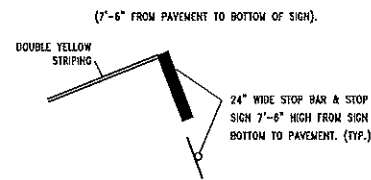
NOTE:
1. ALL CONCRETE SIDEWALKS SHALL HAVE A FULL 1/2" EXPANSION JOINT AT A MAXIMUM DISTANCE OF 40 LINEAR FEET AND A SAW CUT OR FORMED CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 8 LINEAR FEET.
2. CONTR. SHALL PROVIDE A MINIMUM OF 5 FT. ON EITHER SIDE OF WALKS ADJACENT TO GRASS AREAS THAT HAVE A MAX. SLOPE OF 3% DOWNWARD.

CONCRETE WALK DETAILS
N.T.S.

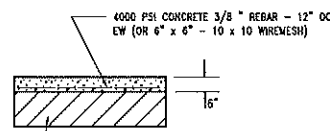


NOTES:
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.
5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT.

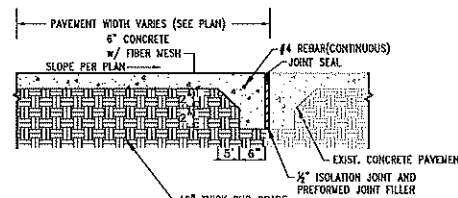
ADA PARKING SIGN - DETAIL
N.T.S.



STOP SIGN & STOP BAR DETAIL
N.T.S.



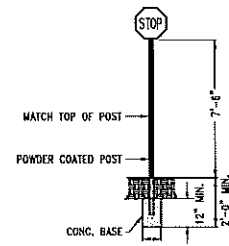
DUMPSTER PAD SECTION
N.T.S.



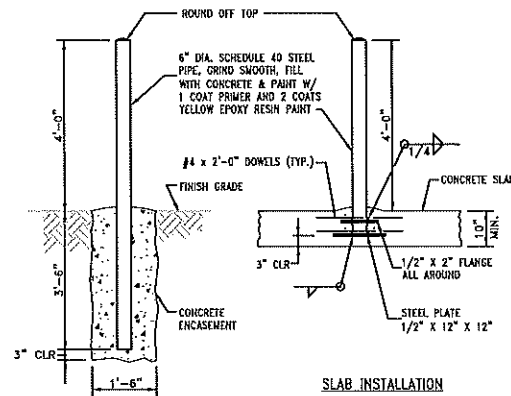
NOTES:
1. ALL CONCRETE PAVEMENT SHALL HAVE A FULL 1/2" ISOLATION JOINT WHERE IT ADJUTS EXISTING CONCRETE PAVEMENT AND OTHER RIGID STRUCTURES, SUCH AS BUILDING FOUNDATIONS AND WALLS. PROVIDE 2" SAW CUT OR QUARRY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 20 FEET.
2. PORTLAND CEMENT CONCRETE PAVEMENT TO BE 4,000-PSI COMPRESSIVE STRENGTH, MIN.

CONCRETE PAVEMENT DETAIL
N.T.S.

NOTES:
1. SEE PLANS FOR SIGNAGE TYPES AND LOCATIONS
2. SIGNAGE TO CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

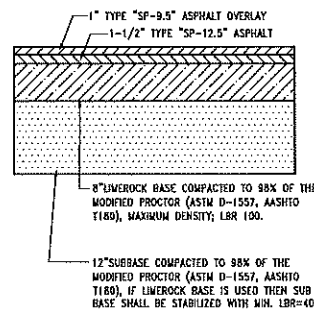


SIGN DETAIL
N.T.S.



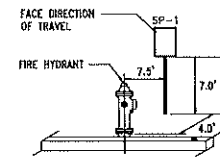
EARTHEN INSTALLATION

BOLLARD DETAIL
N.T.S.

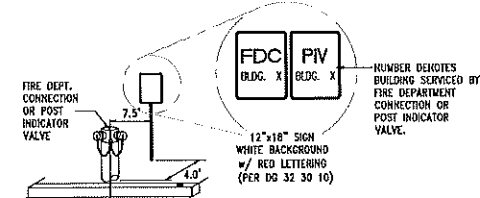


NOTE:
IN LIEU OF LIMEROCK BASE, A 6" CRUSHED CONCRETE BASE CAN BE UTILIZED WITH SAME COMPACTION REQUIREMENTS, LBR 150. CRUSHED CONCRETE SHALL MEET GRADATION REQUIREMENTS OF FDOT SPEC SECTION 204.

HEAVY DUTY PAVEMENT SECTION
N.T.S.

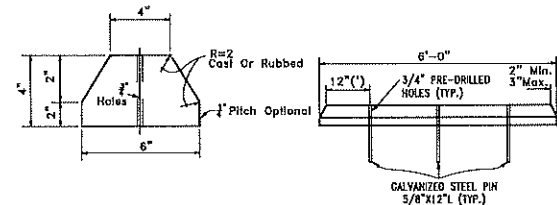


FIRE HYDRANT MARKING DETAIL
N.T.S.

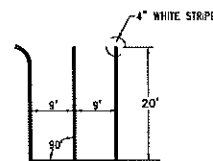


NOTE: REFER TO SHEET CS01 FOR SIGNAGE PLACEMENT.

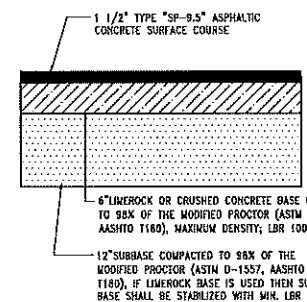
FIRE DEPT. CONNECTION / POST INDICATOR VALVE DETAIL
N.T.S.



CONCRETE WHEEL STOP



TYPICAL PARKING STALL STRIPING DETAIL
N.T.S.



NOTE:
IN LIEU OF LIMEROCK BASE, A 6" CRUSHED CONCRETE BASE CAN BE UTILIZED WITH SAME COMPACTION REQUIREMENTS, LBR 120. CRUSHED CONCRETE SHALL MEET GRADATION REQUIREMENTS OF FDOT SPEC SECTION 204.

TYPICAL PAVEMENT SECTION
N.T.S.

345 DOUGLAS AVENUE, STE 2100
ATLANTA, GEORGIA 30318
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FACSIMILE 404.428.8740
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Weeks
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FLPE #15349

Certificate of Authorization No.: 9230

PHASE 3 100% CD SUBMISSION

ORANGE COUNTY PUBLIC SCHOOLS
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FACILITIES SERVICES

OC
PS

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CHECKED: JAK
DATE: 02-24-2011
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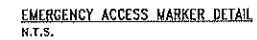
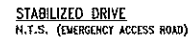
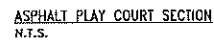
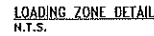
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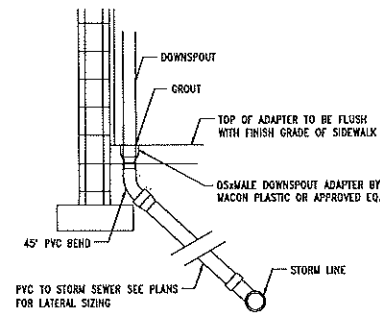
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SITE DETAILS

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

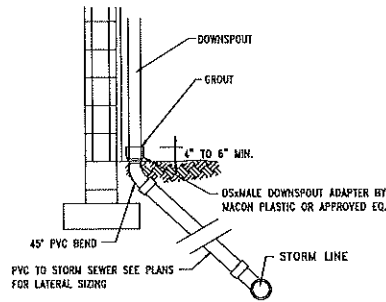
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809





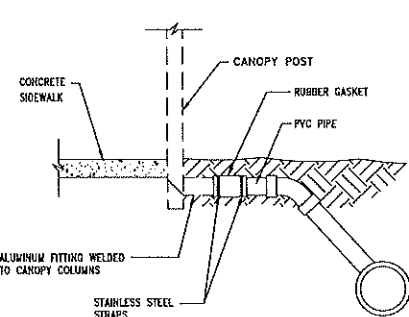
- NOTES:
1. VERIFY THAT THERE ARE NO CONFLICTS WITH BUILDING/WALK FOUNDATION. PROVIDE FITTINGS AS REQUIRED TO MITIGATE CONFLICT.
 2. ENSURE THAT CENTERLINE OF HUB MATCHES CENTERLINE OF DOWNSPOUT AT JUNCTION.
 3. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

DOWNSPOUT CONNECTION DETAIL IN SIDEWALK
N.T.S.

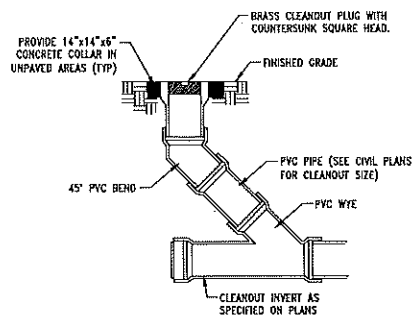


- NOTES:
1. VERIFY THAT THERE ARE NO CONFLICTS WITH BUILDING/WALK FOUNDATION. PROVIDE FITTINGS AS REQUIRED TO MITIGATE CONFLICT.
 2. ENSURE THAT CENTERLINE OF HUB MATCHES CENTERLINE OF DOWNSPOUT AT JUNCTION.
 3. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

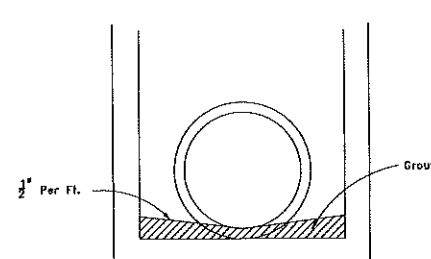
DOWNSPOUT CONNECTION DETAIL IN GRASS
N.T.S.



CANOPY CONNECTION DETAIL
N.T.S.

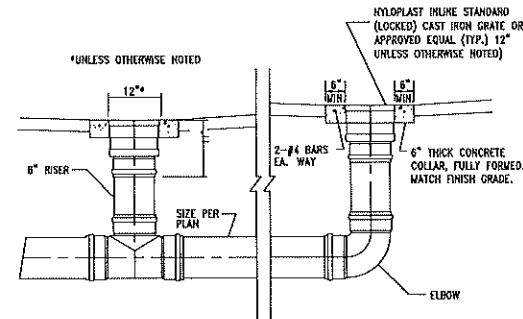


STORM CLEANOUT DETAIL
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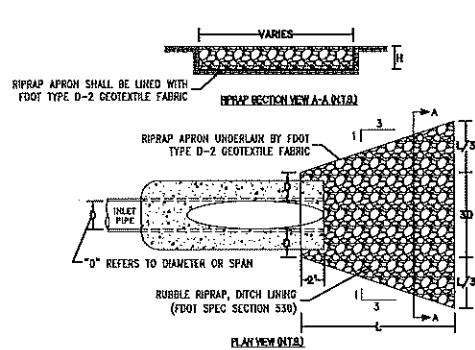


NOTE: GROUT TO CONSIST OF 3:1 SAND-CEMENT MIXTURE OR ANY CLASS CONCRETE. FOR ALL STRUCTURES UNLESS EXCLUDED BY SPECIAL DETAIL.

DRAINAGE STRUCTURE INVERT
N.T.S.

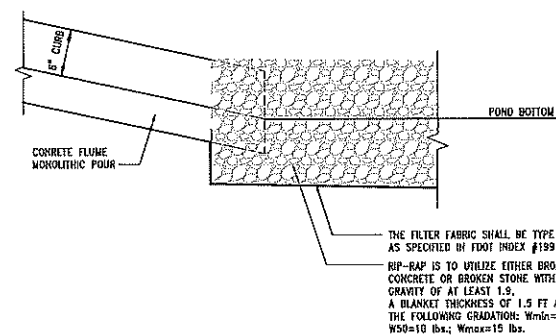


INLINE DRAIN / DRAIN BASIN DETAIL
N.T.S.

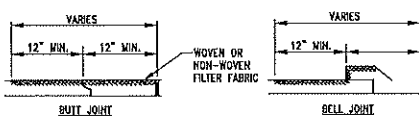
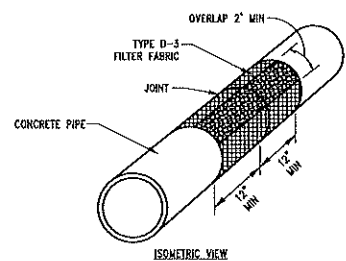


INLET PIPE SIZE "Ø" (IN)	LENGTH OF APRON "L" (FT)	DEPTH OF APRON "H" (FT)	ESTIMATED RIPRAP (CY)	ESTIMATED GEOTEXTILE (SY)
18	7	1.5	2.7	11
24	8	1.5	4.2	16
36	10	2	17	40
48	23	2.5	47.1	83

RIPRAP PLACEMENT AT MITERED END SECTION
N.T.S.

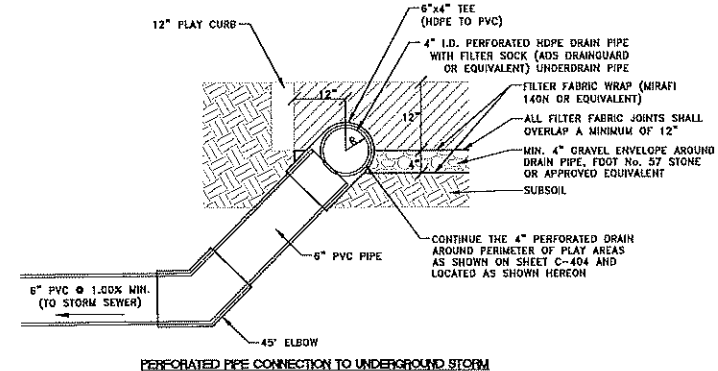


RIP RAP DETAIL
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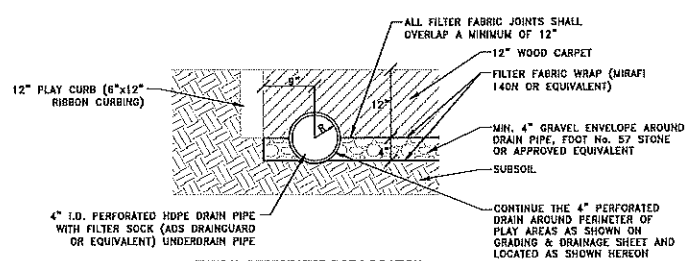


- NOTES:
1. FILTER FABRIC MATERIAL MUST MEET THE FOLLOWING ASTM REQUIREMENTS: D-4595, D-4532, D-4533, D-4833, D-4491.
 2. FILTER FABRIC IS NOT REQUIRED WHEN AN O-RING GASKET IS USED.
 3. FILTER FABRIC FOR THIS APPLICATION SHALL BE FOOT TYPE D-3.

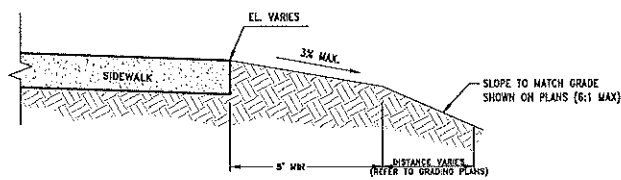
FILTER FABRIC JACKET DETAIL
REFER TO FOOT INDEX # 280



PERFORATED PIPE CONNECTION TO UNDERGROUND STORM



TYPICAL PERFORATED PIPE LOCATION
PERFORATED PIPE LOCATION AT YOUTH LOT
N.T.S.



MAX. GRADING OFF SIDEWALK
N.T.S.

ZYSCOVICH
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202 E. Park Avenue, #101
Orlando, Florida 32809
P: 407.551.1959
F: 407.551.1546
www.zyscovich.com

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

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OCPS

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
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BLDG. 200, 8501 MAGIC WAY ORLANDO, FLORIDA 32809
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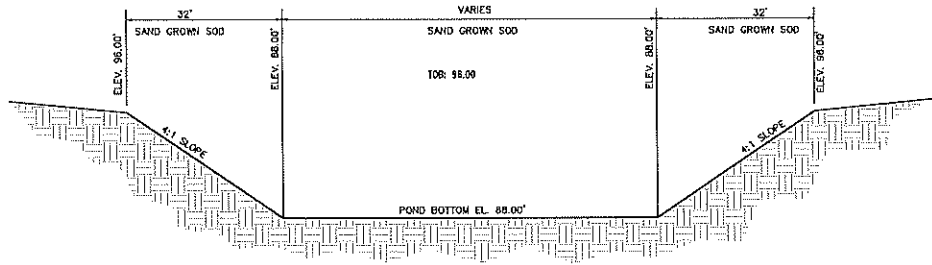
JAY, KIM, P.E.
R.P.E. 141945

300 S. BOULVARD AVE. STE. 2100
ALABAMA PRINCE, FL 32714
TELEPHONE: (407) 475-8750
FACSIMILE: (407) 475-8749
www.klima.com

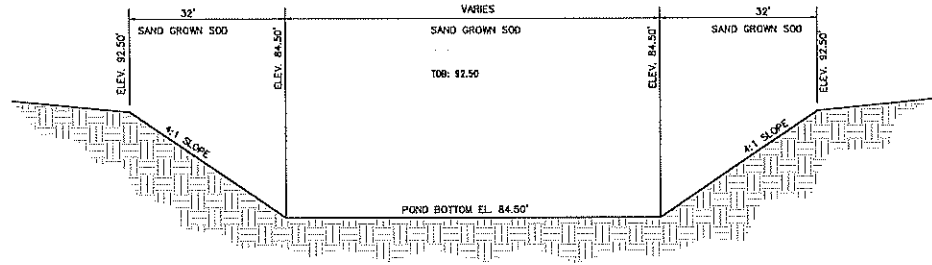
Klima
Weeks
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Certificate of Authorization No.: 9230

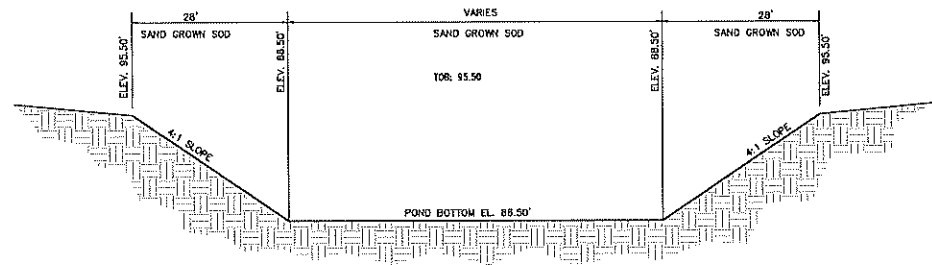
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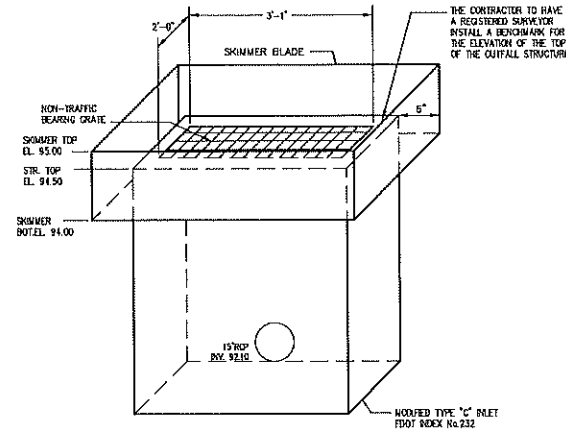
A
C401 DRY RETENTION SECTION - POND 100



A
C400 DRY RETENTION SECTION - POND 200



A
C401 DRY RETENTION SECTION - POND 300



NOTE: REFER TO PLAN SHEET FOR ACTUAL ORIENTATION OF OUTFALL PIPE.

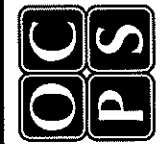
POND 300 CONTROL
STRUCTURE CS-01 DETAIL

REV	DATE	NOTE

ZYSCOVICH
ARCHITECTS
200 S. Park Avenue, Suite 200
Orlando, Florida 32809
Tel: 407.331.4644
Fax: 407.331.4644
www.zyscovich.com

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
GRADING & DRAINAGE DETAILS

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809



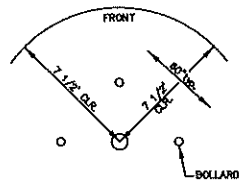
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PHASE 3 100% CD SUBMISSION

JAY KILPATRICK
FL P.E. #12915

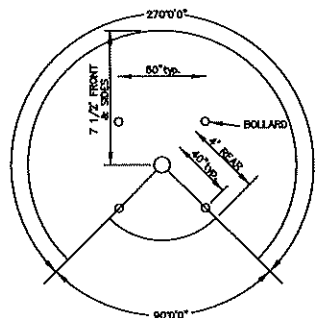
Klima Weeks
CIVIL ENGINEERING

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PIV / FDC CLEARANCE DETAIL

N.T.S.
NOTE:
1. BOLLARDS NOT REQUIRED WHEN PIV AND/OR FDC IS LOCATED BEHIND CURBING.

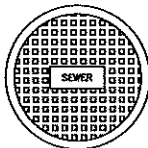


FIRE HYDRANT CLEARANCE DETAIL

N.T.S.
NOTE:
1. BOLLARDS NOT REQUIRED WHEN HYDRANT IS LOCATED BEHIND CURBING.



RECLAIMED WATER



SEWER



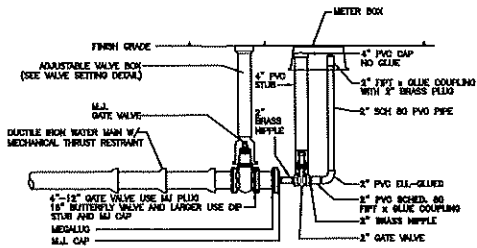
POTABLE WATER

NOTE:
PRIME W/THEMEC SERIES 88 AND
FINISH COAT. W/THEMEC
SERIES 73 OR EQUAL.

PURPLE - RECLAIMED WATER
GREEN - SEWER
BLUE - POTABLE WATER

TYPICAL VALVE BOX COVER DETAILS

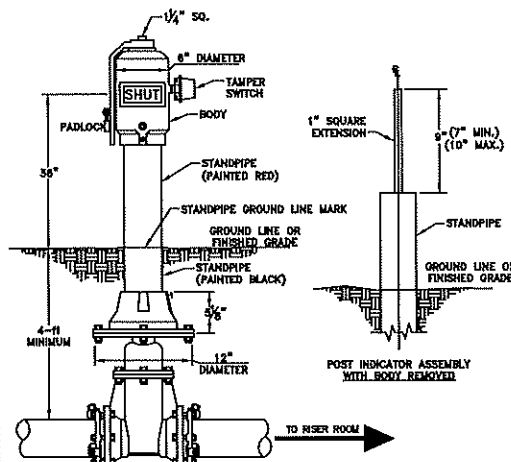
N.T.S.



BLOW OFF DETAILS

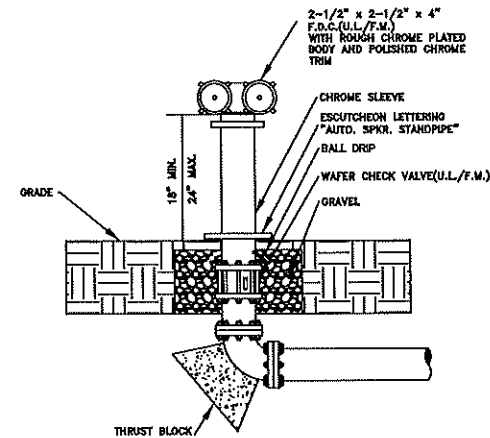
N.T.S.

- FIELD ADJUSTMENT INSTRUCTIONS**
1. REMOVE THE BODY FROM THE TOP OF THE INDICATOR POST ASSEMBLY.
 2. CUT THE REQUIRED LENGTH OFF THE BOTTOM OF THE STANDPIPE FOR THE GROUND LINE TO MATCH UP WITH STANDPIPE GROUND LINE MARK.
 3. CUT THE 1" SQ. EXTENSION AT A DISTANCE OF 8" ABOVE THE TOP OF THE STANDPIPE.
 4. SET THE "OPEN" AND "SHUT" TARGETS FOR THE APPROPRIATE VALVE SIZE.
 5. RE-ATTACH THE BODY TO THE TOP OF THE INDICATOR POST ASSEMBLY.
 6. ALL POST INDICATOR VALVES SHALL BE INSTALLED WITH AN ELECTRONIC UL LISTED TAMPER SWITCH.
 7. THERE SHALL BE 36" OF UNOBSTRUCTED CLEARANCE AROUND THE PERIMETER OF ALL POST INDICATOR VALVES.
 8. POST INDICATOR VALVE SHALL BE LOCATED AT A MINIMUM 5'-0" FROM BUILDING.



STANDARD POST INDICATOR VALVE

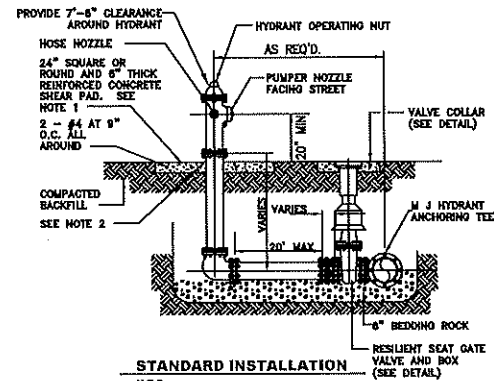
N.T.S.



NOTE: ALL FDC'S SHALL BE PLACED AT AN ELEVATION ACCESSIBLE TO EMERGENCY FIRE VEHICLES.

FREESTANDING FIRE DEPARTMENT CONNECTION

N.T.S.



STANDARD INSTALLATION

N.T.S.

NOTES:
1. THE DEVELOPER MAY INSTALL THE SHEAR PAD RECESSED UP TO 4" BELOW FINISHED GRADE AND SOD THE RECESSED SECTION.
2. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE 6" MINIMUM.

NOTE: THIS SHEET OF DETAILS SHALL APPLY ONLY TO OCPS OWNED AND MAINTAINED ON-SITE UTILITIES SERVING THE PROJECT

DESIGNED BY: JAK
CHECKED BY: JAK
DATE: 02-24-2011
SHEET SCALE: 1"=30'
OCPS DRAWING TITLE: VALVE
SHEET NUMBER:
C800

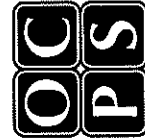
Klima Weeks
CIVIL ENGINEERING

JVA/KLP/PE
R.P.E. 445943

Certificate of Authorization No.: 9230

PHASE 3 100% CD SUBMISSION

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES



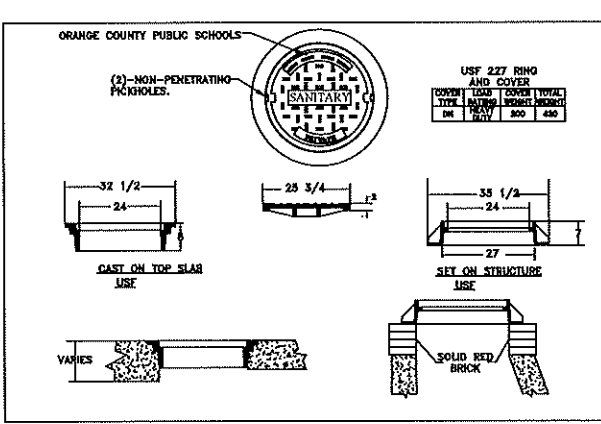
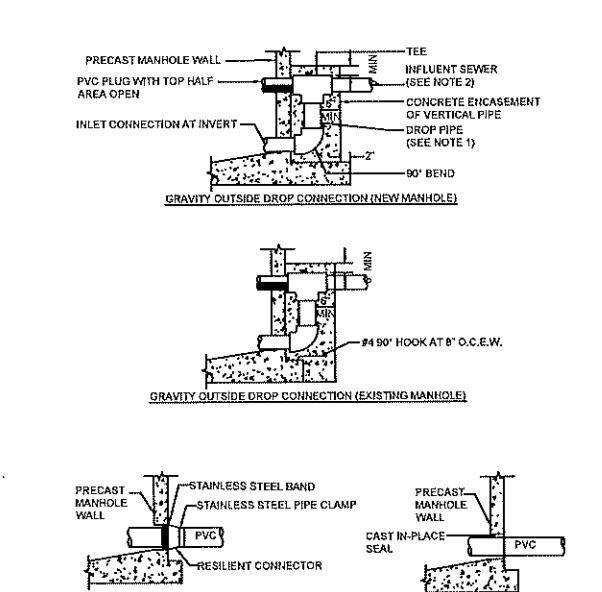
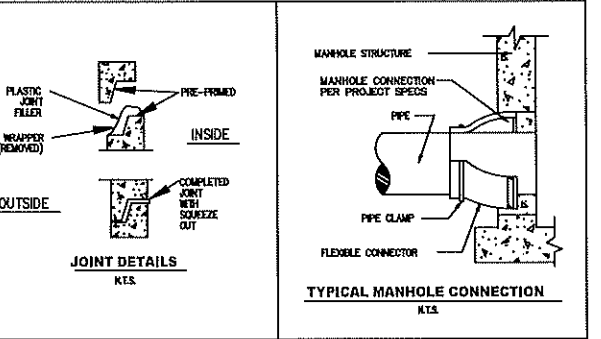
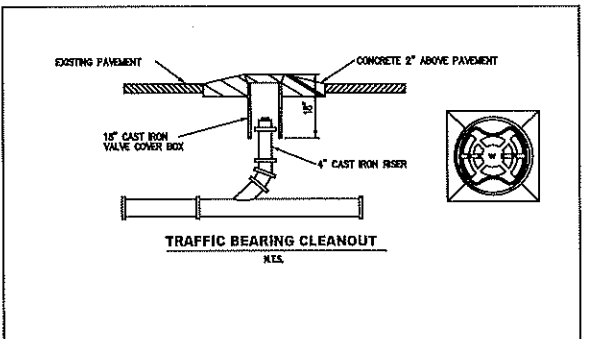
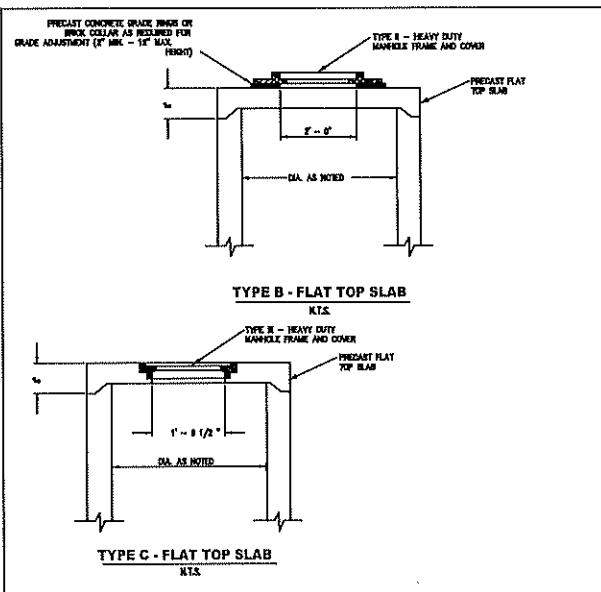
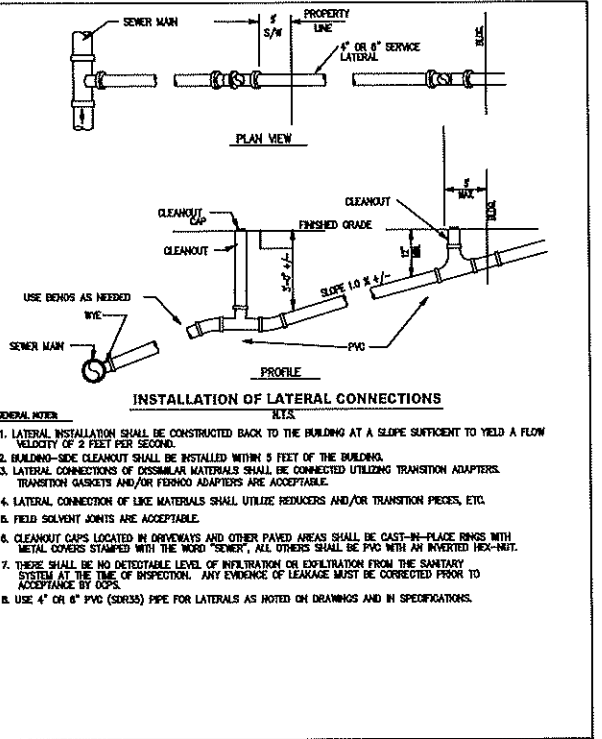
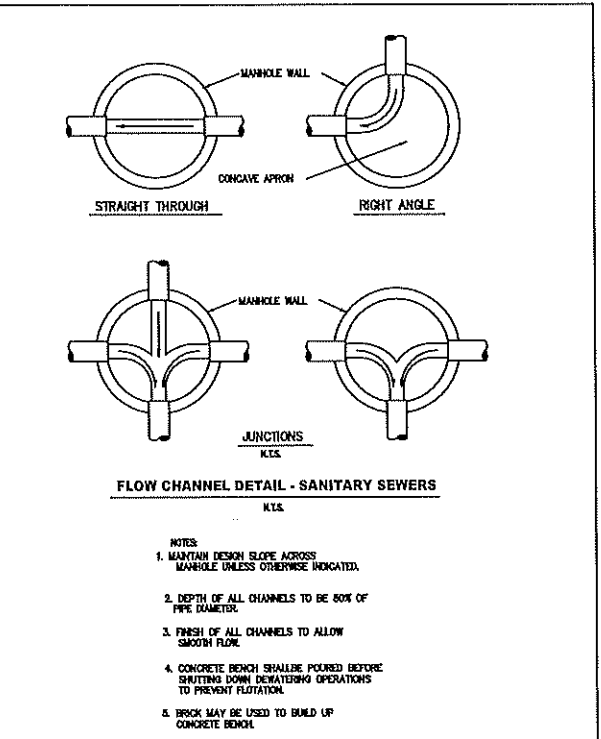
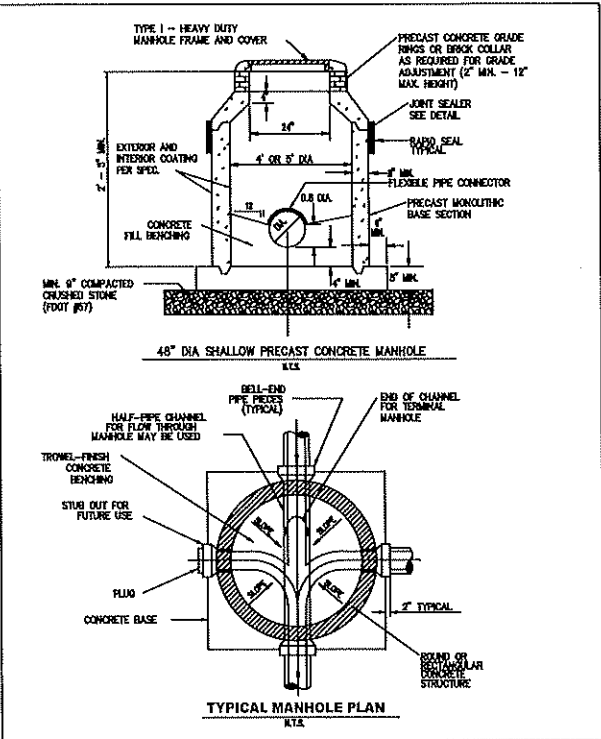
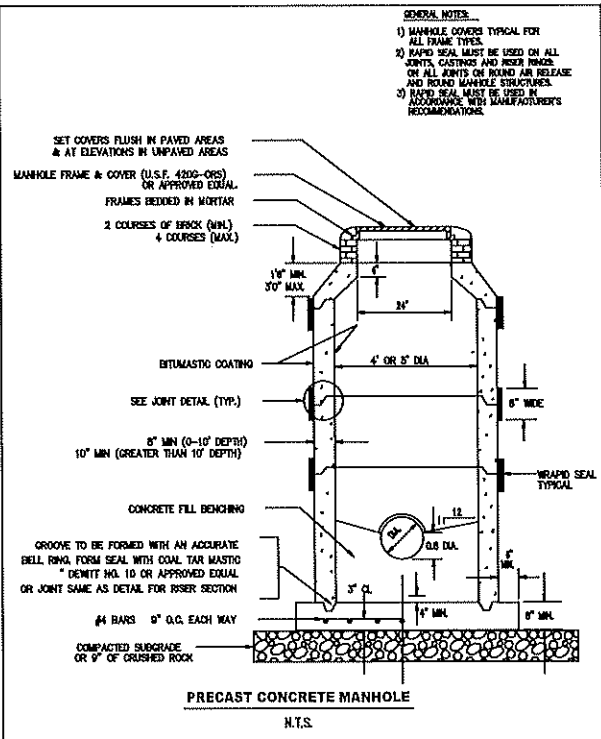
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

UTILITY DETAILS

ZYSCOVICH
ARCHITECTS
256 S. Pine Avenue #100
Orlando, Florida 32807
P: 407.303.4240
F: 407.303.4240
www.zyscovich.com

REV	DATE	NOTE



NOTE: THIS SHEET OF DETAILS SHALL APPLY ONLY TO OPCS OWNED AND MAINTAINED ON-SITE UTILITIES SERVING THE PROJECT

PHASE 3 100% CD SUBMISSION

ZYSCOVICH
ARCHITECTS

450 S. Pine Avenue #100
Orlando, Florida 32709

407.251.1833
407.302.4545
www.zyscovich.com

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

UTILITY DETAILS

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES

BLDG. 200, 8501 MAGIC WAY ORLANDO, FLORIDA 32809

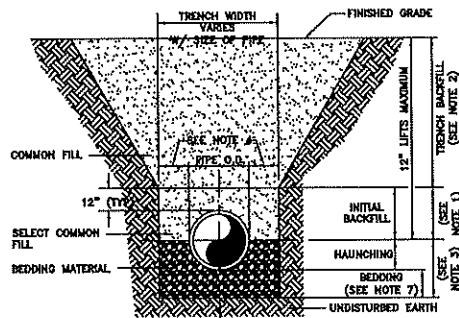
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DRAWN: JAK
CHECKED: JAK
DATE: 02-24-2011
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C801
OF (Total):

ONE DOUGLAS AVENUE, STE 2100
ALAPRANGE SPRINGS, FL 32714
TELEPHONE 407.478.5750
FACSIMILE 407.478.5749
www.klimaweeks.com

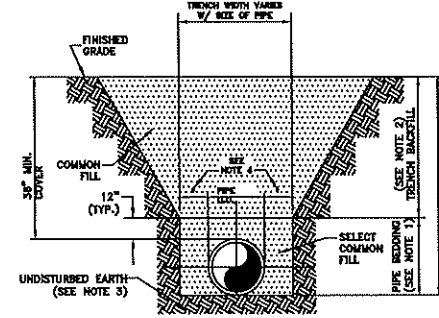
Klima Weeks
CIVIL ENGINEERING

Certificate of Authorization No.: 9230



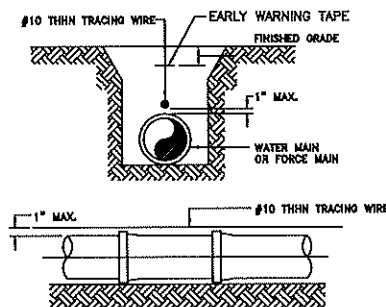
- NOTES:
1. INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (95% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-100.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (95% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-100.
 3. TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
 4. 12" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 18" AND LARGER.
 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 9. COMMON FILL SHALL CONSIST OF MINERAL SOIL, SUBSTANTIALLY FREE OF CLAY, ORGANIC MATERIAL, MUCK, LOAM, WOOD, TRASH AND OTHER OBJECTIONABLE MATERIAL WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE COMPACTED PROPERLY. COMMON FILL SHALL NOT CONTAIN STONES LARGER THAN ONE-HALF (3 1/2") INCHES IN ANY DIMENSION IN THE TOP TWELVE (12) INCHES OR SIX (6) INCHES IN ANY DIMENSION IN THE BALANCE OF THE FILL AREA, AND SAID COMMON FILL SHALL NOT CONTAIN ASPHALT, BROKEN CONCRETE, MASONRY, RUBBLE, OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. ADDITIONAL COMMON FILL SHALL BE NO MORE THAN 12 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE UNLESS FINER MATERIAL IS APPROVED FOR USE IN A SPECIFIC LOCATION BY THE ENGINEER.
 10. MATERIAL FALLING WITHIN THE ABOVE SPECIFICATIONS, ENCOUNTERED DURING THE EXCAVATION MAY BE STORED IN SEGREGATED STOCKPILES FOR REUSE.
 11. ALL MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS NOT SUITABLE FOR REUSE, SHALL BE SPOILED IN AN APPROVED MANNER.
 12. SELECT COMMON FILL SHALL BE AS SPECIFIED ABOVE FROM COMMON FILL, EXCEPT THAT THE 10. MATERIAL SHALL CONTAIN NO STONES LARGER THAN 1/2 INCHES IN LARGEST DIMENSION, AND SHALL BE NO MORE THAN 5 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE.

TYPE A BEDDING AND TRENCHING DETAIL
NTS



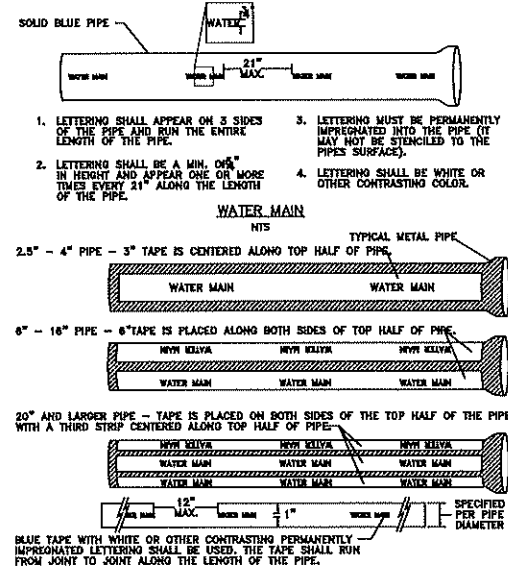
- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% (95% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-100.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (95% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-100.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
 4. (a) 12" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF FLOW.
 7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 8. COMMON FILL SHALL CONSIST OF MINERAL SOIL, SUBSTANTIALLY FREE OF CLAY, ORGANIC MATERIAL, MUCK, LOAM, WOOD, TRASH AND OTHER OBJECTIONABLE MATERIAL WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE COMPACTED PROPERLY. COMMON FILL SHALL NOT CONTAIN STONES LARGER THAN ONE-HALF (3 1/2") INCHES IN ANY DIMENSION IN THE TOP TWELVE (12) INCHES OR SIX (6) INCHES IN ANY DIMENSION IN THE BALANCE OF THE FILL AREA, AND SAID COMMON FILL SHALL NOT CONTAIN ASPHALT, BROKEN CONCRETE, MASONRY, RUBBLE, OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. ADDITIONAL COMMON FILL SHALL BE NO MORE THAN 12 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE UNLESS FINER MATERIAL IS APPROVED FOR USE IN A SPECIFIC LOCATION BY THE ENGINEER.
 9. MATERIAL FALLING WITHIN THE ABOVE SPECIFICATIONS, ENCOUNTERED DURING THE EXCAVATION MAY BE STORED IN SEGREGATED STOCKPILES FOR REUSE.
 10. ALL MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS NOT SUITABLE FOR REUSE, SHALL BE SPOILED IN AN APPROVED MANNER.
 11. SELECT COMMON FILL SHALL BE AS SPECIFIED ABOVE FROM COMMON FILL, EXCEPT THAT THE 10. MATERIAL SHALL CONTAIN NO STONES LARGER THAN 1/2 INCHES IN LARGEST DIMENSION, AND SHALL BE NO MORE THAN 5 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE.

TYPE B BEDDING AND TRENCHING DETAIL
NTS

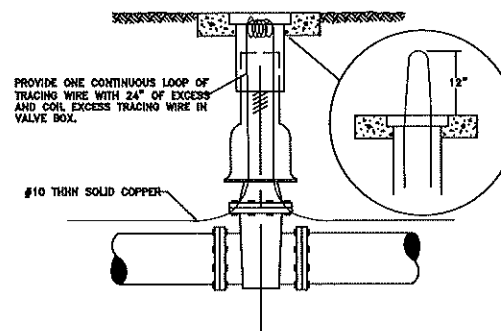


- NOTES:
1. ALL PIPE SHALL REQUIRE #10 THIN SOLID COPPER TRACING WIRE CAPABLE OF DETECTION BY A CABLE LOCATOR.
 2. AND SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE.
 3. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX.
 4. AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 5. USE DUCT TAPE AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.
 6. EARLY WARNING TAPE MAY BE REQUIRED IN ADDITION TO LOCATING WIRE AT DIRECTION OF CITY.

PIPE LOCATING WIRE DETAIL

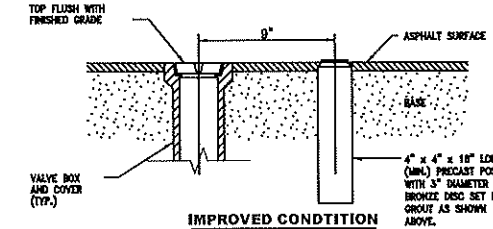
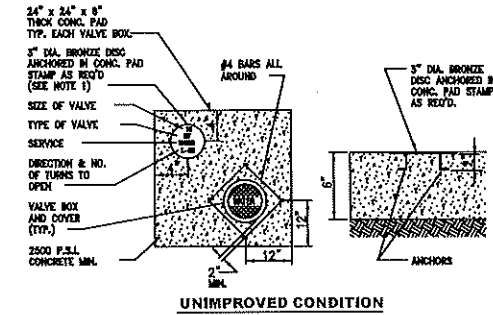


METAL WATER MAIN WITH IDENTIFICATION TAPE
NTS
PIPE IDENTIFICATION (POTABLE WATER)



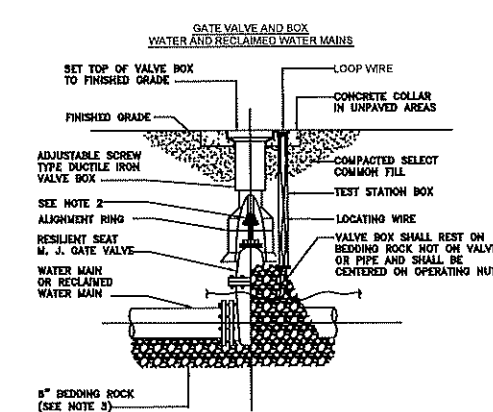
- TRACING WIRE GENERAL NOTES:
1. ALL PIPE SHALL BE INSTALLED WITH #10 THIN SOLID COPPER TRACING WIRE. TRACING WIRE MUST BE INSTALLED DIRECTLY ABOVE THE PIPE IN A CONTINUOUS CIRCUIT AND BROUGHT TO THE SURFACE AT 400' INTERVALS AS FOLLOWS: POTABLE WATER AND RECLAIMED WATER SYSTEMS-TRACING WIRE SHALL ALLOW TRACTABILITY OF ALL PIPE BRANCHES INCLUDING THOSE FOR HYDRANTS AND
 2. SERVICE CONNECTIONS. TRACING WIRE SHALL EXTEND A MINIMUM OF 12" ABOVE GRADE AT EACH INTERVAL AND SHALL BE COILED AND PLACED IN A VALVE BOX FOR EASY ACCESSIBILITY.
 3. FORCE MAINS-TRACING WIRE SHALL EXTEND A MINIMUM OF 12" ABOVE GRADE AT EACH INTERVAL AND SHALL BE COILED AND PLACED IN A VALVE OR METER BOX FOR EASY ACCESSIBILITY.
 4. ON DEAD END MAINS THE TRACING WIRE SHALL BE PLACED IN A PROPERLY IDENTIFIED PVC VALVE BOX AT THE END OF THE RUN.

TRACING WIRE CONNECTION DETAIL



- NOTES:
1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES 16" AND LARGER, OR AS REQUIRED BY THE COUNTY FOR CRITICAL OFFSITE VALVES.
 2. VALVE COLLAR DIMENSIONS MAY BE REDUCED TO 16" X 16" X 6" WHEN THE BRONZE IDENTIFICATION DISC IS NOT INSTALLED.

VALVE COLLAR DETAIL



- NOTES:
1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3" OF FINISHED GRADE.
 3. BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
 4. WIRE SHALL TERMINATE IN TEST STATION BOX.
 5. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.

NOTE: THIS SHEET OF DETAILS SHALL APPLY TO ONLY OCPS OWNED AND MAINTAINED ON-SITE UTILITIES SERVING THE PROJECT.

JAY, K.M.A.P.E.
R.P.E. 44395

AS PER OCPS REQUEST, DATE 01/10/10
CHECKED: JAK
DATE: 02-24-2010
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C802

Certificate of Authorization No.: 9230

Klima Weeks
CIVIL ENGINEERING

PHASE 3 100% CD SUBMISSION

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES

OCPS

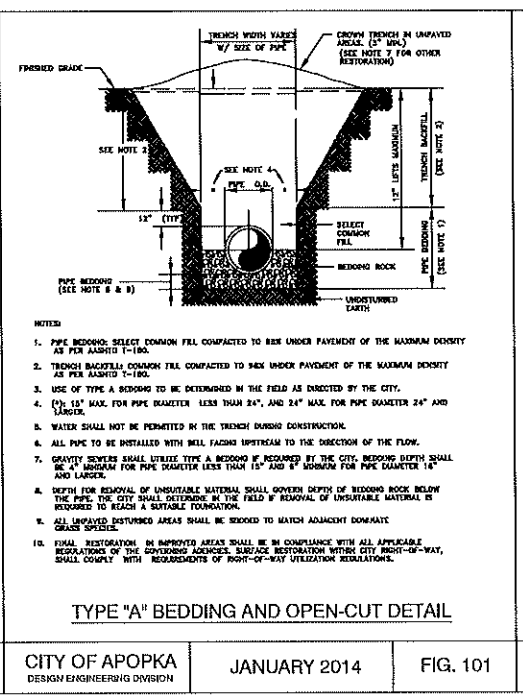
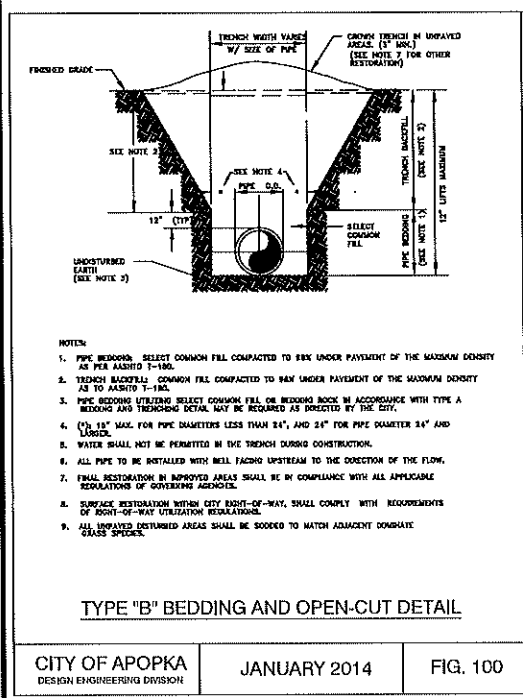
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Of (Total):

UTILITY DETAILS

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809



MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). *

	PIPE SIZE											
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"	
90° BEND	33	43	51	60								
45° BEND	14	18	22	25								
22-1/2° BEND	7	9	11	12								
11-1/4° BEND	4	5	6	6								
TEES*	1	7	24	44								
REDUCER (ONE SIZE SMALLER)	41	39	40									
DEAD END	74	96	115	136								

* ONLY RESTRAIN BRANCH PIPE FOR TEES, ONLY RESTRAIN LARGER PIPE FOR REDUCERS
 ** LENGTH ALONG RUN ASSUMED TO BE 10'

NOTES:

- FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
- INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
- LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
 TYPE OF PIPE: PVC
 WORKING PRESSURE: 150 P.S.I.**
 SOIL DESIGNATION: SAND AND SILT
 LAYING CONDITIONS: 3
 ** FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
- FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
- VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 105

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). *

	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND					61	67	73	84	100	114	
45° BEND					26	28	31	35	42	48	
22-1/2° BEND					13	14	15	17	20	23	
11-1/4° BEND					6	7	8	9	10	12	
TEES**					52	62	74	95	124	152	
REDUCER (ONE SIZE SMALLER)					48	25	25	47	66	66	
DEAD END					111	123	135	157	186	218	

** ONLY RESTRAIN BRANCH PIPE FOR TEES. ONLY RESTRAIN LARGER PIPE FOR REDUCERS

** LENGTH ALONG RUN ASSUMED TO BE 18'

NOTES:

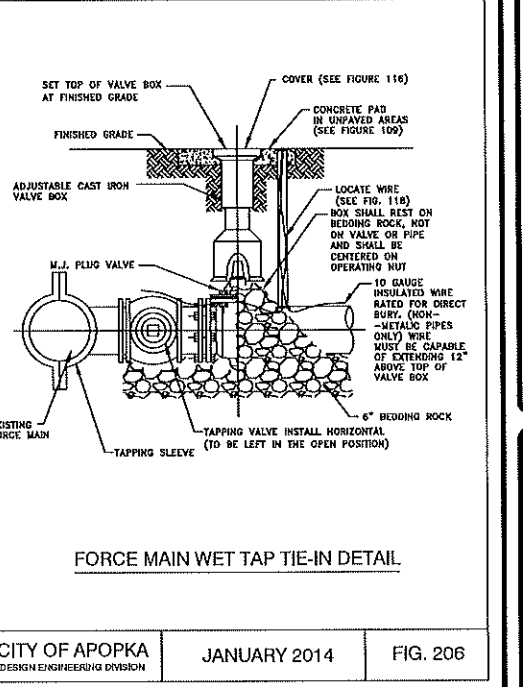
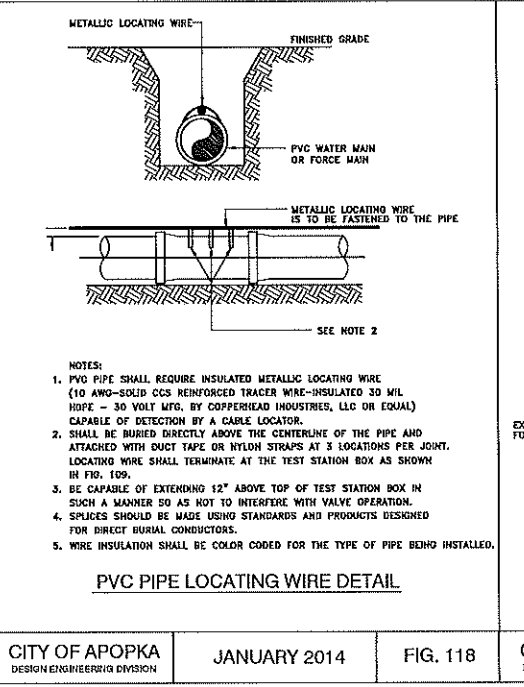
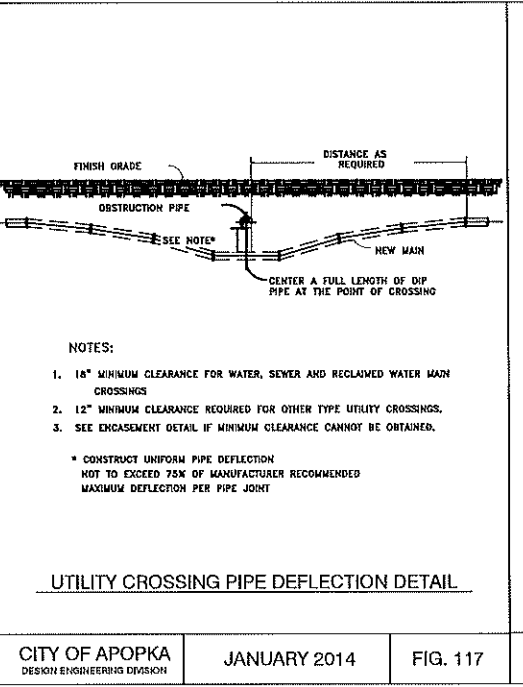
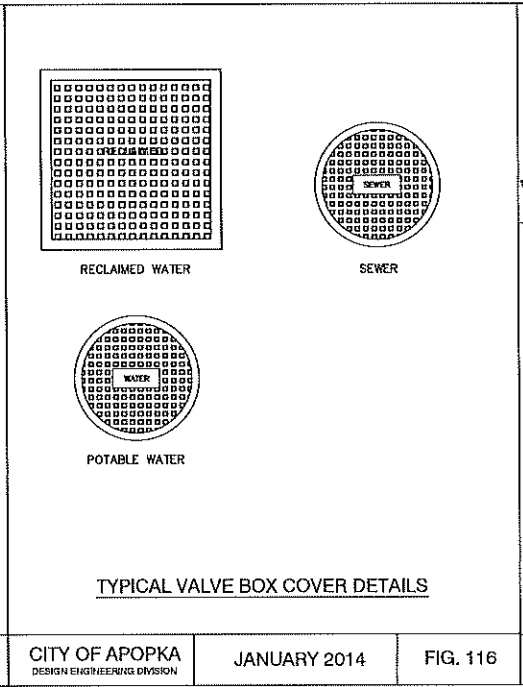
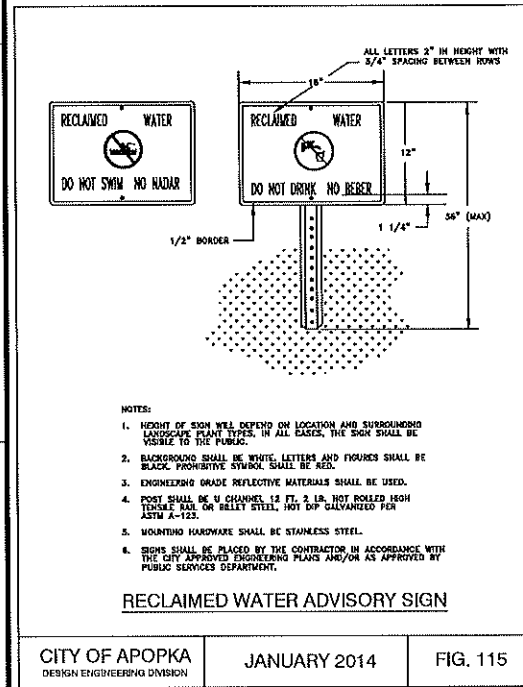
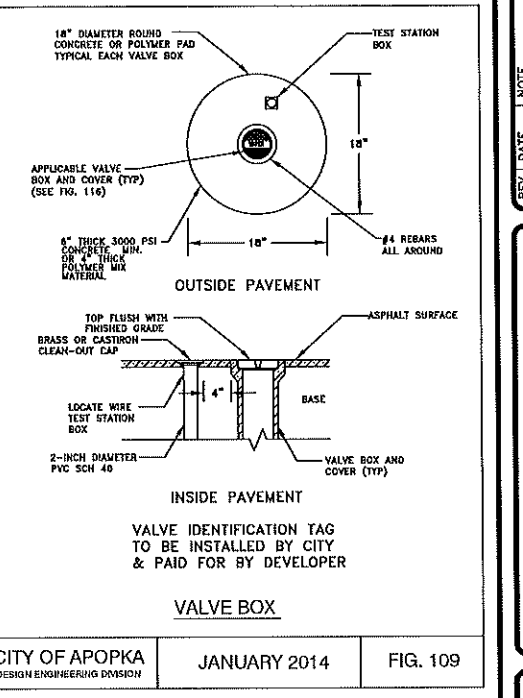
- FITTINGS SHALL BE RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
- INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
- LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:
 TYPE OF PIPE: Ductile Iron
 WORKING PRESSURE: 150 P.S.I.**
 SOIL DESIGNATION: SW(SAND SILT)
 LAYING CONDITIONS: 3
 ** FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
- VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (DI)

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 106



NOTE: THIS SHEET OF DETAILS SHALL APPLY TO ONLY CITY OWNED AND MAINTAINED OFF-SITE UTILITIES SERVING THE PROJECT.



ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 8501 MAGIC WAY ORLANDO, FLORIDA 32809

PHASE 3 100% CD SUBMISSION

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 8501 MAGIC WAY ORLANDO, FLORIDA 32809

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

UTILITY DETAILS

OCPS

C803

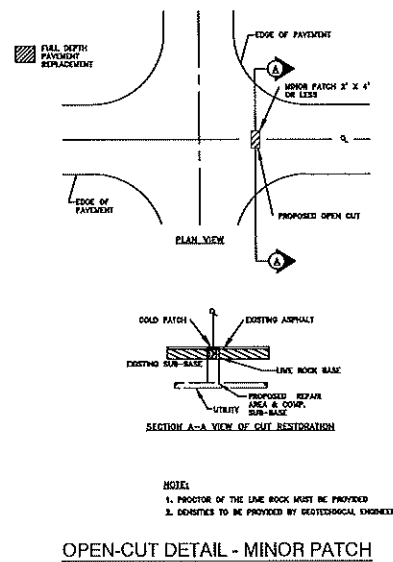
E
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D

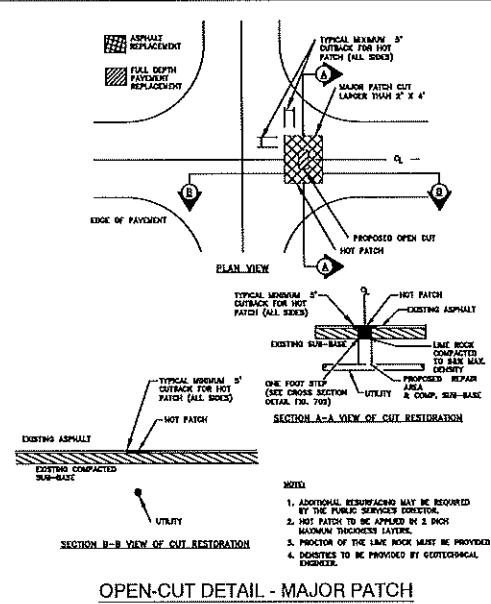
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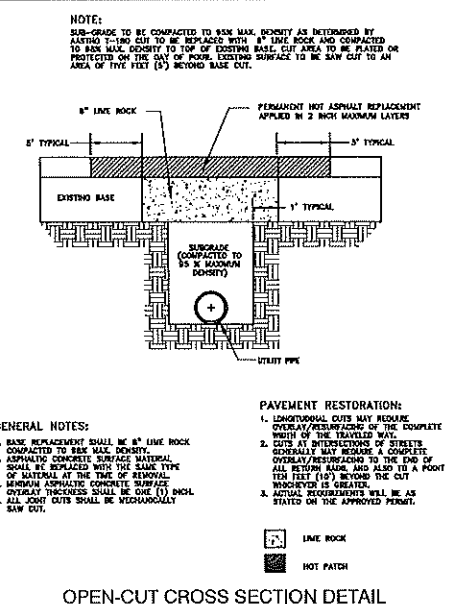
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OPEN-CUT DETAIL - MINOR PATCH



OPEN-CUT DETAIL - MAJOR PATCH



OPEN-CUT CROSS SECTION DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION	JANUARY 2015	FIG. 700	CITY OF APOPKA DESIGN ENGINEERING DIVISION	JANUARY 2015	FIG. 701	CITY OF APOPKA DESIGN ENGINEERING DIVISION	JANUARY 2015	FIG. 702
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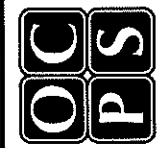
NOTE: THIS SHEET OF DETAILS SHALL APPLY TO ONLY CITY OWNED AND MAINTAINED OFF-SITE UTILITIES SERVING THE PROJECT.

JAY A. KLIMA, P.E.
FL P.E. #19915
385 DOUGLAS AVENUE, STE. 2102
DAWSON SPRING, FL 32014
TELEPHONE 407.472.8750
FACSIMILE 407.472.8749
WWW.KLIMAWEEKS.COM



Certificate of Authorization No.: 9230

PHASE 3 100% CD SUBMISSION



ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 8501 MAGIC WAY ORLANDO, FLORIDA 32809

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

UTILITY DETAILS

DRAWN: JAK
CHECKED: JAK
DATE: 02-24-2015
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C805

Of (Total):

ZYSCOVICH
ARCHITECTS
250 S. Park Avenue, Ste. 200
Orlando, Florida 32801
Tel: 407.303.4664
Fax: 407.303.4664
www.zyscovich.com

REV	DATE	NOTE

RILEY & Company, Inc.
5491 Benchmark Lane
Sanford, FL 32773
PH. 407-265-9963

RILEY & Company, Inc. (H-20 GP)

w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS ©

SCOPE: Supply one complete H-20 GP Pre-Fab Lift Station, per design.
Pumps shall be capable of grinding and pumping domestic & commercial sewage.
Complete system shall be supplied by:
RILEY & Company, Inc.
Sanford, FL 32773 (Ph. 407-265-9963)
NO SUBSTITUTIONS - NO ALTERNATES

PUMPS AND ELECTRICAL CONTROL PANEL MUST
BE WARRANTED FOR A MINIMUM OF 3 YEARS.

FIBERGLASS WETWELL MUST BE WARRANTED FOR
A MINIMUM OF 20 YEARS.

The H-20 Load Rated Fiberglass Wetwell Must Be Manufactured By L.F. Manufacturing, Giddings, Texas, Which Includes A Written 20 Yr. Warranty
Certification of the wetwell H-20 load rating must be supplied with submittals.
H-20 certification must be signed and sealed by an engineer registered in the State of Florida.

After the H-20 load rated wetwell has been installed, the ASTM Certification Number and Serial Tracking Number must be visible.

PUMPS: (3 YEAR WARRANTY)

Submersible grinder pumps shall be RILEY Model RC30061.
installed in the H-20 GP FRP wetwell utilizing a dual slide rail system.
The grinder unit shall be capable of macerating materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and the Sch.80 PVC discharge piping.

Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 °C, but shall automatically reset when the winding temperature returns to normal.
Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be AISI 430F SS threaded to take the pump impeller and the grinder impeller.

Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

FASTENERS & APPURTANCES: All fasteners, lifting cables, float cable bracket, hinges, and appurtenances shall be made of AISI 304SS.

A 304SS slide/latch assembly shall be provided for holding the doors open on the wetwell and valve box.
Slide rails shall be made of SCH.40 AISI 304SS pipe.
Pump lifting cables shall be made of AISI 304 SS.
Pump lifting bales shall be made of AISI 304 SS.

H-20 LOAD RATED WETWELL WITH LIFTING LUGS:
The fiberglass wetwell must be H-20 load rated with integral lifting lugs, fiberglass slope in bottom of wetwell and valve box. Certification of the H-20 load rating must be supplied at the time of submittals to Engineer. The wetwell shall be manufactured of fiberglass reinforced polyester (FRP) of depth and diameter as shown on the lift station elevation detail.
The wall thickness shall be adequate for the depth of the wetwell to maintain the H-20 LOAD RATING.

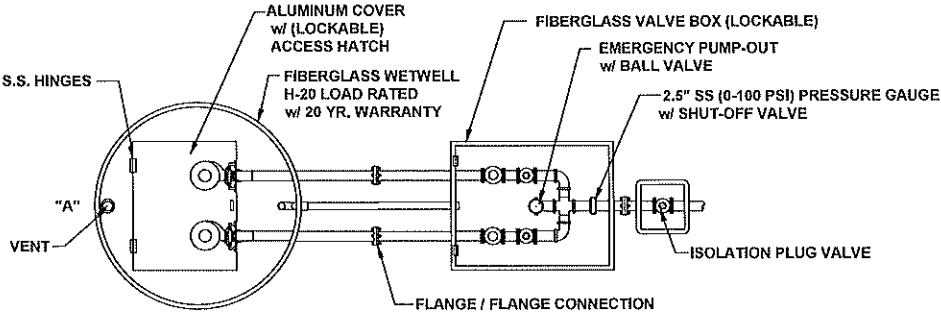
EXECUTION:
Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the drawing.

INSPECTION & TESTING: A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system.
Megger the motors. The pump motors shall be meggered out prior to the start-up to ensure that the insulation of the pump motor/cable is intact.
The pump controls and pumps shall be checked for mechanical reliability and proper operation.

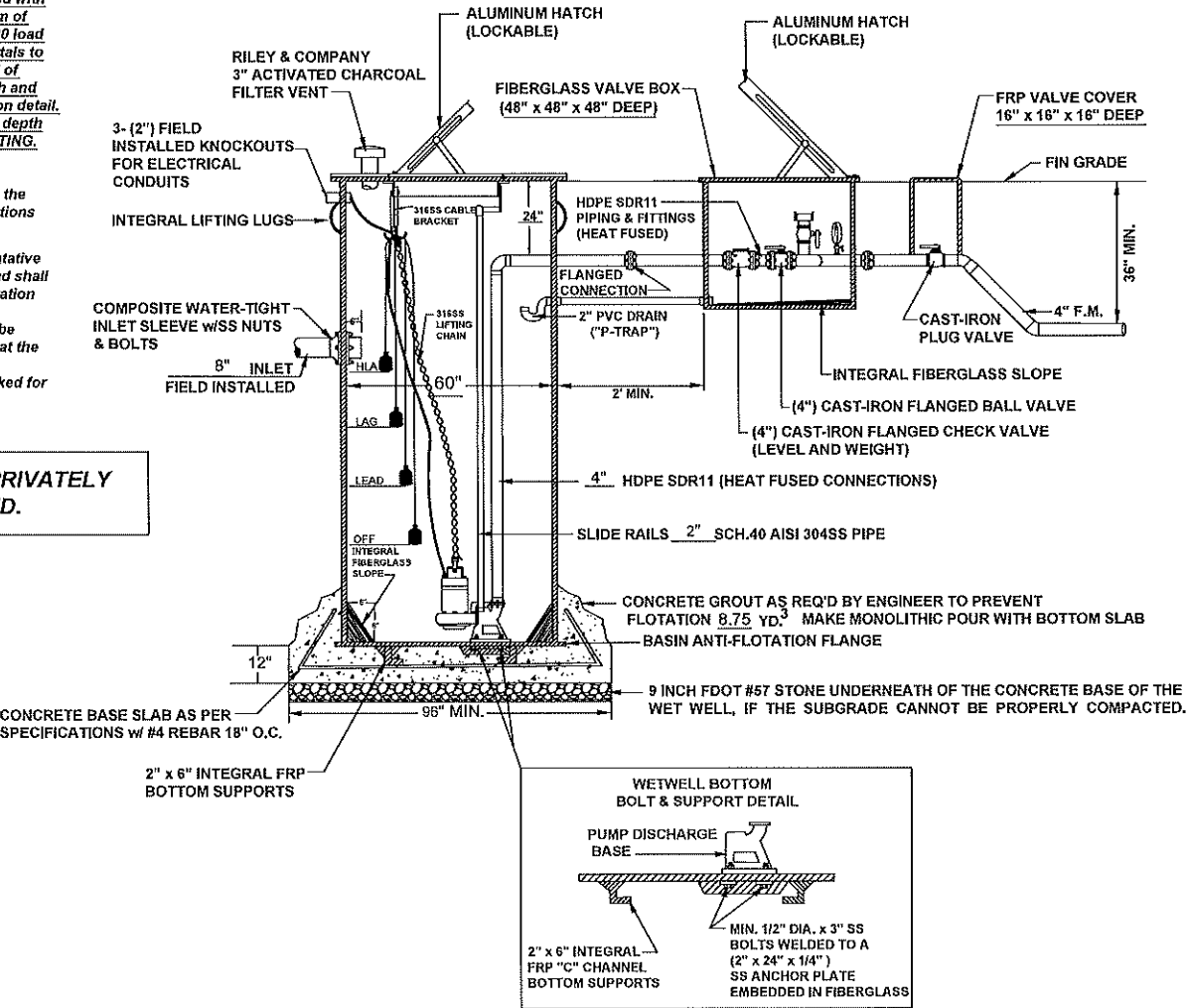
LIFT STATION WILL BE PRIVATELY
OWNED AND MAINTAINED.

PUMP DATA		ELEVATIONS	
PRIMARY PUMP CAPACITY	141GPM	TOP OF WETWELL	98.25
PRIMARY TDH	44.49'YDH	INLET INVERT	87.81
PUMP MANUFACTURER	GRUNDOS	HIGH LEVEL ALARM (HLA)	87.25
PUMP MODEL #	SL1.20.430.30. EX.2.61R.C	2nd PUMP ON (LAG)	86.75
R.P.M.	3470	1st PUMP ON (LEAD)	85.75
HORSEPOWER	3 HP	PUMPS OFF (OFF)	84.25
ELECTRICAL/ VOLTS / PHASE	230/460V / 3-	BOTTOM OF WETWELL	82.25
PUMP DISCHARGE SIZE	3"	WETWELL DIAMETER	60"

RILEY & CO. / H-20 GP 09-29-16



NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WETWELL PERIMETER AT POINT "A"



PHASE 3 100% CD SUBMISSION

ZYSCOVICH
ARCHITECTS
205 E. Palm Avenue # 510
Orlando, Florida 32719
P 407.251.1925
F 407.251.1926
www.zyscovich.com

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BLDG. 200, 6501 MAGIC WAY ORLANDO, FLORIDA 32809

OCPS

DRAWN: JAK
CHECKED: JAK
DATE: 02-24-20
SCALE: 1"=30'
OCPS DRAWING TITLE: NAUL
SHEET NUMBER:
C900
OF (Total):

Klima
Weeks
CIVIL ENGINEERING

148 DOUGLAS AVENUE, STE 2100
ALAMOGITO SPRINGS, FL 32714
TELEPHONE 01-475.8750
FACSIMILE 01-475.8748
WWW.KLIMAWEEDS.COM

Certificate of Authorization No.: 9230

RILEY & Company, Inc.
5491 Benchmark Lane
Sanford, FL 32773
PH. 407-265-9963

RILEY & Company, Inc. (H-20 GP)
w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS

SCOPE: Supply one complete H-20 GP Pre-Fab Lift Station, per design.
Pumps shall be capable of grinding and pumping domestic & commercial sewage.
Complete system shall be supplied by:
RILEY & Company, Inc.
Sanford, FL 32773 (Ph. 407-265-9963)
NO SUBSTITUTIONS - NO ALTERNATES

PUMPS AND ELECTRICAL CONTROL PANEL MUST
BE WARRANTED FOR A MINIMUM OF 3 YEARS.

DUPLIX CONTROL PANEL: (3 YEAR WARRANTY)

To insure complete unit and warranty responsibility the electrical control panel must be manufactured and built by the pump supplier. The pump supplier must be a TUV (UL508A CERTIFIED) manufacturing facility, with a minimum of 5 years history in the manufacturing of electrical control panels.
The Enclosure shall be NEMA 4X, minimum 30" high x 30" wide x 10" deep aluminum with 4 point latching system.
The enclosure shall have external mounting feet to allow for wall mounting.
The following components shall be mounted through the enclosure:
1- ea. Red Alarm Beacon (Light) 4" x 4" Minimum Diameter
1- ea. Alarm Horn (minimum 95 DCB)
1- ea. Generator Receptacle w/ weatherproof cover(SCM460-UL 1686)
1- ea. Alarm Silence Pushbutton

The back panel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to back panel:
2- ea. Motor Contactors
1- ea. Volt Monitor (1 Ph) Phase Monitor (3 Ph) w/2 N/O & 1 N/C Contacts
1- ea. Control Transformer (480 Vol/ Only) (Min. 500VA)
1- ea. Silence Relay Module
1- ea. Duplex Alternator w/ Pump Selector Switch
1- ea. Model RCB5AH Battery Back-Up w/ Smart Charger
20- ea. Terminals For Field Connections
6- ea. Terminals For Motor Connections (Single Phase Only)
7- ea. Grounding Lugs
1- ea. Seal Failure Relay

The inner door shall be fabricated from .080, 5052-H32 marine alloy aluminum. The inner door shall have a continuous aluminum piano hinge.

The following components shall be mounted through the inner door:
1- ea. Main Circuit Breaker
1- ea. Emergency Circuit Breaker
1- ea. Mechanical Interlock For Emergency And Main Breakers (UL Listed)
2- ea. Short Circuit Protectors w/ Auxiliary Contacts
1- ea. Control Circuit Breaker
2- ea. Seal Failure Indicator Lights
1- ea. Hand-Off-Auto Selector Switches
2- ea. Pump Run Pilot Lights
1- ea. Power On Pilot Light
2- ea. Elapse Time Meters (Non-Resetable)
1- ea. GFI Duplex Convenience Outlet

COMPONENT SPECIFICATIONS:

All circuit breakers shall be molded thermal magnetic.
The mechanical interlock shall prevent the normal and emergency main breakers being energized at the same time.
An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions.

NEUTRAL TO BE SUPPLIED FOR BOTH 230V 3PHASE OR 230V SINGLE PHASE POWER

All motor short circuit protection devices must provide for under voltage release and class 10 overload protection on all three phases. Visible trip indication, test, and reset capability must be provided without opening inner door.
Open frame, across the line, contactors shall be rated per IEC standards and properly sized per the motor requirements. Contactors shall provide for safe touch power and control terminals.
Lightning Arrestor shall meet UL1449 3rd Edition or exceed the requirements of ANSIMEEE Std. C62.21-1984 section 8.6.1. and 8.7.3 shall be supplied by electrician and mounted on the bottom side of the switch disconnect ahead of the pump control panel.
A voltage monitor shall be supplied for single phase service.
A phase monitor shall be supplied for (3) phase service.
A green pilot light shall be supplied for each motor. The pilot light shall illuminate each time the motor is called to run. Each pump shall have an Elapse Time Meter to record the accumulated run time. The ETM shall be 2" diameter, non-resettable, six digit, totally encapsulated unit.
A Red pilot light shall be supplied for control power. The pilot light shall illuminate when the control power is available inside the control panel.
Relays shall be ice-cube plug in type. Relay contacts shall be rated 10 amp minimum, DPDT.
Twenty (20) terminals shall be supplied for field connections. The terminals shall be rated 25 amps minimum.
Each motors over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor.
A 15 Amp GFI duplex receptacle shall be supplied and mounted on the innerdoor.
Ground lugs shall be supplied and appropriately sized for each motor and for service entrance.

PUMP DATA	
PRIMARY PUMP CAPACITY	141GPM
PRIMARY TDH	49.49' TDH
PUMP MANUFACTURER	GRUNDFOS
PUMP MODEL #	SLE 20-430-33, EX 3.618.C
R.P.M.	3470
HORSEPOWER	3 HP
ELECTRICAL/ VOLTS / PHASE	230/460V / 3-
PUMP DISCHARGE SIZE	3"

* ELECTRICIAN NOTES:

1. DRAWING NOT TO SCALE
- * 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
- * 3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
- * 4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT
- * 5. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT
- * 6. NEUTRAL TO BE SUPPLIED FOR 230V-3 PHASE OR 230V-SINGLE PHASE POWER.

RILEY & CO. / H-20 GP 09-29-16

MISCELLANEOUS: All wiring on the back panel shall be contained within the wiring duct. All wiring between the inner door and the back panel shall be contained within a plastic spiral wrap.
Each wire shall have a wire number at each end to correspond to the as built drawing for field troubleshooting.
The control panel must be manufactured in-house by lift station supplier and be a TUV (UL508A Certified) facility.

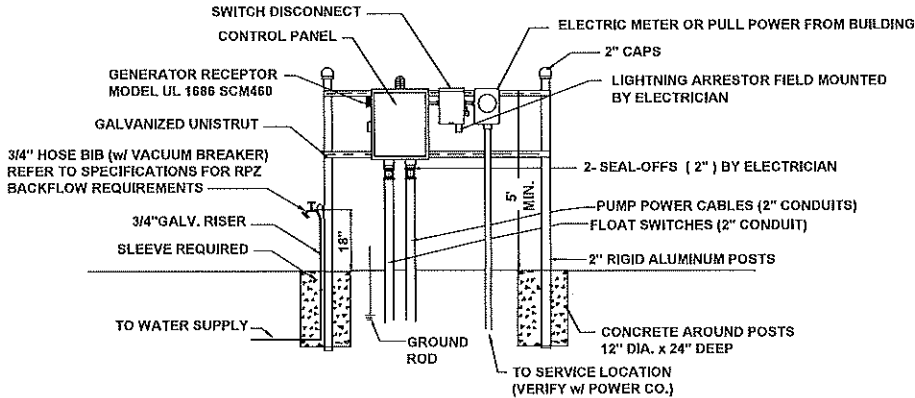
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EXECUTION:
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INSPECTION & TESTING: A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system.
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The pump controls and pumps shall be checked for mechanical reliability and proper operation.

LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED.



ELECTRICAL RISER FOR
ILLUSTRATION PURPOSES ONLY

JAY KLIMA P.E.
FL P.E. #15543

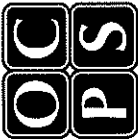
333 DOUGLAS AVENUE, STE 2100
ALAMOGITO SPRINGS, FL 32114
TELEPHONE 407-475-6250
FACSIMILE 407-475-6256
WWW.KLIMAWEEKS.COM

Klima
Weeks
CIVIL ENGINEERING

Certificate of Authorization No.: 9230

PHASE 3 100% CD SUBMISSION

ORANGE COUNTY PUBLIC SCHOOLS
DESIGN & CONSTRUCTION
FACILITIES SERVICES
BIDG. 200, 8501 MAGIC WAY ORLANDO, FLORIDA 32809



DRAWN: JAK
CHECKED: JAK
DATE: 02-24-2011
OCPS DRAWING FILE NAME:
SHEET NUMBER:
C901
Of (Total):

SITE 90-K8-N-7
K8 SCHOOL
COMPREHENSIVE PROJECT
OCPS Project No: S-0094
LIFT STATION DETAILS

ZYSCOVICH
ARCHITECTS
590 S. Park Avenue #1105
Orlando, Florida 32709
407-352-4545
www.zyscovich.com

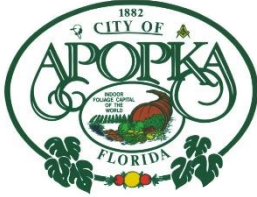
REV	DATE	NOTE

Rendered image looking NW



Rendered image looking SW





CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ SITE PLAN
☐ SPECIAL REPORTS
☒ OTHER: Special Exception

MEETING OF: December 8, 2020
FROM: Community Development
EXHIBITS: Vicinity Map
Zoning Map
Aerial Map
Application
Site Plan

SUBJECT: MENOL TRANSPORT – SPECIAL EXCEPTION

REQUEST: APPROVE A SPECIAL EXCEPTION TO ALLOW OUTDOOR STORAGE (AS A PRINCIPLE USE) IN THE I-L (LIGHT INDUSTRIAL DISTRICT) AT 2025 CORAL HILLS ROAD

SUMMARY:

OWNER/APPLICANT: Jose L. Perez
LOCATION: 2025 Coral Hills Road
PARCEL ID NUMBER: 22-21-28-0000-00-086
FUTURE LAND USE: Industrial
ZONING: Light Industrial (I-L)
EXISTING USE: Vacant
PROPOSED USE: Outdoor Storage (Operable Commercial Vehicles)
TRACT SIZE: 2.24 +/- acres

RECOMMENDED ACTION:

Approve a Special Exception to allow outdoor storage (as a principle use) in the I-L (Light Industrial District) at 2025 Coral Hills Road, subject to the Conditions of Approval and findings of the staff report.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

PROJECT SUMMARY: The property is presently assigned a Future Land Use Designation of Industrial and has a zoning designation of Light Industrial (I-L). Based on Land Development Code (LDC) Table 4.2.2.C, Principal Use Table, outdoor storage (as a principal use) requires an approved Special Exception within the I-L zoning district. The applicant's intent is to park operable semi-trucks in an enclosed area. The applicant has submitted a Minor Development Plan application for such use, and the most updated version of the Minor Development Plan is attached to the staff report as a point of reference. The Minor Development Plan requires the approval of the Development Review Committee (DRC).

RELATIONSHIP TO ADJACENT PROPERTIES: Zoning and existing land use assigned to adjacent and nearby properties appears in the following table. The character of the area surrounding the subject property is described as follows:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural	A-1	Vacant
East (City)	Agriculture	AG	Vacant
South (County)	Rural	A-1	Hydro Rents
West (City)	Industrial	I-L	Vacant (Proposed Self-Storage)

Per Land Development Code Section 2.5.1.G.4, a Special Exception is required to be in compliance with the following standards:

- a. Will be consistent with the goals, objectives, and policies of the comprehensive plan;
- b. Will comply with all applicable zoning district standards;
- c. Will comply with all standards in Sec. 4.2.3, Standards Specific to Principal Uses, Standards for Specific Principal Uses;
- d. Will be appropriate for its location and is compatible with the general character of surrounding lands and the uses permitted in the zoning district;
- e. Will adequately screen, buffer, or otherwise minimize adverse visual impacts on adjacent lands;
- f. Will ensure that no site lighting source shall negatively impact adjacent properties and rights-of-way;
- g. Will maintain safe and convenient ingress and egress and traffic flow onto and through the site by vehicles and pedestrians, and safe road conditions around the site;
- h. Will avoid significant adverse odor, noise, glare, and vibration impacts on surrounding lands regarding refuse collection, service delivery, parking and loading, signs, lighting, and other site elements;
- i. Will not have an adverse impact on land values and the ability of neighboring lands to develop uses permitted in the zoning district;
- j. Will avoid significant deterioration of water and air resources, scenic resources, and other natural resources;

- k. Will not overburden existing public facilities and services, including, but not limited to, streets and other transportation facilities, schools, potable water facilities, sewage disposal, stormwater management, and police and fire protection facilities; and
- l. Will comply with all other relevant City, State, and federal laws and regulations.

Special Exception Conditions of Approval:

1. Repairing, installing or maintaining components, and washing of vehicles is not permitted on-site.
2. Inoperable vehicles are not permitted to be stored on-site.
3. The use of the site shall not commence until a development plan has been approved by the DRC which permits said use on the site.

DULY ADVERTISED:

November 27, 2020 – Public Notice and Notification (Apopka Chief); Notification is posted on the property; Adjacent property owner(s) were notified of the hearing schedule via U.S. Postal Service mail.

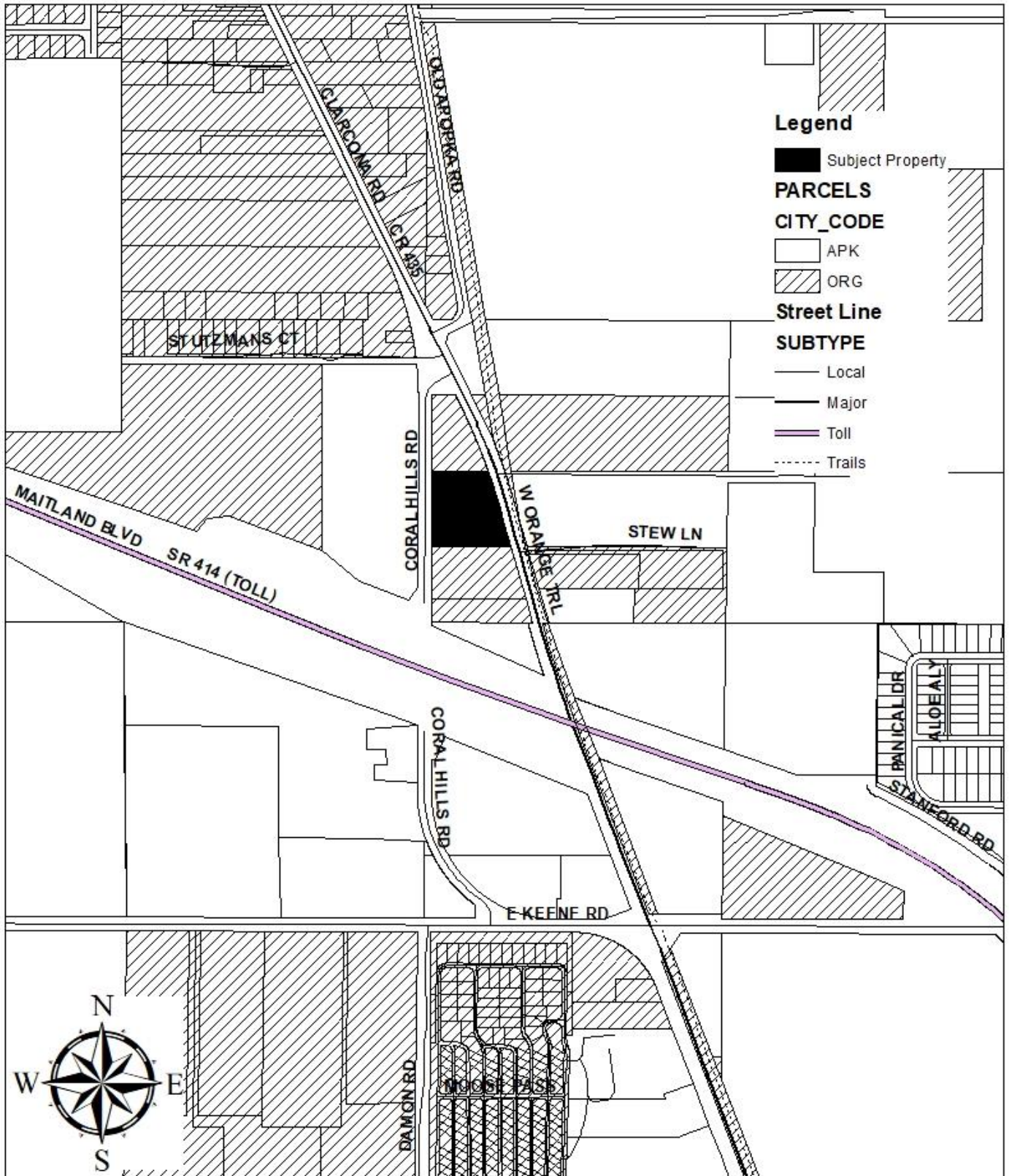
RECOMMENDED ACTION:

Development Review Committee: Recommends approval of a Special Exception to allow outdoor storage (as a principal use) within the I-L (Light Industrial) zoning district, subject to the Special Exception Conditions of Approval and findings of the staff report.

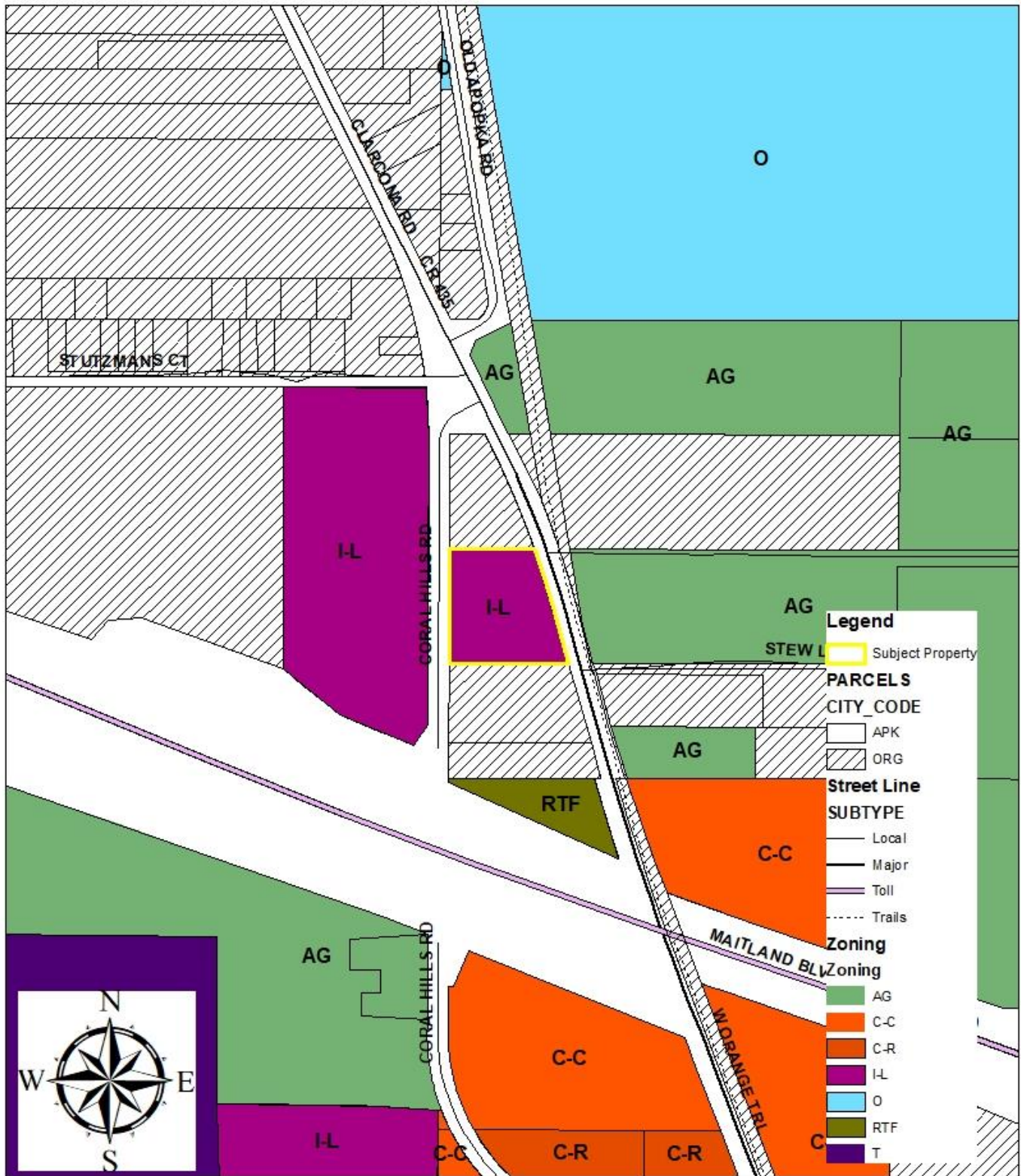
Recommended Motion: Approve a Special Exception to allow outdoor storage (as a principle use) at 2025 Coral Hills Road, subject to the Special Exception Conditions of Approval and findings of the staff report.

Planning Commission Role: Pursuant to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.3.2.B.1.a, the Planning Commission has the authority to take make decisions on a special exception permits. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.

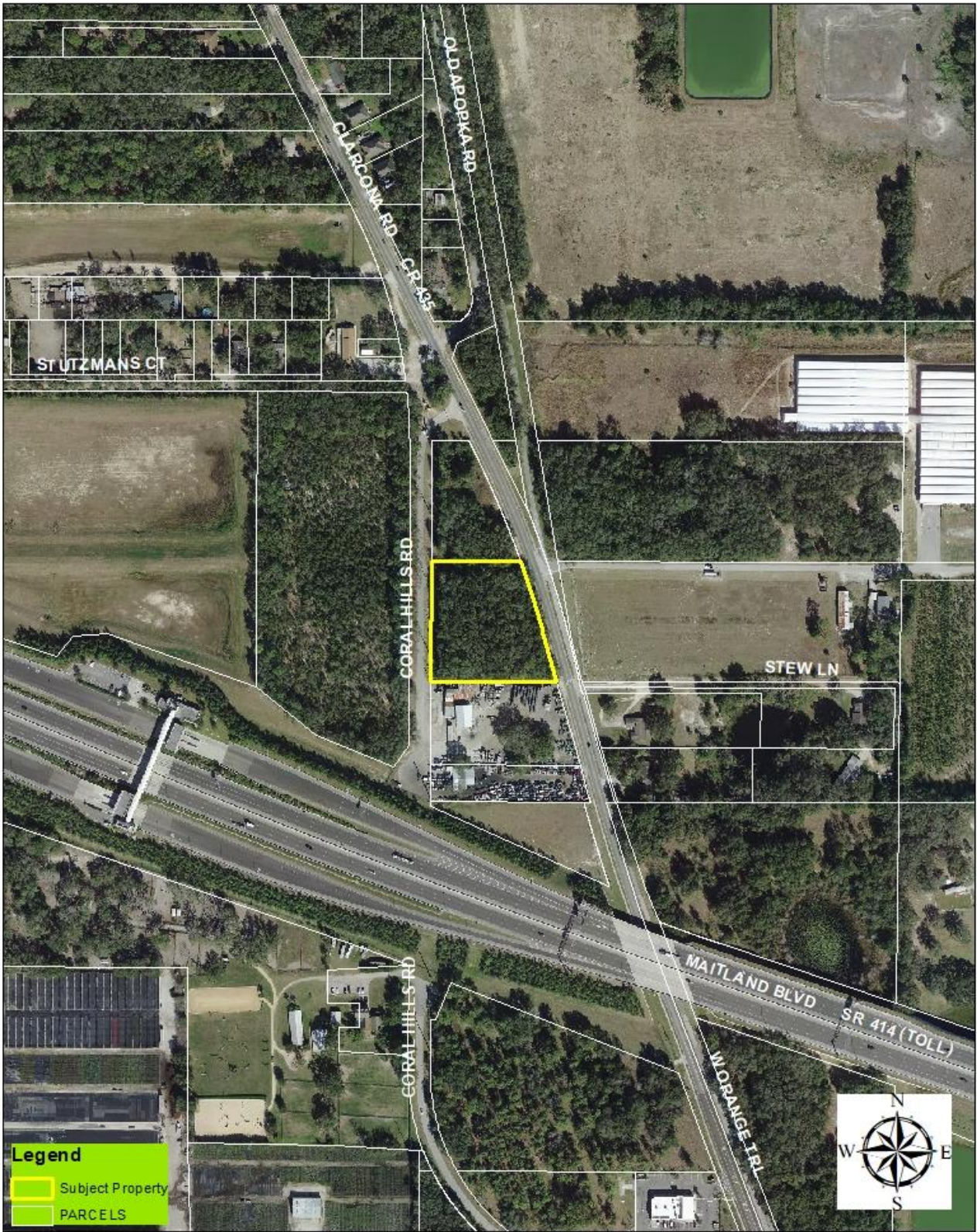
Vicinity Map



Zoning Map



Aerial Map



MENOL TRANSPORTATION INC. MINOR DEVELOPMENT PLAN

CLARCONA ROAD, APOPKA, 32703

PARCEL ID: 22-21-28-0000-00-086

OCTOBER 2020



PROJECT TEAM:

LAND OWNER/APPLICANT:
JOSE PEREZ
MENOL TRANSPORTATION
5316 EDGEWATER DRIVE, SUITE 108
ORLANDO, FL 32810
P: 407-758-4934
MENOLTRANSPORT@YAHOO.COM

CIVIL ENGINEER:
LAURENCE POLINER
RCE CONSULTANTS, LLC
617 ARVERN DRIVE
ALTAMONTE SPRINGS, FL 32701
407-452-8633

SURVEYOR:
IRELAND & ASSOCIATES SURVEYING, INC.
800 CURRENCY CIRCLE, SUITE 1020
LAKE MARY, FL 32746
407-678-3366

UTILITY SERVICE PROVIDERS

POTABLE WATER
NON-POTABLE WATER
WASTEWATER
POWER
TELECOMMUNICATIONS
GAS

CITY OF APOPKA
CITY OF APOPKA
CITY OF APOPKA
DUKE ENERGY
SPECTRUM
LAKE APOPKA



VICINITY MAP
N.T.S.



AERIAL MAP
N.T.S.

SHEET INDEX

SHEET	DESCRIPTION
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE PLAN
C-3.0	FIRE TRUCK ROUTE PLAN
C-4.0	UTILITY PLAN
C-4.1	UTILITY NOTES
C-5.0	GRADING AND DRAINAGE PLAN
C-6.0	SWPPP PLAN
C-6.1	EROSION CONTROL DETAILS
C-7.0	CONSTRUCTION DETAILS
C-7.1	UTILITY DETAILS
C-7.2	UTILITY DETAILS
L-1	LANDSCAPE PLAN
T-1	TREE MITIGATION PLAN
	BOUNDARY/TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION:

THE NORTH 1/2 OF THE SOUTH 1/2
OF THE NORTHEAST 1/4 OF THE
SOUTHWEST 1/4 LYING WEST OF
APOPKA VINELAND ROAD AND
(LESS THE ROAD RIGHT OF WAY ON
THE WEST FOR CORAL HILLS ROAD).



RCE CONSULTANTS, LLC

617 ARVERN DRIVE
ALTAMONTE SPRINGS, FL. 32701
LARRY@RCECONSULTANTS.NET

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REV.	DATE	DESCRIPTION	REV.

MENOL TRANSPORTATION, INC.

COVER SHEET

DRAWN:
LMP

DESIGNED:
DM

CHECKED
LMP

PROJECT #	8.2020
-----------	--------

Laurence Pollner
#56974
E CONSULTANTS, LLC
State of Authorization 29307

UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE PERFORMED CONSISTENT WITH THE FOLLOWING SPECIFICATIONS:

- CITY OF APOPKA, FLORIDA
- ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
- FLORIDA DEPARTMENT OF TRANSPORTATION
- FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM

2. THE GEOTECHNICAL REPORT SHALL BE REVIEWED BY THE CONTRACTOR, AND THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, THE WORK REQUIRED, AND ALL OTHER CONDITIONS THAT MAY AFFECT THE SUCCESSFUL COMPLETION OF THE JOB PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND PERMIT CONDITIONS BEARING ON THE CONDUCT OF THE WORK, AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, HE SHALL PROMPTLY NOTIFY THE ENGINEER, IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ADJUSTED, AS PROVIDED IN THE AGREEMENT FOR CHANGES IN THE WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER AND THE ENGINEER FOR THE ACTS AND OMISSIONS OF CONTRACTOR'S EMPLOYEES AND ALL HIS SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH GOVERNMENTAL DEPARTMENTS, PUBLIC UTILITIES, PUBLIC CARRIERS, SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND TELEGRAPH FACILITIES, SUCH AS PAVEMENTS, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS, OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED THEREWITH THAT ARE ENCOUNTERED IN THE WORK IN ORDER THAT SUCH ITEMS MAY BE PROPERLY SUPPORTED, PROTECTED OR LOCATED.
6. UNLESS OTHERWISE SPECIFIED IN THE GENERAL CONDITIONS, ALL CONSTRUCTION IS TO BE GOVERNED BY THE PLANS, APPLICABLE PERMITS, AND SPECIFICATIONS HEREIN, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING AND SAFETY CODES, LAWS AND ORDINANCES.
7. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM JURISDICTION RESPONSIBLE FOR SUCH RIGHT-OF-WAY. IN ADDITION, CONTRACTOR SHALL OBTAIN GAS I.D. NUMBER FROM LOCAL GAS COMPANY AND NOTIFY SUNSHINE STATE ONE-CALL UTILITY NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 48 HOURS PRIOR TO START OF WORK.
8. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN CONSISTENT WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, AND SUBMIT TO THE COUNTY ENGINEER FOR APPROVAL.
9. IN THE EVENT THE CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND/OR OWNER OR OWNER'S AGENT.
10. CONTRACTOR SHALL PRESERVE AND PROTECT ALL PERMANENT REFERENCE MONUMENTS, PERMANENT CONTROL POINTS, PERMANENT BENCH MARKS AND PROPERTY CORNERS. IN THE EVENT THE MONUMENTS, POINTS OR MARKERS ARE DISTURBED THE CONTRACTOR SHALL EMPLOY A FLORIDA REGISTERED LAND SURVEYOR TO RESET OR REPLACE THEM.
11. THE OWNER, OWNER'S AGENT AND INSPECTORS OF APPLICABLE GOVERNMENT JURISDICTIONS, SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHEREVER AND WHENEVER IT IS IN PREPARATION OR PROGRESS; AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND FOR THE INSPECTION.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL REASONABLE AND PRUDENT PRECAUTIONS TO INSURE THAT ALL COMPLETED WORK, MATERIALS AND EQUIPMENT STORED ON SITE ARE SAFE AND SECURED FROM UNAUTHORIZED ACCESS, USE, THEFT OR VANDALISM. SUCH PRECAUTIONS MAY INCLUDE INSTALLATION OF SIGNS, FENCES, OR POSTING OF SECURITY GUARDS.
13. CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND GUIDELINES PERTAINING TO SAFE UTILIZATION OF EQUIPMENT OR MATERIALS AS PUBLISHED BY THEIR MANUFACTURER'S.
14. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND/OR TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED.
15. CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE PROVISIONS OF THE FLORIDA STATE TRENCH SAFETY ACT.
16. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:
 - A. ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY;
 - B. ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL, OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS;
 - C. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWN, WALKS, PAVEMENTS, ROADWAY, STRUCTURES AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION.
17. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE, INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.
18. ALL DAMAGE OR LOSS TO ANY PROPERTY CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS OR OMISSIONS OF THE EXISTING OR NON-EXISTING OR ANYONE EMPLOYED BY THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART, TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.
19. THOSE PARTS OF WORK IN PLACE WHICH ARE SUBJECT TO DAMAGE BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
20. UNTIL FINAL ACCEPTANCE OF THE WORK BY OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSES THEREOF.
21. ADEQUATE TRAFFIC CONTROL, BARRICADES AND FLAGMAN SERVICES SHALL BE FURNISHED AND MAINTAINED BY THE CONTRACTOR AT ALL POINTS WHERE CONVEYING EQUIPMENT ENGAGED ON THE WORK REGULARLY ENTERS ONTO OR CROSSES TRAFFIC-CARRYING ROADS.
22. THE CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ACT OF 1970 AND ALL RULES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT, AND THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY AND ALL APPLICABLE STATE LAWS AND REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH.
23. CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL MATERIALS (HAZARDOUS OR OTHERWISE) IN COMPLIANCE WITH THE PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.

- CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE, OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENT AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DETRIMENTAL EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
25. THE CONTRACTOR SHALL PROTECT AND KEEP OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FREE AND HARMLESS FROM ANY AND ALL LIABILITY, PUBLIC OR PRIVATE, PENALTIES, CONTRACTUAL OR OTHERWISE, LOSSES, DAMAGES, COSTS, ATTORNEY'S FEES, EXPENSES, CLAIMS OF ACTION, CLAIMS OR JUDGMENTS RESULTING FROM THE FAILURE OF CONTRACTOR TO COMPLY WITH ANY FEDERAL, STATE OR LOCAL RULE OR REGULATION OR THE PROMULGATED THEREUNDER OR OF ANY STATE LAWS OR REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, AND CONTRACTOR SHALL INDEMNIFY OWNER FROM ANY SUCH CLAIMS, PENALTIES, SUITS OR ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID OR INCURRED BY OWNER IN CONNECTION WITH SUCH ACTION SHALL BE BORNE BY CONTRACTOR. CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.
26. CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, INCLUDING WITHOUT LIMITATION, REMEDIAL ACTION AND WORK CONTAINING HAZARDOUS MATERIAL FROM THE JOB SITE, CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS OF THIS CONTRACT.
27. CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS, INCLUDING WITHOUT LIMITATION, ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEANUP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS OF THESE CONSTRUCTION DOCUMENTS.
28. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF THESE CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL IMMEDIATELY SO INFORM OWNER & ENGINEER IN WRITING. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY, OWNER & ENGINEER AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DETRIMENTAL EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
29. IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER, OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO OWNER AND/OR ENGINEER IN WRITING.
30. "HAZARDOUS MATERIAL" MEANS ANY SUBSTANCE: (A) THE PRESENCE OF WHICH REQUIRES INVESTIGATION OR REMEDIATION UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, ORDINANCE, RULE, CODE, ORDER, ACTION, POLICY OR COMMON LAW; OR (B) WHICH IS OR BECOMES DEFINED AS A "HAZARDOUS WASTE," "HAZARDOUS SUBSTANCE," "POLLUTANT" OR CONTAMINANT UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, RULE OR ORDINANCE OR AMENDMENTS THEREIN, INCLUDING, WITHOUT LIMITATION, THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (42 U.S.C. SECTIONS 9601 ET SEQ.) AND/OR THE RESOURCE CONSERVATION AND RECOVERY ACT (42 U.S.C. SECTIONS 6901 ET SEQ.) OR WHICH IS TOXIC, EXPLOSIVE, CORROSIVE, FLAMMABLE, INFECTIOUS, RADIOACTIVE, CARCINOGENIC, MUTAGENIC, OR OTHERWISE HAZARDOUS AND IS REGULATED BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD, COMMISSIONER OR INSTRUMENT OF THE UNITED STATES, THE STATE OF NEW YORK, OR ANY AGENCIES LOCATED OR ANY POLITICAL SUBDIVISION THEREOF; OR (C) THE PRESENCE OF WHICH ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES, OR (E) WHICH CONTAINS GASOLINE, DIESEL FUEL OR OTHER PETROLEUM HYDROCARBONS, OR (F) WHICH CONTAINS POLYCHLORINATED BIPHENYLS (PCBS), ASBESTOS, LEAD OR UREA FORMALDEHYDE FOAM INSULATION.
31. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AS TO SIZE, LOCATION, AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL CONFLICTS, DEVIATIONS OR OMISSIONS TO THESE CONSTRUCTION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
32. IF ANY TESTING, INSPECTION OR APPROVAL REVEAL DEFECTIVE WORK, CONTRACTOR SHALL NOT BE ALLOWED TO RECEIVE ANY ASSOCIATED COSTS AND THE OWNER SHALL BE ENTITLED TO DEDUCT FROM THE CONTRACT PRICE, BY ISSUING A CHANGE ORDER, OWNER'S COSTS ARISING OUT OF THE DEFECTIVE WORK, INCLUDING COSTS OF REPEATED PROCEDURES, COMPENSATION FOR ENGINEER'S AND DESIGN ENGINEER'S SERVICES AND ALL OTHER RELATED COSTS.

3. ALL CONSTRUCTION MUST MEET OR EXCEED ALL REQUIREMENTS AS OUTLINED IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE FLORIDA ACCESSIBILITY CODE, MOST RECENT EDITIONS. BOTTOM OF CURB RAMP ELEVATION (B.O. RAMP) IS RELATIVE TO EACH CURB RAMP CONDITION. ACTUAL ELEVATIONS SHALL BE BASED ON EXISTING GRADE OF CURB FLOW LINE AT THE B.O. RAMPS.
2. TOP OF CURB ELEVATION ADJACENT TO B.O. RAMP = 0.50 FT. MAX. UNLESS OTHERWISE NOTED.
3. ADA REQUIREMENTS SUPERSEDE SPOT GRADES AT LOT LINES. CONTRACTOR TO CUT BACK SLOPE AT 3:1 OR FLATTER AS NEEDED FOR RAMP AND SIDEWALK CONNECTION.
4. REFER TO PLAN SHEETS AND SECTIONS FOR LOCATIONS AND SIDEWALK WIDTHS.
5. THE DETECTABLE WARNING STRIP SHALL CONSIST OF A 24 INCH WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES (ALIGNED PATTERN). DOMES SHALL HAVE A DIAMETER OF 0.9 INCH, A HEIGHT OF 0.2 INCH, AND A CENTER TO CENTER SPACING OF 2.35 INCHES. THE RAMP DETECTABLE WARNING STRIP SHALL BE CONTRASTING IN COLOR. THE MATERIAL USED TO PROVIDE CONTRAST SHALL CONTRAST BY AT LEAST 70%.
6. THE CROSS SLOPE OF RAMP SURFACES AND ADJACENT STREET GRADES SHALL BE NO MORE THAN 1:50 OR 2% MAXIMUM.
7. CURB RAMPS CONSTRUCTED BY THE CONTRACTOR SHALL MEET ALL CURRENT APPLICABLE A.D.A. REQUIREMENTS AND SHALL HAVE DETECTABLE WARNING COMPLYING WITH A.D.A. REQUIREMENTS. ACCESSIBILITY ROUTES SHALL MEET ALL APPLICABLE A.D.A. REQUIREMENTS.
8. CONTRACTOR TO REFER TO MUNICIPALITY DETAILS AS NEEDED.
9. DRIVEWAY/ROADWAY CROSS SLOPES AT CROSSWALKS SHALL BE MAXIMUM 2% PER ADA REQUIREMENTS.
10. SIDEWALK CROSS SLOPES SHALL BE MAXIMUM 2% PER ADA REQUIREMENTS.
11. CURB RAMP FLARES & LANDINGS SHALL MEET ADA REQUIREMENTS.
12. ACCESSIBLE ROUTE WITH RUNNING SLOPES GREATER THAN 1:20 IS A RAMP AND SHALL COMPLY WITH ADA RAMP REQUIREMENTS.
13. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO MEET ALL CURRENT ADA STANDARDS. CONTRACTOR SHALL REFER TO FDOT STANDARDS, (INDEX 304, MOST CURRENT EDITION)

AS-BUILT DRAWINGS SHALL BE PREPARED BY AND CERTIFIED (SIGNED AND SEALED) BY A REGISTERED SURVEYOR, AND SHALL BE PROVIDED TO THE ENGINEER OF RECORD UPON COMPLETION OF THE PROJECT SITE IMPROVEMENTS A MINIMUM OF 1 WEEK PRIOR TO CONTRACTORS ATTEMPT FOR FINAL CERTIFICATE OF OCCUPANCY (CO). AS-BUILT DRAWINGS SHALL REFLECT ANY CHANGES TO THE IMPROVEMENTS MADE DURING CONSTRUCTION AND MUST MEET THE MINIMUM REQUIREMENTS OF ALL REGULATORY AGENCIES HAVING JURISDICTION AS WELL AS THE CRITERIA OUTLINED BELOW. BOTH THE ORIGINAL DESIGN AND REVISED AS-BUILT DATA, AS APPLICABLE, MUST BE CLEARLY SHOWN. THE AS-BUILT DRAWINGS MUST BE CLEARLY LABELED AS AS-BUILT OR RECORD DRAWING. THE FOLLOWING INFORMATION, AT A MINIMUM, SHALL BE CERTIFIED ON THE AS-BUILT DRAWINGS:

A. LOCATION AND DIMENSIONS OF PIPES, VALVES, FITTINGS, CHANGE OF DIRECTION, AND OTHER ASSOCIATED FACILITIES.

A. LOCATION, DIMENSION, AND INVERT ELEVATIONS OF PIPES, MANHOLES (INCLUDING RIM ELEVATION), LIFTSTATION, FORCEMAIN, FITTINGS, CHANGE IN DIRECTION AND OTHER ASSOCIATED FACILITIES.

- A. DIMENSIONS AND ELEVATIONS OF ALL DISCHARGE STRUCTURES INCLUDING ALL WEIRS, SLOTS, GATES, PIPES AND SKIMMERS;
- B. LOCATIONS, DIMENSIONS, AND ELEVATIONS OF ALL FILTER, EXFILTRATION, OR UNDERDRAIN SYSTEMS INCLUDING CLEANOUTS, PIPES, CONNECTIONS TO CONTROL STRUCTURES, AND POINTS OF DISCHARGE TO THE RECEIVING WATERS;
- C. DIMENSIONS, ELEVATIONS, CONTOURS, OR CROSS-SECTIONS OF ALL STORMWATER TREATMENT POND STORAGE AREAS SUFFICIENT TO DETERMINE STAGE-STORAGE RELATIONSHIPS OF THE STORAGE AREA, AND THE POND DEPTH AND VOLUME BELOW THE CONTROL WATER ELEVATION FOR NORMALLY WET SYSTEMS;
- D. DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF THE DRAINAGE SYSTEM IMPROVEMENTS TO DETERMINE FLOW DIRECTIONS AND CONVEYANCE OF RUNOFF TO THE TREATMENT SYSTEM;
- E. DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF ALL CONVEYANCE SYSTEMS UTILIZED TO CONVEY OFF-SITE RUNOFF AROUND THE SYSTEM;
- F. EXISTING WATER ELEVATION OF SURFACE WATERS AND THE DATE DETERMINED;
- G. ELEVATION AND LOCATION OF BENCHMARK'S FOR THE SURVEY.

A. ELEVATIONS AT THE FOUR CORNERS OF ALL HANDICAP PARKING SPACES AND ADJACENT LOADING AISLES.

B. ELEVATIONS AND LOCATIONS FOR ALL ACCESSIBLE RAMPS WHICH ADEQUATELY REFLECT THE BUILT SLOPES

C. ELEVATIONS AND LOCATIONS ALONG THE PATHS OF CONVEYANCE FOR PEDESTRIAN TRAFFIC AND ALL ADA ACCESSIBLE ROUTES EVERY 25 FT. WHICH ADEQUATELY REFLECT THE SLOPE AND CROSS SLOPE.

[illegible]

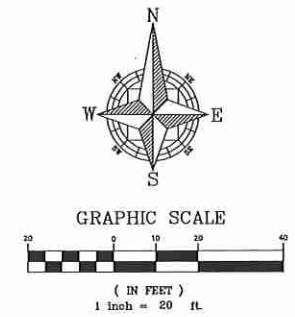
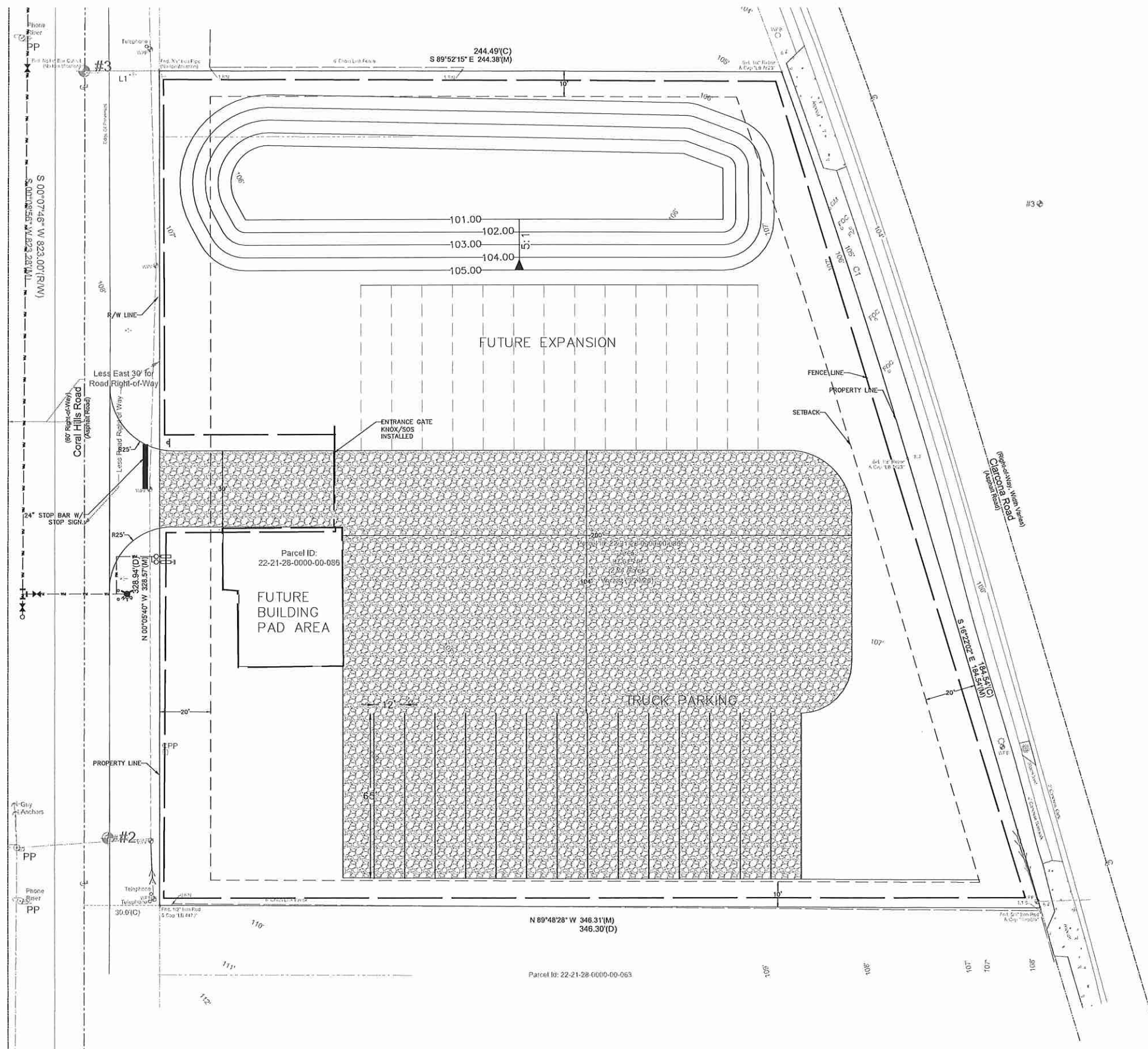
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617 Arvera Drive
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Phone No. 407-452-8633
LARRY@RCECONSULTANTS.NET

Engineer of Record

Laurence Pollner
#56974

RCE CONSULTANTS, LLC
Certificate of Authorization 29307

PROJECT #: 08.2020	
DRAWN:LMP CHECKED: LMP	
DATE: AUGUST 2020	SHEET: C-1.0
SCALE: N/A	
GENERAL NOTES	



PROJECT DATA:

PARCEL ID: 22-21-28-0000-00-086
EXISTING ZONING: I-L
LAND USE: INDUSTRIAL
PROPOSED USE: OUTDOOR VEHICULAR STORAGE
MAX BUILDING HEIGHT: 35 FT
PROPERTY AREA: 2.24 Acres (97,626 SF)
FAR: 0.01 (PROPOSED FOR FUTURE BUILDING)
PROPOSED IMPERVIOUS AREA
BUILDING/PARKING AREA = 2,600 SF
PARKING AREA = 34,410 SF
FUTURE EXPANSION = 13,000 SF
TOTAL IMPERVIOUS = 50,010 SF OR 1.14 AC. (51%)
PROPOSED PERVIOUS AREA
TOTAL = 47,616 SF OR 1.09 AC. (49%)
BUILDING SETBACKS (REQUIRED):
FRONT (CORAL HILLS ROAD) = 20 FT
SIDE (NORTH) = 10 FT
SIDE (SOUTH) = 10 FT
REAR (WEST-CLARCONA ROAD) = 20 FT
HOURS OF OPERATION: 7-5, M-F

MENOL TRANSPORTATION, INC.
SITE PLAN
APOPKA, FL

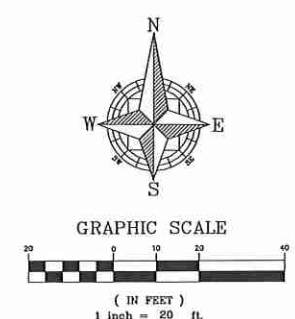
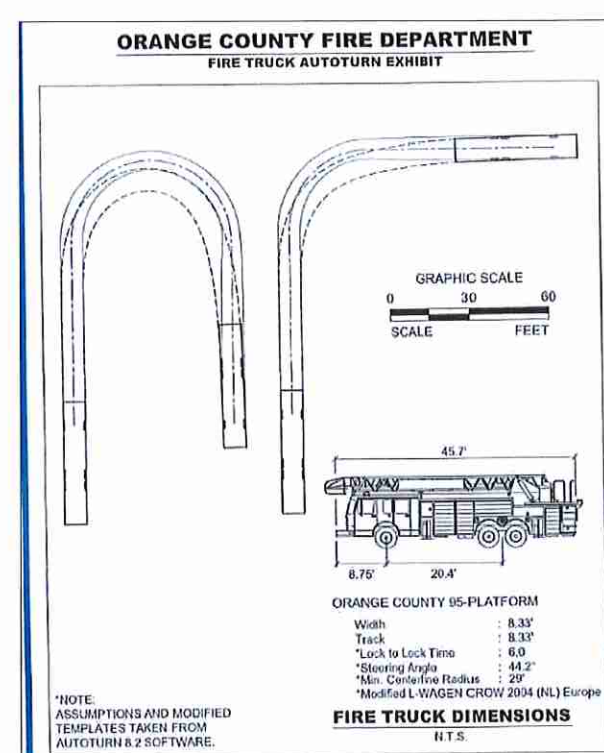
NO.	DATE	REVISION / ISSUE DATE	CITY COMMENTS	BY:
1	4/23/2020			LMP

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PROJECT #: 08.2020
DRAWN/LMP CHECKED: LMP
DATE: AUGUST 2020 SHEET: C-3.0
SCALE: 1"=20'
SITE PLAN



**MENOL TRANSPORTATION, INC.
FIRE TRUCK ROUTE PLAN
APOPKA, FL**

[illegible]

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PROJECT #: 08.2020

DRAWN:LMP CHECKED: LMP

DATE:	SHEET:
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AUGUST 2020	C-3.1
SCALE:	

1"=20'	
FIRE TRUCK	

FIRE TRUCK ROUTE PLAN



**MENOL TRANSPORTATION, INC.
UTILITY PLAN
APOPKA, FL**

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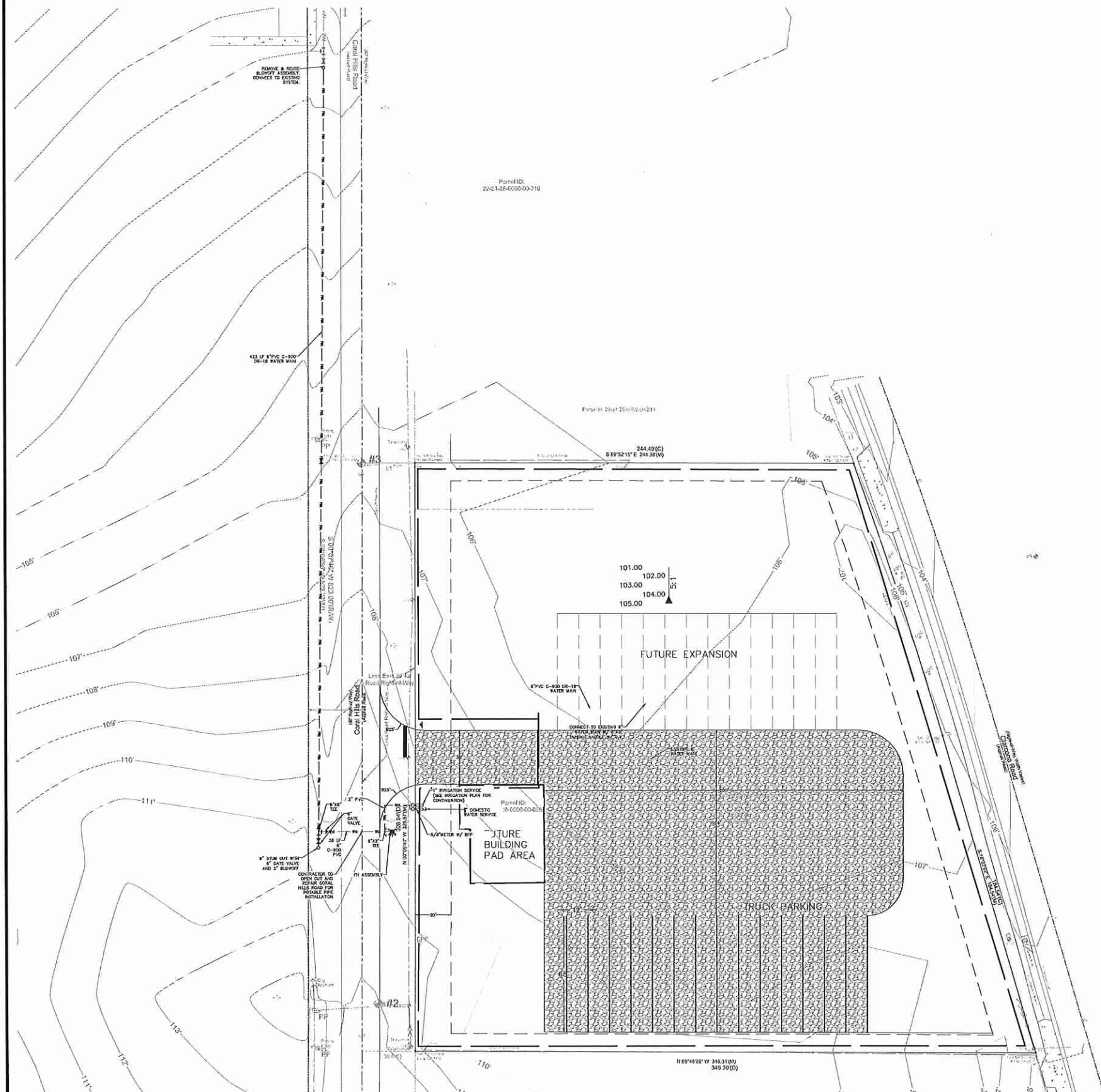
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Certificate of Authorization 29307

PROJECT #: 08.2020	
DRAWN: LMP CHECKED: LMP	
DATE: AUGUST 2020	SHEET: C-4.0
SCALE: 1"=40'	
UTILITY PLAN	

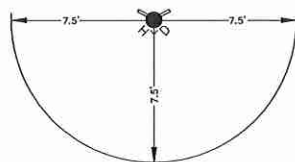
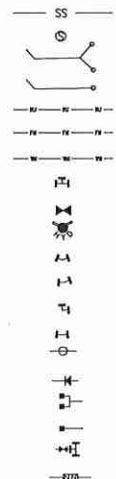


POTABLE WATER CONNECTION SHALL BE CONNECTED TO THE EXISTING WATER LINE.

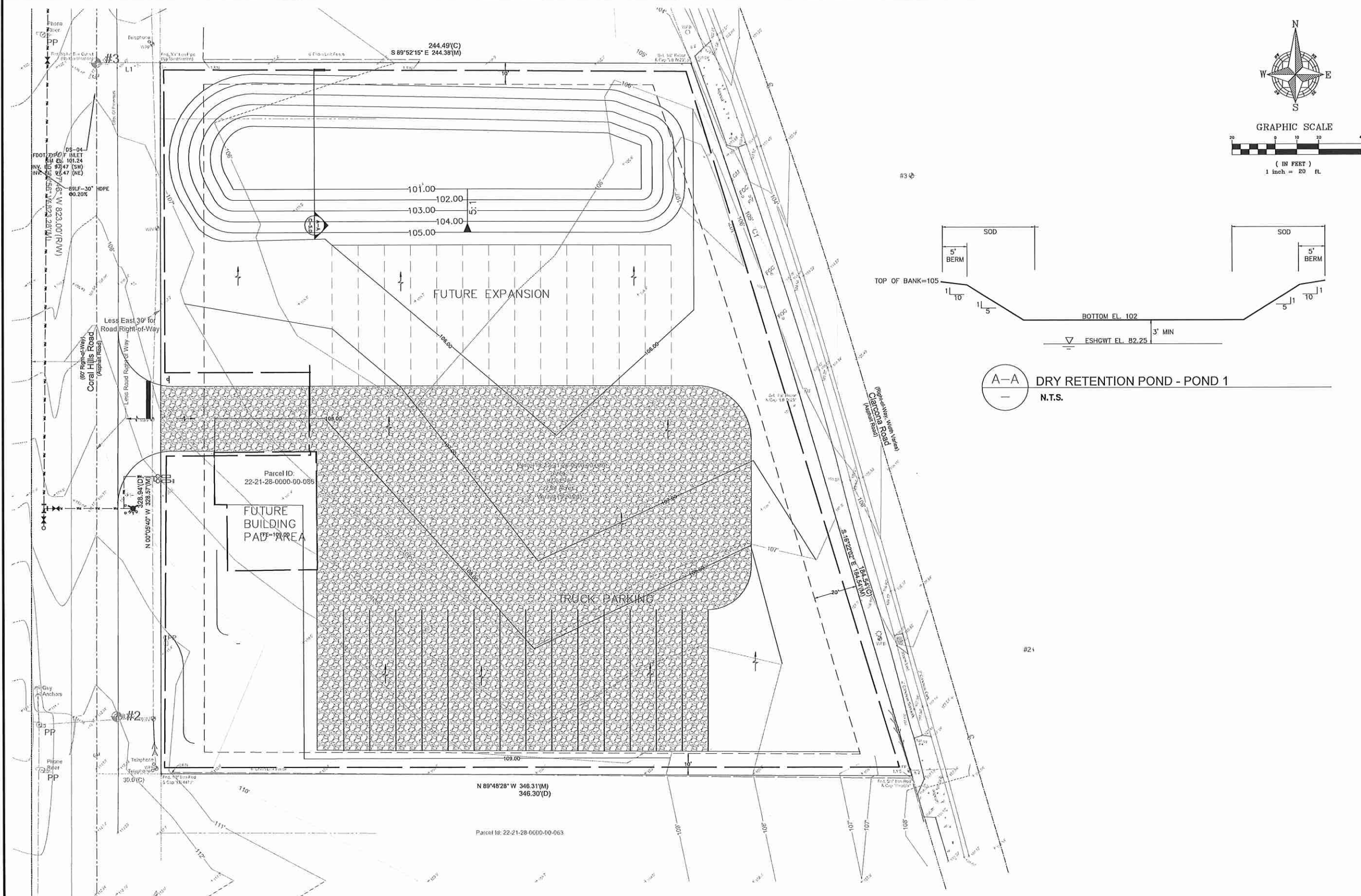
ALL UTILITIES LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.

MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER LINES.

- # LEGEND
-
- SANITARY SEWER MAIN
SANITARY MANHOLE
SS DOUBLE SERVICE
SS SINGLE SERVICE
RECLAIMED WATER MAIN
FORCE MAIN
WATER MAIN
TEE
GATE VALVE
FIRE HYDRANT
BEND — 45°
BEND — 22.5°
BEND — 90°
BEND — 11.25°
BLOW OFF VALVE
REDUCER
DOUBLE SERVICE
SINGLE SERVICE
TAPPING SADDLE W/ GATE VALVE
BACK FLOW PREVENTER



FIRE HYDRANT CLEARANCE DETAIL
N.T.S.



**MENOL TRANSPORTATION, INC.
GRADING AND DRAINAGE PLAN
APOPKA, FL**

[illegible]

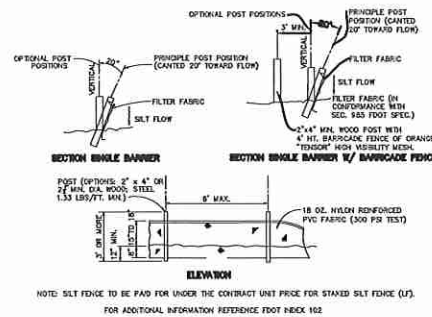
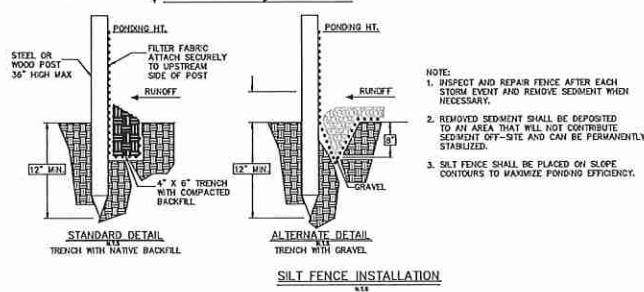
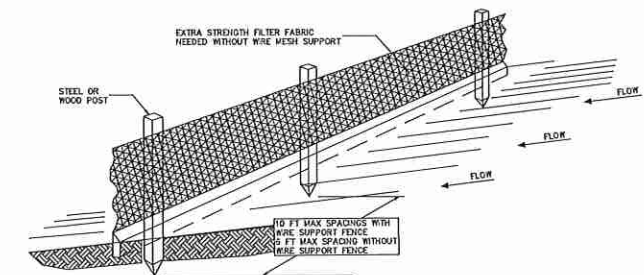
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Engineer of Record

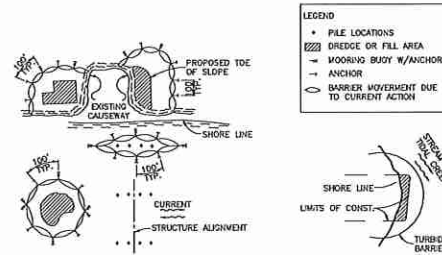
Laurence Pollner
#56974

RCE CONSULTANTS, LLC
Certificate of Authorization 293

PROJECT #: 08,2020	
DRAWN:LMP CHECKED: LMP	
DATE: AUGUST 2020	SHEET: C-5.
SCALE: 1"=20'	
GRADING AND DRAINAGE PL	



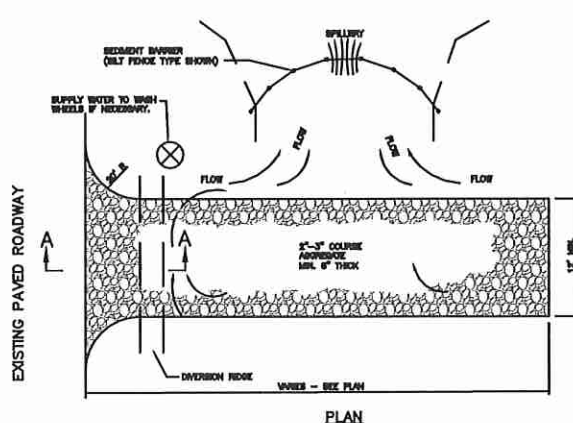
STAKED TURBIDITY BARRIER



NOTES:
1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.
2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
3. DEPLOYMENT OF BARRIER AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.

TURBIDITY BARRIER APPLICATIONS

NOTE:
TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING, OR SUNKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPE(S) WILL BE AT THE CONTRACTOR'S OPTION UNLESS OTHERWISE SPECIFIED IN THE PLANS. POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.



NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRUCKS OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEANURES USED TO THIS EFFECT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH COARSED SOILS THAT DRAIN INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



NOTE:
USE WHENEVER SILT FENCES, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BURN AS REQUIRED.

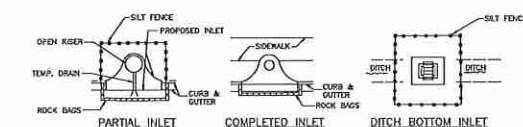
GENERAL NOTES

1. TEMPORARY ROADS SHALL FOLLOW THE CONTOUR OF THE NATURAL TERRAIN TO THE EXTENT POSSIBLE. SLOPES SHOULD NOT EXCEED 4 PERCENT.
2. TEMPORARY PARKING AREAS SHOULD BE LOCATED ON NATURALLY FLAT AREAS TO MINIMIZE GRADING. GRADERS SHOULD BE SUFFICIENT TO PROVIDE DRAINAGE BUT SHOULD NOT EXCEED 4 PERCENT.
3. ROADWAYS SHALL BE AT LEAST 14 FEET (4.3 M) WIDE FOR ONE-WAY TRAFFIC AND 30 FEET (9 M) WIDE FOR TWO-WAY TRAFFIC.
4. ALL CUTS AND FILLS SHALL HAVE SIDE SLOPES THAT ARE STABLE FOR THE PARTICULAR SOIL. SLOPES OF 2:1 OR FLATTER ARE RECOMMENDED FOR CLAY SOILS, AND SLOPES OF 3:1 OR FLATTER ARE RECOMMENDED FOR SANDY SOILS.
5. STORMWATER SYSTEM SHALL BE PROVIDED AS NEEDED AND SHALL BE DESIGNED AND CONSTRUCTED ACCORDING TO APPLICABLE REGULATIONS.
6. THE ROADBED OR PARKING SURFACE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBSTACLES MATERIAL.
7. A 6 INCH (150 MM) COURSE OF FOOT NO. 1 AGGREGATE SHALL BE APPLIED IMMEDIATELY AFTER GRADING OR THE COMPLETION OF UTILITY INSTALLATION. WHEN THE RIGHT-OF-WAY FILTER FABRIC MAY BE APPLIED TO THE ROADBED FOR ADDITIONAL STABILITY ACCORDING TO THE FABRIC MANUFACTURER'S SPECIFICATIONS.

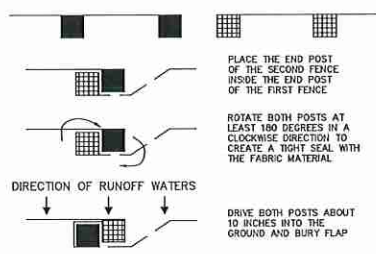
EROSION CONTROL NOTES

DURING ALL PHASES OF CONSTRUCTION THE SITE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL EXERCISE MEASURES TO PREVENT THE EROSION OF SOILS DUE TO THE ACTION OF THE WATER AND WIND. THE CONTRACTS SHALL USE THE FOLLOWING MEASURES TO ACCOMPLISH THIS OBJECTIVE:

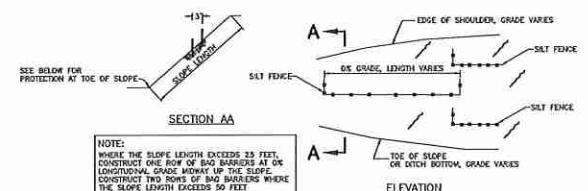
- A. SURFACE PROTECTION**
 1. CLEARING SHALL BE LIMITED SO AS TO EXPOSE THE SMALLEST POSSIBLE AREA OF LAND FOR THE SHORTEST POSSIBLE TIME.
 2. EXPOSED AREAS SHALL BE IMMEDIATELY GRADED AND PROTECTED WITH TEMPORARY OR PERMANENT COVER, SUCH AS SOD, SEED AND MULCH, CROWWEED, LESPEDEZA OR CREEPER. NEWLY GRADED CHANNELS OR STEEP SLOPES WILL REQUIRE THE USE OF FIBROUS MATTING, NETTING OF SEEDS AND MULCHED AREAS, OR THE STAKING OR SHINGLING OF SOD WHILE VEGETATION IS BECOMING ESTABLISHED.
- B. RUN-OFF CONTROL**
 1. LONG AND/OR STEEP SLOPES WILL REQUIRE CONTOUR BENCHING AND FURROWING, OR BERMS TO REDUCE RUN-OFF VELOCITIES.
- C. SEDIMENT TRAPPING**
 1. THE TRAPPING OF ERODED PARTICLES WILL BE ACCOMPLISHED BY THE DIVERSION OF RUN-OFF TO SEDIMENT BASINS, EXCAVATION TRAPS, BERMS, STAKED SYNTHETIC HAY BALES, OR FLOATING SILT CURTAINS.
 2. THE PROPOSED RETENTION AND/OR DETENTION POND(S) ALONG WITH ANY ENVIRONMENTAL BERM(S)/REAR YARD SWALE(S) SHALL BE CONSTRUCTED FIRST. THE POND(S) AND OUTFALL STRUCTURE(S) MUST BE COMPLETE AND OPERATIONAL PRIOR TO THE PLACEMENT OF ANY IMPERVIOUS SURFACE.
 3. TRAPPING DEVICES SHALL BE PERIODICALLY INSPECTED DURING DRY PERIODS AND AFTER EACH RAINFALL EVENT BY THE SITE CONTRACTOR. TRAPPING DEVICES SHALL BE REPLACED IF DETERMINED TO BE INCAPABLE OF PERFORMING INTENDED FUNCTION OF SEDIMENT TRAPPING.
 4. TRAPPING DEVICES SHALL REMAIN IN PLACE UNTIL A VEGETATIVE COVER HAS ESTABLISHED SUFFICIENTLY TO STABILIZE THE SOILS AND PREVENT EROSION.
- D. SOIL MOISTURE**
 1. THE CONTRACTOR SHALL HAVE AVAILABLE ON THE CONSTRUCTION SITE A WATER SOURCE CAPABLE OF APPLYING WATER TO DRY EXPOSED SOIL IN ORDER TO PREVENT WIND EROSION. THE APPLICATION RATE AND MANNER SHALL BE SUCH THAT SOIL MOISTURE IS ATTAINED AND NO SURFACE RUN-OFF IS CREATED.
- E. RESPONSIBILITY**
 1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED. AFTER THAT, THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER COLLECTION AND RETENTION SYSTEM.



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

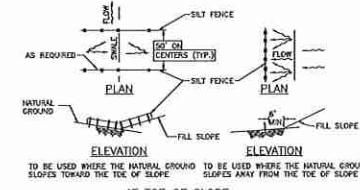


SILT FENCE ATTACHMENT DETAIL



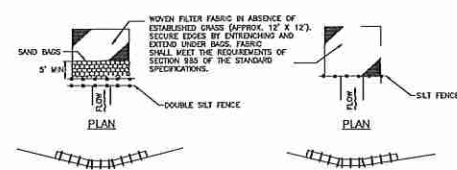
NOTE:
WHEN THE SLOPE LENGTH EXCEEDS 25 FEET, CONSTRUCT ONE ROW OF SAND BARRIERS AT ONE LONGITUDINAL GRADE DOWN UP THE SLOPE. CONSTRUCT TWO ROWS OF SAND BARRIERS WHERE THE SLOPE LENGTH EXCEEDS 50 FEET.

ALONG FILL SLOPE



AT TOE OF SLOPE

BARRIERS FOR FILL SLOPES



BARRIERS FOR UNPAVED DITCHES



MENOL TRANSPORTATION, INC.
EROSION CONTROL DETAILS
APOPKA, FL

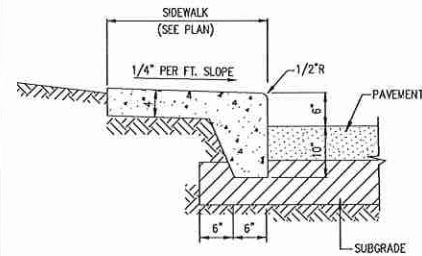
BY:	
REVISION / ISSUE DATE:	
DATE:	
NO:	

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617 Avenida Drive
Altamonte Springs, FL 32701
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LARRY@RCECONSULTANTS.NET

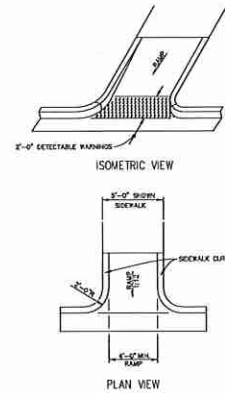
Engineer of Record

Laurence Poller
#56974
RCE CONSULTANTS, LLC
Certificate of Authorization 25997

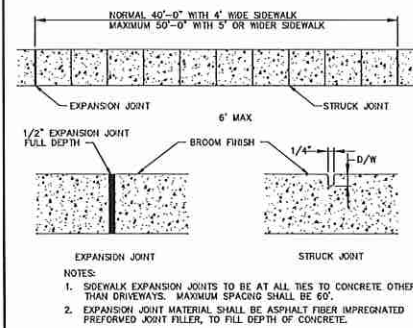
PROJECT #:	08.2020
DRAWN/IMP CHECKED:	LMP
DATE:	AUGUST 2020
SCALE:	N/A
SHEET:	C-6.1
EROSION CONTROL DETAILS	



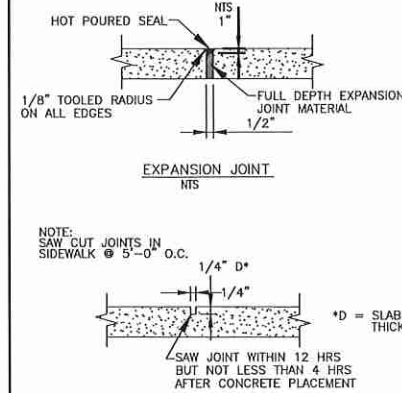
1 MONOLITHIC CURB & SIDEWALK DETAIL
(3,500 PSI (MIN))



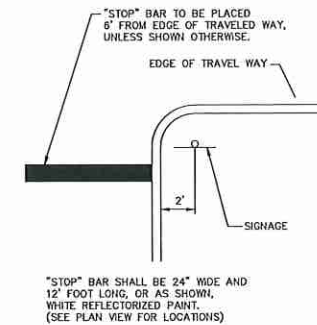
2 CURB RAMP, CR-E
(PER FOOT INDEX 522-002)



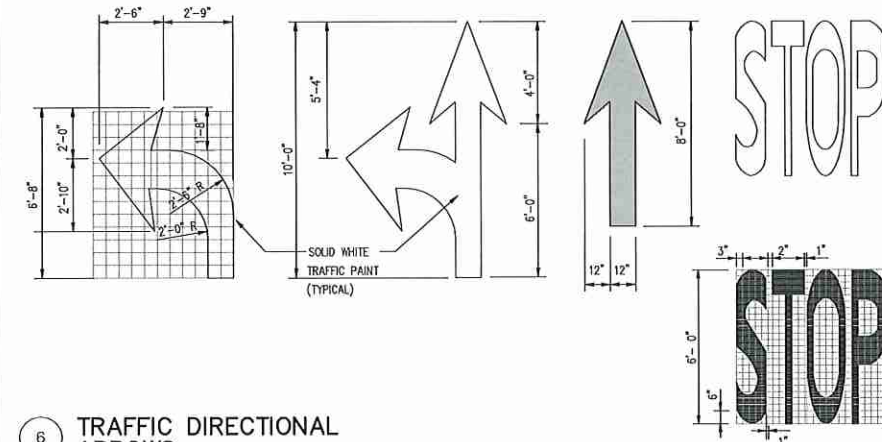
3 CONCRETE SIDEWALK
(3,500 PSI (MIN))



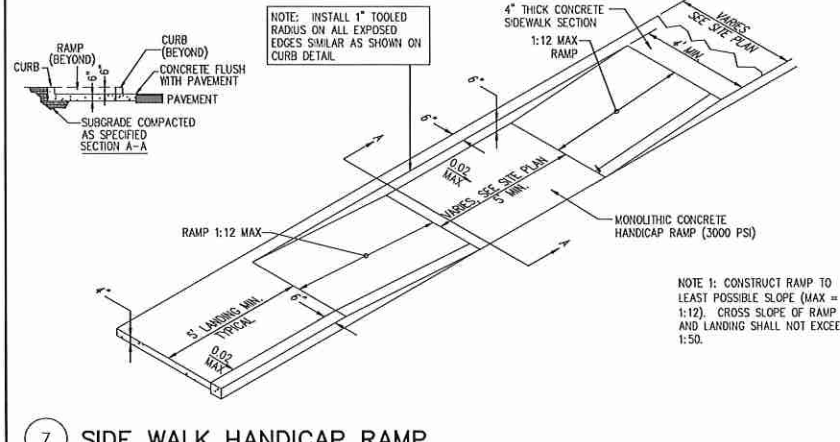
4 SAWED CONSTRUCTION JOINT



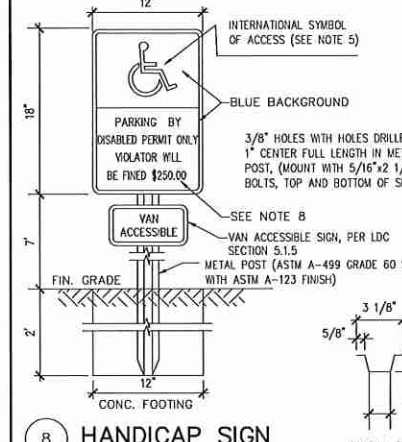
5 STOP BAR W/ SIGNAGE



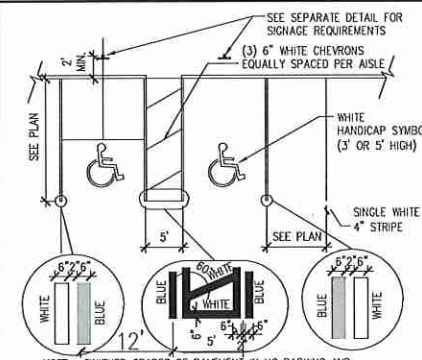
6 TRAFFIC DIRECTIONAL ARROWS



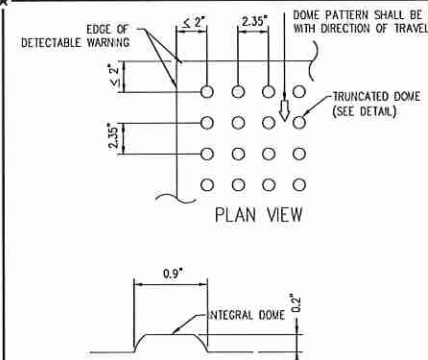
7 SIDE WALK HANDICAP RAMP
(3000 PSI (MIN.) CONCRETE)



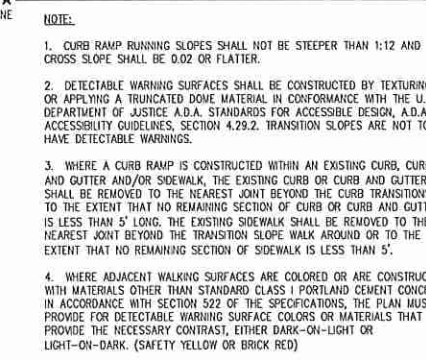
8 HANDICAP SIGN



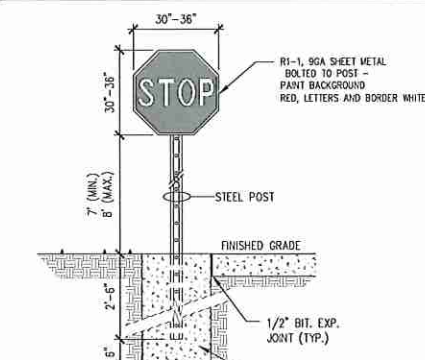
9 HANDICAP STRIPING



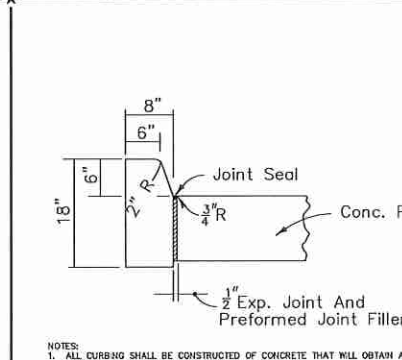
10 CURB RAMP DETECTABLE WARNING
(3000 PSI (MIN.) CONCRETE)



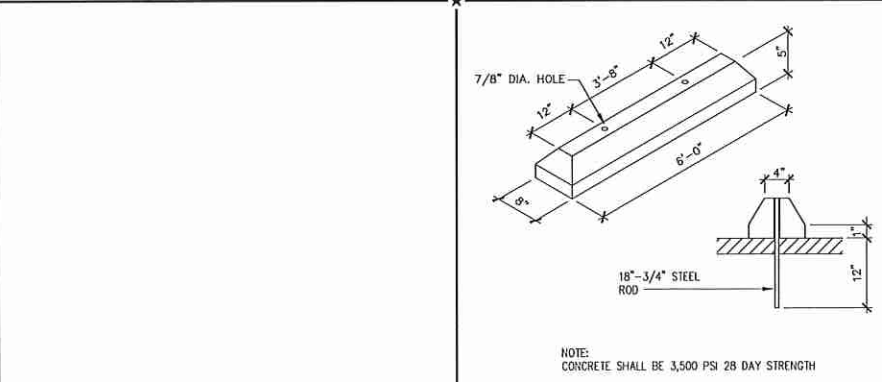
11 STOP SIGN



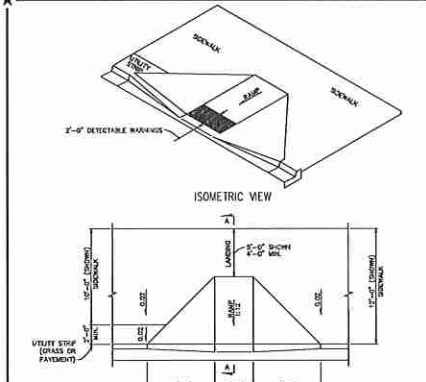
12 FDOT TYPE D CURB
(3,500 PSI (MIN))



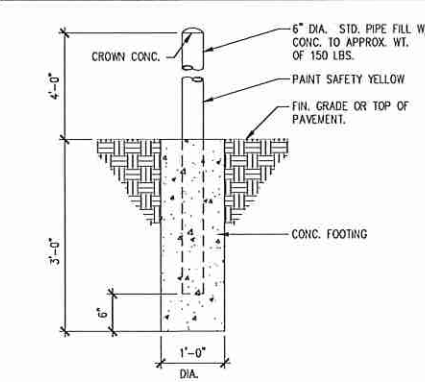
13 SAW CUT DETAIL



14 CONCRETE WHEEL STOP



15 CURB RAMP, CR-A
(PER FOOT INDEX 522-002)



16 BOLLARD



MENOL TRANSPORTATION, INC.
CONSTRUCTION DETAILS
APOPKA, FL

DATE	REVISION	ISSUE DATE	BY

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PROJECT #:
08.2020
DRAWN: LMP CHECKED: LMP
DATE: AUGUST 2020 SHEET: C-7.0
SCALE: N/A
CONSTRUCTION DETAILS

RESTRAINED PIPE TABLE (DI)

PIPE AND APPURTENANCES PRESSURE RATING

TYPICAL VALVE BOX COVER DETAILS

RESTRAINED PIPE TABLE (PVC)

VALVE BOX

UTILITY CROSSING PIPE DEFLECTION DETAIL

TYPE "A" BEDDING AND OPEN-CUT DETAIL

BORING AND JACKING DETAIL

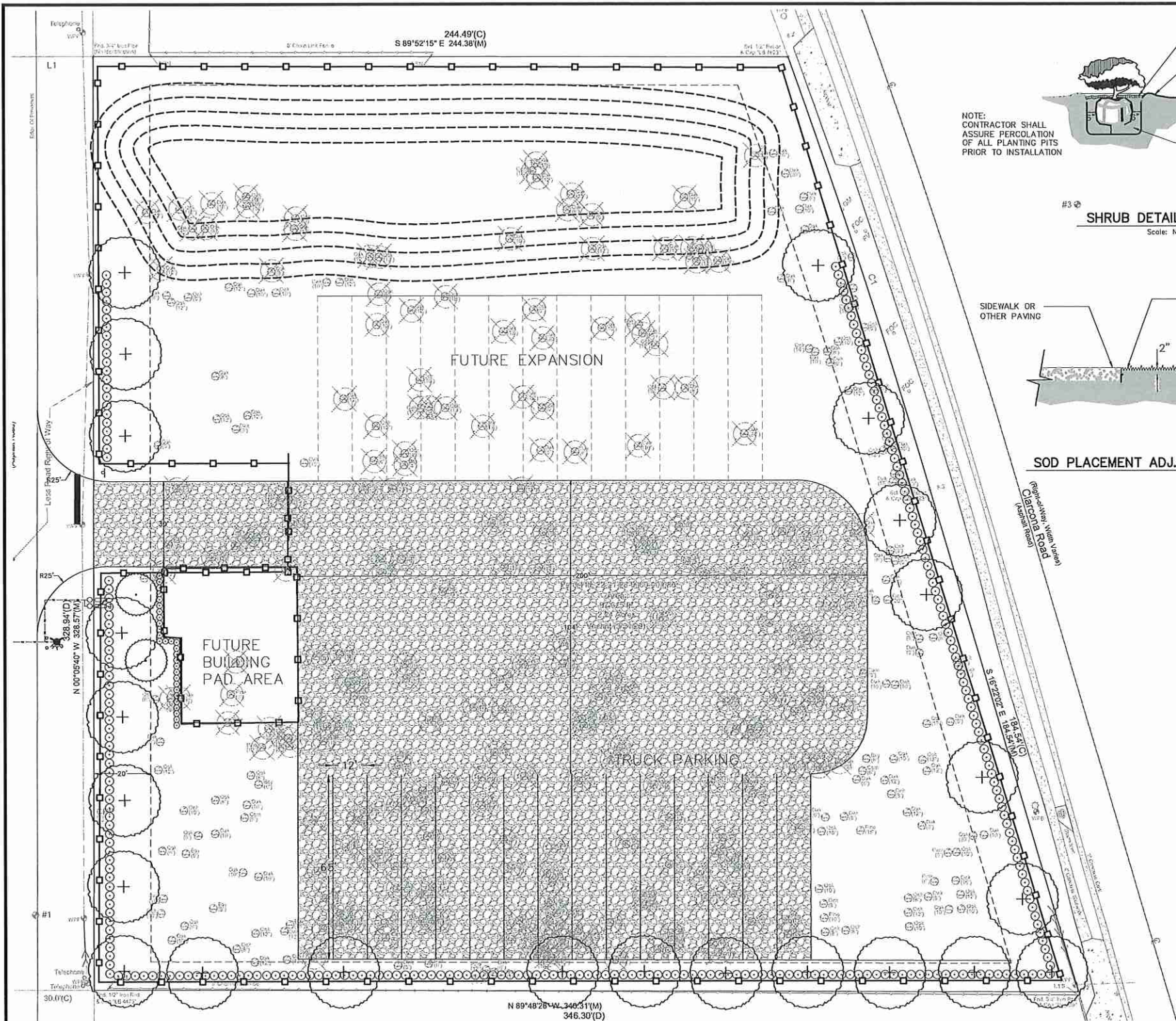
PVC PIPE LOCATING WIRE DETAIL

TYPE "B" BEDDING AND OPEN-CUT DETAIL

WATER MAIN THRUST COLLAR DETAIL

AIR OR COMBINATION AIR/VACUUM
RELEASE VALVE DETAIL - UNDERGROUND

63

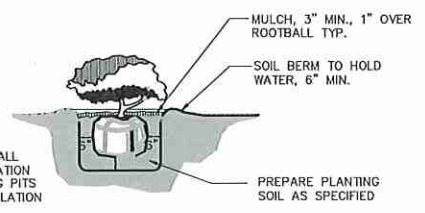


LANDSCAPE PLAN

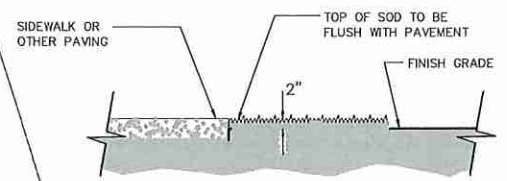
PLANT LIST:

QTY.	ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE & SPECIFICATION
TREES & SHRUBS				
2	LJ	Ligustrum japonicum	Japanese Privet	45 Gal., 2" Total DBH, Multi Trunk, 8'-10' Ht.
23	QV	Quercus virginiana	Live Oak	65 Gal., 3" DBH, 16'-18' Ht.
SHRUBS, VINES & GROUND COVER				
29	WAL	Viburnum obovatum 'Densa'	Dwarf Walter's Viburnum	24" Min. Ht., 3 Gal. 24" O.C.
261	VIB	Viburnum odoratissimum	Sweet Viburnum	36" Min. Ht., 3 Gal. 36" O.C.
SOD & MISCELLANEOUS ITEMS				
SOD	Paspalum notatum	Bahia Solid Sod	SOLID SOD, SOD WILL NOT BE IRRIGATED	
MULCH	Shredded Melaleuca Mulch			

NOTE:
CONTRACTOR SHALL
ASSURE PERCOLATION
OF ALL PLANTING PITS
PRIOR TO INSTALLATION



#3 SHRUB DETAIL
Scale: N.T.S.



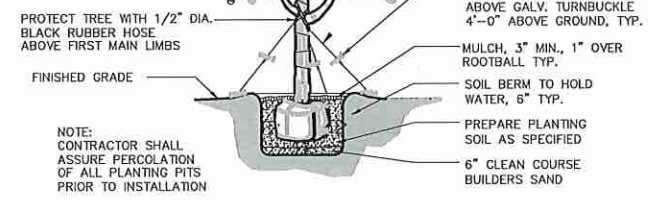
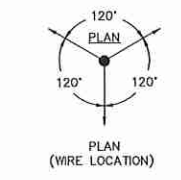
SOD PLACEMENT ADJ. TO PAVEMENT
Scale: N.T.S.

LANDSCAPE NOTES:

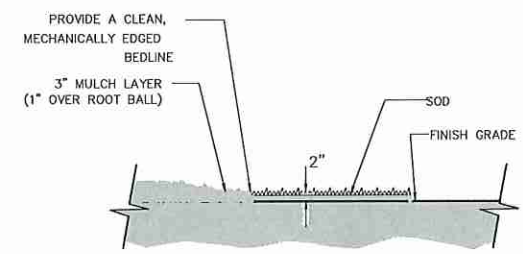
1. All plant material shall be Florida Grade No. 1 or better as specified in "Grades and Standards for Nursery Plants", "Parts 1 and 2, by Division of Plant Industry, Florida", Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurserymen "Standards for Nursery Stock", latest edition.
2. The landscape contractor shall be responsible for verification of quantities the plant list in the event of a conflict between quantities on the plant list and the plans, the plans shall control and the discrepancy shall be brought to the attention of the landscape architect prior to bid. Any deviation from these plans must be approved by the Landscape Architect or owner's representative.
3. Contractor is responsible for compliance with all applicable building codes, ordinances and local regulations. The contractor shall be responsible for obtaining all necessary permits to perform the work.
4. The landscape contractor is responsible for inspection of existing conditions and promptly reporting all discrepancies and improper conditions (wetness, muck, debris, ect) to the Landscape Architect prior to bidding. Contractor is responsible for soil analysis prior to installation of plantings, and is responsible for all soil amendments to conform to specifications.
5. All tree material shall be container grown unless otherwise specified.
6. The landscape contractor shall acquaint himself with all civil drawings as they relate to paving, site grading, and all utilities, (including water, sewer and electrical supply) to preclude any misunderstanding and ensure trouble free installation. The exact location of all existing structures, underground utilities, existing underground sprinklers and pipe may not be indicated on drawings. The contractor shall conduct his work in a manner to prevent interruption or damage to existing systems which must remain operational. The contractor shall protect utility services which must remain operational and shall be responsible for their replacement if damaged by him.
7. Mulch shall be organic and shall not be placed on top of the root ball or placed against the trunk. Mulch shall be applied a minimum of 12" to 18" from the trunk of any sized tree. Materials such as rock and shells that do not biodegrade, are not deemed acceptable. Failure to install mulch (and type of mulch) as provided in the specification above may result in a failed inspection. See <http://hort.ifas.ufl.edu/woody/over-mulching.html> for more information.
8. Refer to specifications for complete requirements.
9. In the event of a conflict between quantities on the plant list and the plans, the plan shall take precedent.

IRRIGATION NOTES:

1. All landscaped areas shall be irrigated with a permanent automatic irrigation system providing 100% coverage.
2. An automatic moisture sensor/shutoff shall be part of the system.
3. All tree, shrub, and groundcover material proposed for this site is medium to low water use. Micro or drip irrigation will be installed in these beds.



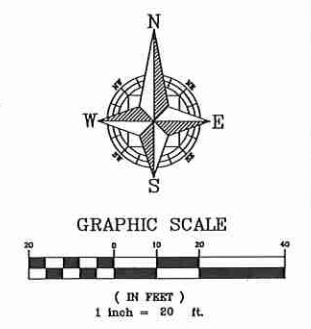
LARGE TREE DETAIL
Scale: N.T.S.



SOD PLACEMENT ADJ. TO MULCH
Scale: N.T.S.

PLANT LEGEND:

- Live Oak
- Japanese Privet
- Existing Tree (To Be Removed)
- Sweet Viburnum
- Walters Viburnum



RCE Consultants
Engineering Real Solutions

MENOL TRANSPORTATION, INC.
LANDSCAPE PLAN
APOPKA, FL

BY:	REVISION / ISSUE DATE:
DATE:	
RC:	

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PROJECT #:
08.2020

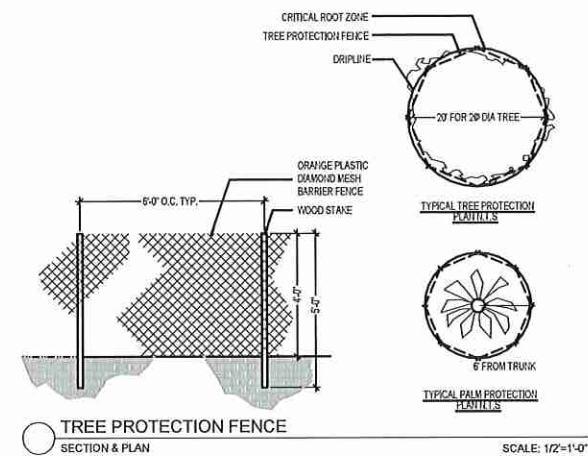
DRAWN/IMP CHECKED: LMP

DATE:
AUGUST 2020

SCALE:
1"=20'

SHEET:
L-1.0

LANDSCAPE PLAN

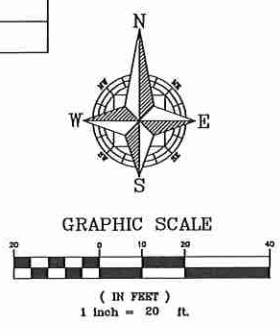


LEGEND

- X = TREE TO BE REMOVED
- [Hatched Box] = TREE PROTECTION AREA

TREE REMOVAL TABLE:

TRUCK PARKING AREA		
QTY.	TYPE	TOTAL INCHES
140	OAK	1413
10	PINE	117
11	BAY	96
5	CAMPBOR	40
POND AREA		
QTY.	TYPE	TOTAL INCHES
30	OAK	333
FUTURE BUILDING PAD AREA		
QTY.	TYPE	TOTAL INCHES
7	OAK	64
3	PINE	26
FUTURE EXPANSION AREA		
QTY.	TYPE	TOTAL INCHES
27	OAK	310
2	BAY	10
TOTAL SITE REMOVAL		
QTY.	TYPE	TOTAL INCHES
204	OAK	2120
13	PINE	143
13	BAY	106
5	CAMPBOR	40



RCE Consultants
Engineering Real Solutions

MENOL TRANSPORTATION, INC.
TREE MITIGATION PLAN
APOPKA, FL

BY:	
REVISION / ISSUE DATE:	
DATE:	
NO:	

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PROJECT #:
08-2020

DRAWN/LMP CHECKED: LMP

DATE: AUGUST 2020

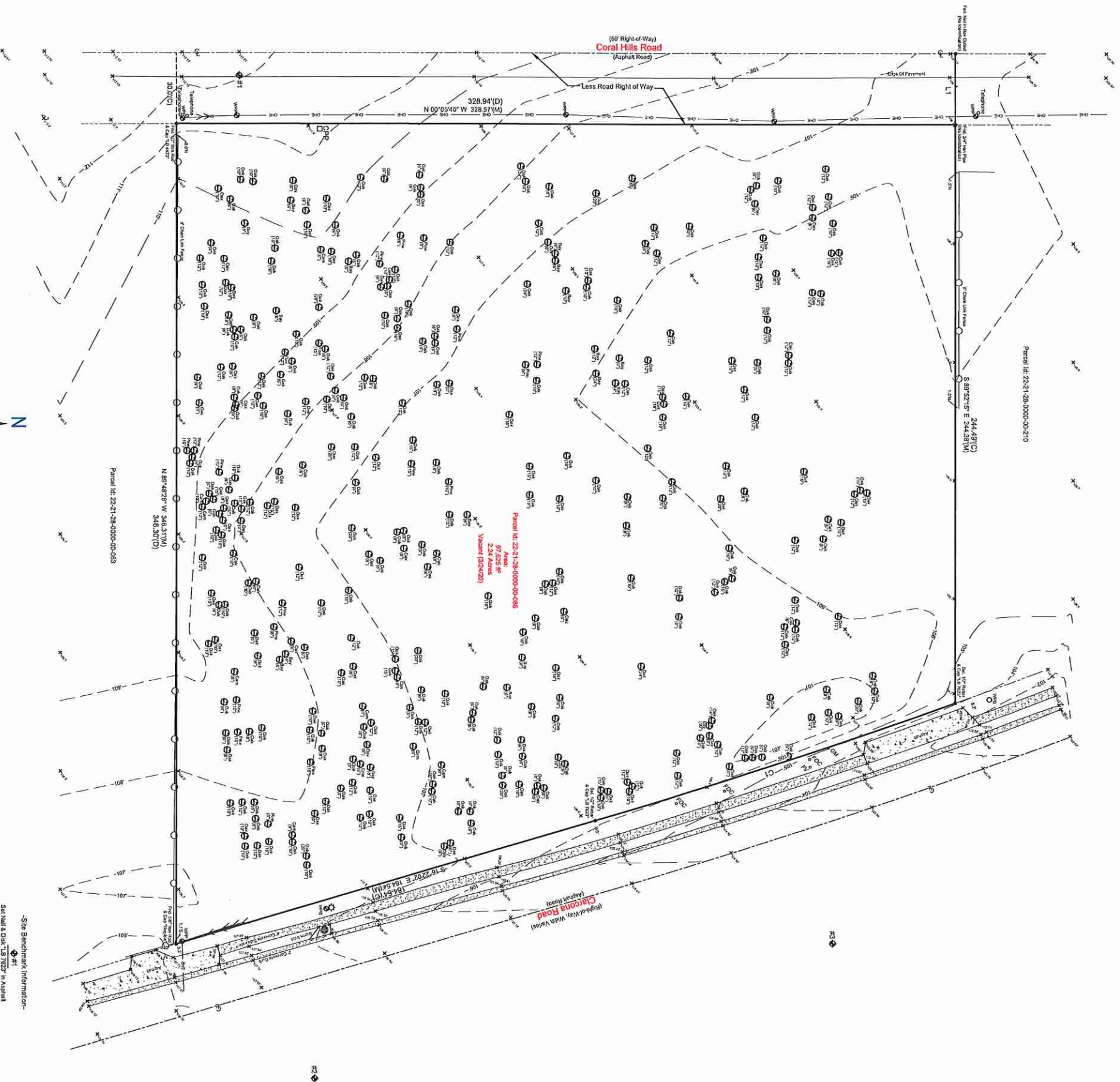
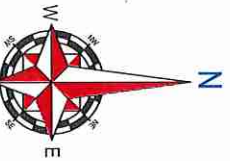
SCALE: 1"=20'

SHEET: T-1.0

TREE MITIGATION PLAN

THE WEST FOR CORAL HILLS ROAD.)

FAIRCLOTH FAMILY, L.L.C.

[illegible]

Plane coordinate system (NAD 83).

Graphic Scale

15 30

 - Storm Marmole
 - FIBER OPTIC CABLE
 - Gas Meter
 - Concrete Light Pole
 - Concrete Power Pole
 - Wood Power Pole
 - Wire Pull Box
 - Guy Anchor
 - Fiber Optic Vault
 WPB
 WPP
 CPD
 Y

S 89°57'00" W 29.78 (M)

S 89°57'00" W 29.78(M)

 $R = 2834.79^\circ(\text{D})$ $\Delta = 0.3-1.359 (C)$
 Chord Barden-

7°59'07" E 159.93(C/M)

Note: The Western Right of Way line at Catacomba Road is based upon the occupation of the roadway.

SURVEYOR'S NOTE:
 IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 64.760 (R14), IF LOCATION OF ANY OF RECORD 01 BEING PART OF THESE RECORD PLATS IS REQUIRED, THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER.

based upon the occupation of the roadway.

SURVEYOR'S NOTE:

IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 62-17.052 (2)(b)4, THE LOCATION OF EASEMENTS OR RIGHT-OF-WAY OF RECORD, OTHER THAN THOSE ON RECORD PLAT IS REQUIRED. THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER.

Site Benchmark Information-

Sub Wall & Disk LBS / 623 in Asphalt
Elevation: 112.00'

— 242 —

ELEVATION: 101.23Self[®] Rebar & Cap "LB 7623"

Benchmark Information

(Elevations are based upon NAVD 83)

of May line of Clarcona Road is

JUDA ADMINISTRATIVE CODE SJ-17.1

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