



City of Apopka Planning Commission Meeting Agenda

March 11, 2014

5:01 PM @ CITY COUNCIL CHAMBERS

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

1. Approve minutes of the Planning Commission meeting held February 11, 2014, at 5:01 p.m.

IV. PUBLIC HEARING:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Norman Sawyer, from "County" Low Medium Density Residential (0-10 du/ac) to "City" Commercial (0.25 FAR), for property located west of Rock Springs Road, on the north side of West Nancy Lee Lane (117 W. Nancy Lee Lane). (Parcel ID # 33-20-28-0000-00-040)
2. CHANGE OF ZONING – Norman Sawyer, from "County" A-1 to "City" C-1, for property located west of Rock Springs Road, on the north side of West Nancy Lee Lane (117 W. Nancy Lee Lane). (Parcel ID # 33-20-28-0000-00-040)
3. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Robert K. Dunn, Et. Al., from Residential Low (0-5 du/ac) to Residential Medium (0-10 du/ac), for property located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-21-28-0000-00-041)

4. CHANGE OF ZONING/MASTER SITE PLAN & PRELIMINARY DEVELOPMENT PLAN – Robert K. Dunn, Et. Al., from “County” R-3 to “City” Planned Unit Development (PUD/R-3), for property located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-21-28-0000-00-041)
5. CHANGE OF ZONING – Debra L. Jones and Steven P. Gill, From R-1AA (0-5 du/ac)(Residential) to R-2 (0-5 du/ac)(Residential), for property located east of Plymouth Sorrento Road, south of Schopke Road. (06-21-28-7172-15-130)
NOTE: Applicant requested this item be postponed until the April 8, 2014 Planning Commission Meeting.
6. LAND DEVELOPMENT CODE AMENDMENT – Amending the City of Apopka Code of Ordinances, Part III, Land Development Code, Article III – Overlay Zones, to create a Small Lot Overlay Zoning District.

V. SITE PLANS:

1. MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – Faircloth Lakes, owned by Faircloth Family Ltd., c/o Holston Properties & Development, LLC; the engineer is IBI Group (Florida) Inc., c/o R. Scott Batterson, P.E. and Luke Classon; and the property is located west of S.R. 451 (f.k.a. S.R. 429) and north of Lake Marshall Road. (PARCEL ID No.: 08-21-28-0000-00-050)
2. FINAL DEVELOPMENT PLAN – Ponkan Reserve South, owned by Miller Investments & Property Management, Inc. and Pizzuti Land LLC; the applicant is Floriday Properties, Inc.; the engineer is June Engineering Consultants, Inc., c/o Jeffrey A. Sedloff and Jimmy Dunn; and the property is located at 308, 318 & 326 Ponkan Road. (Parcel ID Nos.: 28-20-28-0000-00-006, 28-20-28-0000-00-045 & 28-20-28-0000-00-062)

VI. OLD BUSINESS:

Planning Commission

Public

VII. NEW BUSINESS:

Planning Commission

Public

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

- 1 Approve minutes of the Planning Commission meeting held February 11, 2014, at 5:01 p.m.

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON FEBRUARY 11, 2014,
AT 5:01 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.**

MEMBERS PRESENT: Steve Hooks, Mallory Walters, Ben Dreiling, James Greene, Teresa Roper, and Robert Ryan

ABSENT: Melvin Birdsong, Orange County Public Schools (Non-voting)

OTHERS PRESENT: R. Jay Davoll, P.E. – Community Development Director/City Engineer, David Moon, AICP - Planning Manager, Michael Cooper, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

OPENING AND INVOCATION: Chairperson Hooks called the meeting to order and asked for a moment of silent meditation. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Hooks asked if there were any corrections or additions to the January 14, 2014 minutes. With no one having any corrections or additions, he asked for a motion to approve the minutes of the Planning Commission meeting held January 14, 2014.

Motion: James Greene made a motion to approve the Planning Commission minutes from the January 14, 2014 meeting, and Teresa Roper seconded the motion. Aye votes were cast by Steve Hooks, Mallory Walters, Ben Dreiling, James Greene, Teresa Roper, and Robert Ryan (6-0).

CHANGE IN ZONING – COOPER PALMS COMMERCE CENTER – Jay Davoll, P.E., Community Development Director/City Engineer, stated this is a request to recommend approval of the Change of Zoning from I-1 (Industrial) to Planned Unit Development (PUD/I-1 - Industrial) for the property owned by Property Industrial Enterprises, Inc., c/o Michael Cooper and ELRO Properties, LLC. The applicant is Property Industrial Enterprises, Inc., c/o Michael Cooper. The property is located south of 1st Street, north of 3rd Street, east of South Bradshaw Road and west of South Hawthorne Avenue. The existing use is a platted 12 lot industrial subdivision. The proposed development is mixed use industrial, commercial or office uses within a business park. The existing and proposed maximum allowable development is 461,039 square feet. The tract size is 17.64 +/- acres. This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the record.

An eastern portion of the subject property was annexed into the City of Apopka on September 5, 2012, through the adoption of Ordinance No. 2267; and a western portion on July 18 1990, through the adoption of Ordinance No. 622. The proposed zoning change is requested by the applicant. At this time the property owner is requesting that the City to rezone the property to Planned Unit Development to accommodate a maximum building height of seventy-five feet.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change.

The proposed rezoning will not increase the number of permanent residential uses presently occurring at the subject site. A capacity enhancement agreement with OCPS is not necessary for the City to adopt this Change of Zoning.

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JANUARY 14, 2014, AT 5:01 P.M.

The JPA requires the City to notify the County before any public hearing or advisory board. The City properly notified Orange County on January 22, 2014.

The subject property butts the Florida Central railroad track and 1st Street to the north, Bradshaw Road to the west, vacant industrial property to the south and existing residential, commercial and industrial uses to the east. Current character of the surrounding area along Bradshaw Road is existing small business industrial parks and vacant industrial lands. To the north the development character is dominated by retail commercial and warehousing uses. To the east, a small number of single family homes occur but are located in an area that will transition to industrial or commercial based on assigned zoning and development trends.

The proposed Planned Unit Development zoning designation is consistent with the Future Land Use Designation of Industrial assigned to the property. Site development cannot exceed the densities and intensities allowed by the Future Land Use policies.

The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property with the following Master Plan provisions is subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be all those uses allowed within the I-1 zoning category.
- B. All development standards set forth in the Land Development Code and Development Design Guidelines shall apply to development within the PUD unless as otherwise allowed and defined as follows:
 1. Building Height. Maximum building height is seventy-five (75) feet above ground elevation.
 2. Building Separation. A building shall be no closer than twenty feet to another building whether located on the same lot or parcel or an abutting lot or parcel. However, the City may require a greater building separation distance if determined that a public health or safety risk may potentially occur from the location of an industrial building or use next to a commercial, office or institutional building or use, or vice versa.
 3. Signage shall comply with the City's sign codes unless otherwise approved through a master sign plan.

Permitted uses allowed within the I-1 zoning district are listed below. All uses allowed within the following zoning districts are also allowed within properties assigned the I-1 zoning district: C-3, C-2, C-1, PO/I, and CN. Any C-3 Commercial District permitted use; Manufacture and processing of novelties, souvenirs, bakery or confectionery products, garments, scientific, electrical, optical and precision instruments or equipment, computers, advanced electronics, lasers and robotics, batteries, boats, building products, ceramics, chemical products, dairy products, electrical machinery and equipment, furniture, decorating materials, upholstering materials, glass and glass products, metal plastic or cardboard containers, paint or varnish, pharmaceutical products, photographic equipment and supplies, shoes and leather goods, signs, textiles, and tires, etc.; Bus, cab and truck repair; Dyeing, dry cleaning and laundering; Machinery sales; Machine shops; Meat storage, cutting and distribution; Adult entertainment consistent with the standards of the Apopka Municipal Code; Bottling and distribution plants; ice cream

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JANUARY 14, 2014, AT 5:01 P.M.

manufacturers; Warehouses; Testing of materials, equipment and products; Cold storage and frozen food lockers; Frozen food lockers; Book binding, lithography and publishing plants; Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this Code. Use determination shall be based upon the community development director's recommendation; and Guard or custodian living quarters may be permitted as an accessory use when attached to one primary structure.

The Development Review Committee recommends approval of the change in Zoning from I-1 to Planned Unit Development (PUD/I-1) for the property owned by Property Industrial Enterprises, Inc., c/o Michael Cooper; and ELRO Properties LLC, subject to the PUD standards set forth in the Zoning Report.

The City Council, at its meeting on February 5, 2014, accepted the First Reading of Ordinance No. 2346 and Held it Over for Second Reading and Adoption on February 19, 2014, subject to a recommendation of approval by the Planning Commission.

Planning Commission's role is advisory to City Council regarding compliance with the Land Development Code and Comprehensive Plan.

Chairperson Hooks opened the meeting for public hearing. With no one wishing to speak, Chairperson Hooks closed the public hearing.

Motion: James Greene made a motion to recommend approval of the Cooper Palms Commerce Center Change in Zoning from I-1 (Industrial) to Planned Unit Development (PUD/I-1 - Industrial), subject to the information and findings in the staff report, and Mallory Walters seconded the motion. Aye votes were cast by Steve Hooks, Mallory Walters, Ben Dreiling, James Greene, Teresa Roper, and Robert Ryan (6-0).

REPLAT – COOPER PALMS COMMERCE PARK – Mr. Davoll stated this is a request to recommend approval of the replat for Cooper Palms Commerce Center. The owners are Property Industrial Enterprises, Inc., c/o Michael Cooper and ELRO Properties, LLC. The applicant is Property Industrial Enterprises, Inc., c/o Michael Cooper. The engineering firm is Tehrani Engineering Consulting, c/o Al Tehrani, P.E. The property is located south of 1st Street, north of 3rd Street, east of South Bradshaw Road and west of South Hawthorne Avenue. The existing use is a platted 12 lot industrial subdivision. The proposed use is a replat of a portion of the Cooper Palms Commerce Center affecting Lots 1, 2, 3 and 4 and the Athletes Row area. The property is not located within an overlay zone. The tract size is 17.64 +/- acres. This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the record.

Owners of lots within the Cooper Palms Commerce Park Plat request approval of a modification to the existing plat to address changes to their development plans for the property. These changes are not substantial and involve the shifting of lot lines to accommodate proposed development of lots 1 through 4. All property owners affected by the modification are applicants of the replat application. Development of all lots appearing within the Cooper Palms Commerce Park Replat are subject to zoning and development standards set forth in the assigned PUD zoning (Ordinance No. 2346).

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JANUARY 14, 2014, AT 5:01 P.M.

The Development Review Committee recommends approval of the Cooper Palms Commerce Park Replat, subject to the findings of the staff report and the conditions of approval.

Chairperson Hooks opened the meeting for public hearing. With no one wishing to speak, Chairperson Hooks closed the public hearing.

Motion: **Mallory Walters made a motion to recommend approval of the Cooper Palms Commerce Center Replat, subject to adoption of the zoning change and the information and findings in the staff report; and Teresa Roper seconded the motion. Aye votes were cast by Steve Hooks, Mallory Walters, Ben Dreiling, James Greene, Teresa Roper, and Robert Ryan (6-0).**

OLD BUSINESS:

Planning Commission: None
Public: None

NEW BUSINESS:

Planning Commission: None
Public: None

ADJOURNMENT: The meeting was adjourned at 5:06 p.m.

Steve Hooks, Chairperson

R. Jay Davoll, P.E.
Community Development Director

Backup material for agenda item:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE
AMENDMENT – Norman Sawyer, from “County” Low Medium Density
Residential (0-10 du/ac) to “City” Commercial (0.25 FAR), for property located
west of Rock Springs Road, on the north side of West Nancy Lee Lane (117 W.
Nancy Lee Lane). (Parcel ID # 33-20-28-0000-00-040)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING	DATE:	March 11, 2014
☐ ANNEXATION	FROM:	Community Development
☐ PLAT APPROVAL	EXHIBITS:	Land Use Report
☐ OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map

SUBJECT: NORMAN SAWYER – COMPREHENSIVE PLAN – SMALL SCALE –
FUTURE LAND USE AMENDMENT

PARCEL ID NUMBER: 33-20-28-0000-00-040

Request: COMPREHENSIVE PLAN - SMALL SCALE
FUTURE LAND USE AMENDMENT
FROM: “COUNTY” LOW MEDIUM DENSITY RESIDENTIAL (0-10 DU/AC)
TO: “CITY” COMMERCIAL (0.25 FAR)

SUMMARY

OWNER/APPLICANT: Norman E. Sawyer

LOCATION: West of Rock Springs Road, on the north side of Nancy Lee Lane (117 W. Nancy Lee Lane)

EXISTING USE: Vacant Land

CURRENT ZONING: “County” A-1

PROPOSED DEVELOPMENT: Commercial or office use and associated accessory uses.

PROPOSED ZONING: “County” A-1 (Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” A-1 to “City” C-1)

TRACT SIZE: 0.83 +/- acre

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 8 residential units
PROPOSED: 9,038 sq. ft.

DISTRIBUTION

Mayor Land
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir. (2)
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on December 4, 2013, through the adoption of Ordinance No. 2338. The proposed Small-Scale Future Land Use Amendment is being requested by the applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a C-1 zoning category to the Property is being processed in conjunction with this future land use amendment request for a Commercial designation. The zoning application covers approximately 0.83 acre. The property owner intends to use the property for commercial purposes. Adjacent to the 0.83 acre site is a 6.6 acre parcel also owned by the applicant and which is currently assigned a zoning category of C-1 commercial. Outdoor storage is not allowed within C-1 uses. Outdoor storage of recreation vehicles and boats currently occurs at the larger adjacent parcel. However, this is a legal non-conforming activity. Outdoor storage is not allowed on the 0.83 acre parcel.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed Commercial land use designation is compatible with surrounding area. Land abutting to the west and north are presently assigned a Commercial future land use designation. Primary access to the subject parcel occurs from the parcel to the north.

SCHOOL CAPACITY REPORT:

Because this Future Land Use Amendment assigns a “City” non-residential designation to the subject property, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION:

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on February 7, 2014.

PUBLIC HEARING SCHEDULE:

March 11, 2014 – Planning Commission (5:01 pm)
March 19, 2014 – City Council (8:00 pm) - 1st Reading
April 2, 2014 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 21, 2014 – Public Notice and Notification
March 21, 2014 – Ordinance Heading Ad
March 28, 2014 – ¼ Page w/map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in Future Land Use from “County” Low Medium Density Residential (0-10 du/ac) to “City” Commercial for the property owned by Norman Sawyers located at 117 W. Nancy Lee Lane.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-1	Boat and RV Storage (owned by applicant)
East (County)	Residential Low (0-5 du/ac)\ Commercial	A-1\ (City) C-1	Vacant res. lot, single family home; commercial buildings
South (City)	Residential Low (0-5 du/ac)	R-3	Single-Family Residences
West (City)	Commercial	C-1	Boat and RV Storage (owned by applicant)

II. LAND USE ANALYSIS

The general character of the area surrounding the

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Core Area” of the JPA. The proposed FLUM Amendment request a change from “County” Low-Medium Residential to “City” Commercial is no conflict with any the terms of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basing Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The Property fronts West Nancy Lee Lane. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain is level.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.i Commercial Future Land Use designation, and the Joint Planning Agreement with Orange County. At the time development occurs on the property, a thirty-foot wide landscape buffer and a six-foot high masonry wall is required adjacent to parcels assigned a residential zoning category.

Analysis of the relationship of the amendment to the population projections: This property was annexed into the City on December 4, 2013. The proposed future land use designation for the Property is Commercial. Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): 8 Unit(s) x 2.659 p/h = 21 persons

PROPOSED (City designation): 0 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than one acre. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None ; N/A GPD/Capita; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 1568 GPD
3. Projected total demand under proposed designation: 1356 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: Private Well ; N/A GPD/Capita; 177 GPD/Capita

If the site is not currently served, please indicate the designated service provider:

City of Apopka

2. Projected total demand under existing designation: 3632 GPD
3. Projected total demand under proposed designation: 1808 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment:
None
8. Parcel located within the reclaimed water service area: No

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 84 lbs./day/1000 SF
4. Projected LOS under proposed designation: 18 lbs./day/1000 SF
5. Improved/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21,981 mil. GPD

Total design capacity of the water treatment plant(s): 33,696 mil. GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 24 hour design storm
3. Projected LOS under proposed designation: 100 year - 24 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

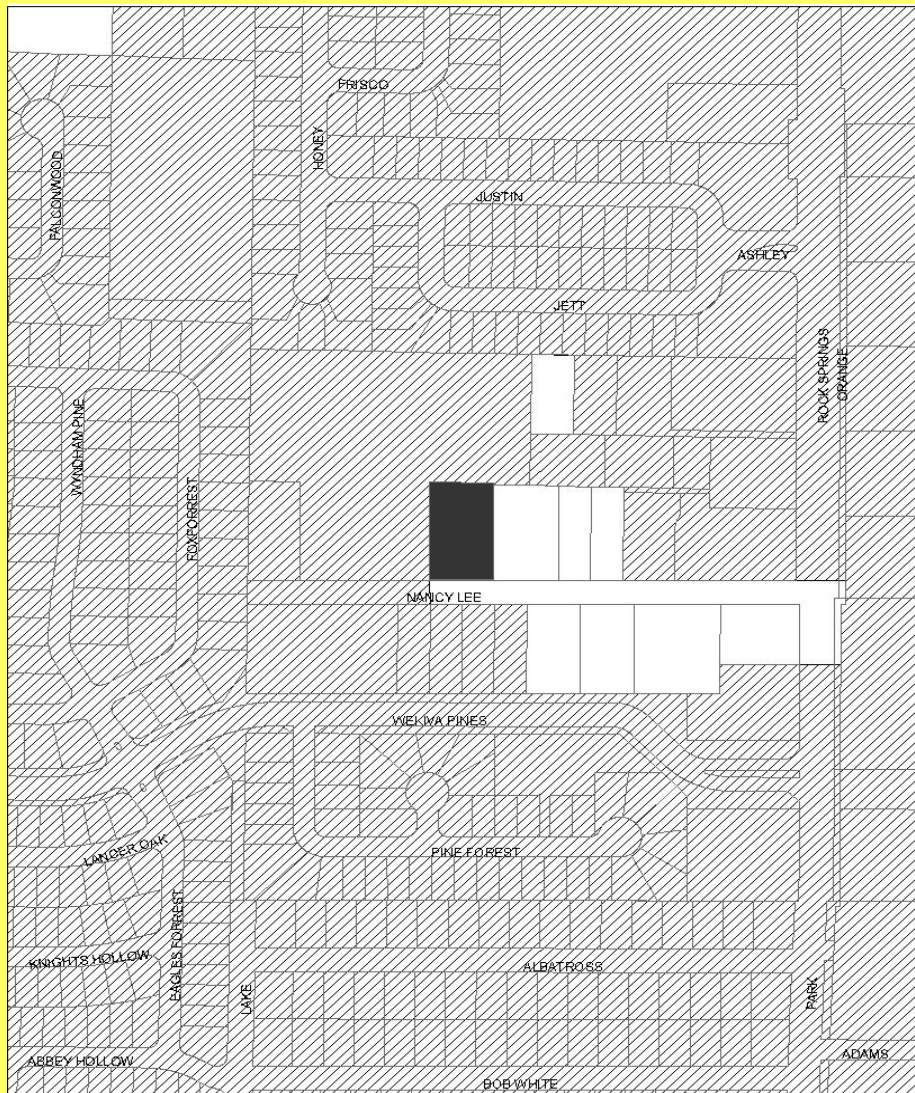
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.063 AC
3. Projected facility under proposed designation: N/A AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

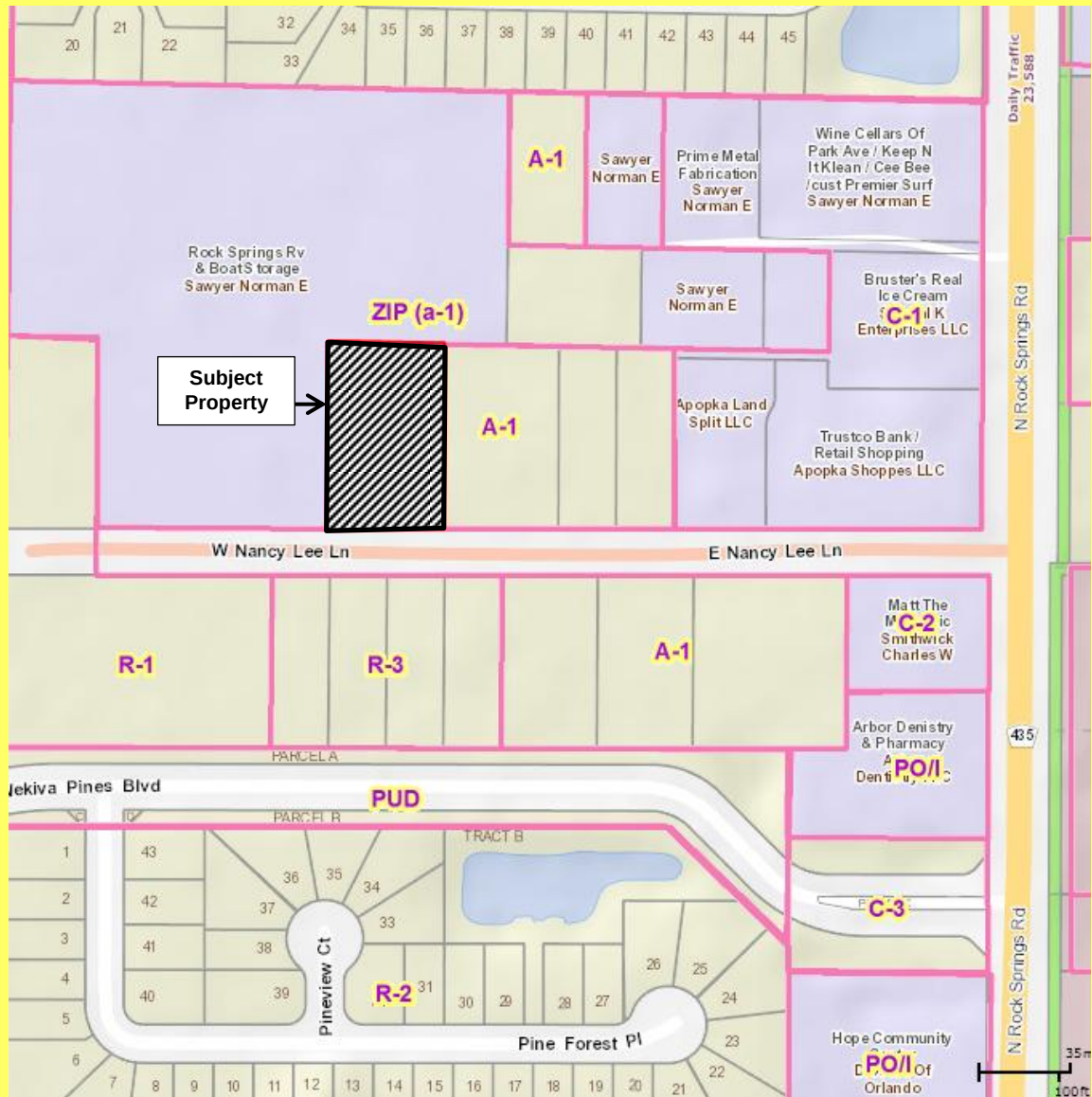
Norman Sawyer
117 West Nancy Lee Lane
0.83 +/- Acres
Existing Maximum Allowable Development: 8 Units
Proposed Maximum Allowable Development: 9,038 sq. ft.
Proposed Future Land Use Change
From: "County" Low Medium Density Residential (0-10 du/ac)
To: "City" Commercial
Proposed Zoning Change
From: "County" A-1
To: "City" C-1
Parcel ID #: 33-20-28-0000-00-040



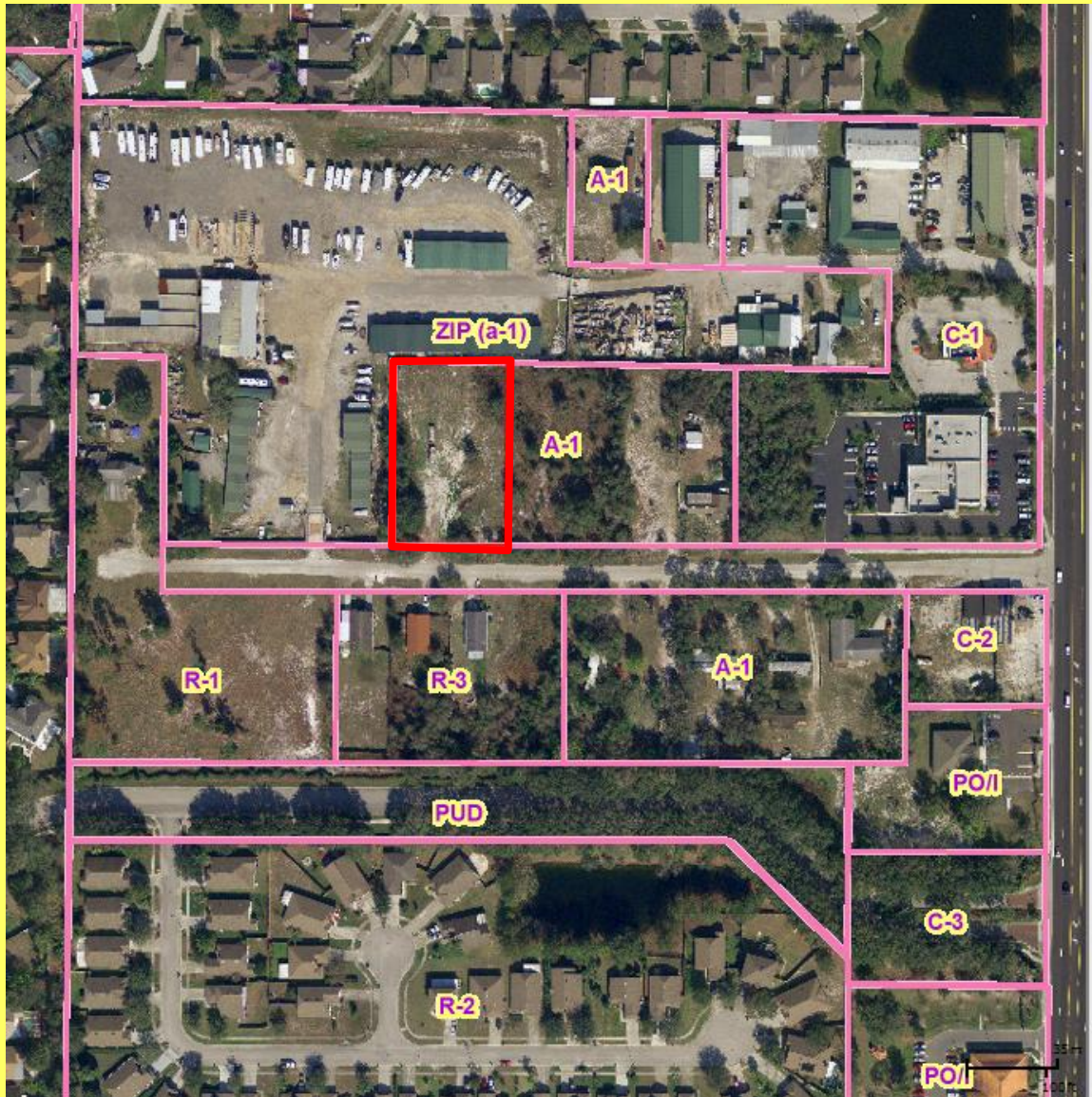
VICINITY MAP



ADJACENT ZONING



ADJACENT USES



Backup material for agenda item:

2. CHANGE OF ZONING – Norman Sawyer, from “County” A-1 to “City” C-1, for property located west of Rock Springs Road, on the north side of West Nancy Lee Lane (117 W. Nancy Lee Lane). (Parcel ID # 33-20-28-0000-00-040)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING	DATE:	March 11, 2014
☐ ANNEXATION	FROM:	Community Development
☐ PLAT APPROVAL	EXHIBITS:	Zoning Report
☐ OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map

SUBJECT: NORMAN SAWYER – CHANGE OF ZONING

PARCEL ID NUMBER: 33-20-28-0000-00-040

Request: CHANGE OF ZONING
FROM: “COUNTY” A-1
TO: “CITY” C-1

SUMMARY

OWNER/APPLICANT: Norman E. Sawyer

LOCATION: West of Rock Springs Road, on the north side of Nancy Lee Lane (117 W. Nancy Lee Lane)

EXISTING USE: Vacant Land

CURRENT ZONING: “County” A-1

PROPOSED DEVELOPMENT: Commercial and offices uses and associated accessory uses

PROPOSED ZONING: “City” C-1 (Commercial) (Note: this Change of Zoning request is being processed along with a request to change the Future Land Use designation from “County” Low Medium Density Residential (0-10 du/ac) to “City” Commercial (0.25 FAR)

TRACT SIZE: 0.83 +/- acre

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 8 Residential Units
PROPOSED: 9,038 sq. ft.

DISTRIBUTION

Mayor Land
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir. (2)
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on December 4, 2013, through the adoption of Ordinance No. 2338. The proposed change of zoning is being requested by the applicant.

In conjunction with state requirements, staff has analyzed the proposed zoning amendment request and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed C-1 zoning designation is consistent with the proposed Commercial future land use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT:

Because this change of zoning represents a change to a non-residential designation, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION:

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on February 7, 2014.

PUBLIC HEARING SCHEDULE:

March 11, 2014 – Planning Commission (5:01 pm)
March 19, 2014 – City Council (8:00 pm) - 1st Reading
April 2, 2014 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 21, 2014 – Public Notice and Notification
March 21, 2014 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the change in zoning from “County” A-1 to “City” C-1 for the property owned by Norman Sawyer, located at 117 W. Nancy Lee Lane.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-1	Boat and RV Storage (owned by the applicant)
East (County)	Residential Low (0-5 du/ac)	A-1	Vacant residential lot; single family resident; commercial businesses
South (City)	Residential Low (0-5 du/ac)	R-3	Single-Family Residences
West (City)	Commercial	C-1	Boat and RV Storage (owned by the applicant)

LAND USE &

TRAFFIC COMPATIBILITY: The proposed zoning category of C-1 is consistent and compatible with the character of the surrounding area. Properties adjacent to the subject site are assigned a Future Land Use Designation of Commercial or Residential Low (0-5 du/ac). Located along West Nancy Lee Lane, the subject property is approximately 600 feet west of Rock Springs Road, a designated Major Arterial road. West Nancy Lee Lane is a dead-end local street with access only from the east. Along the north side of Nancy Lee Lane property with internal access to Rock Springs Road has been allowed commercial zoning. At the time of development, the subject property will be required to have internal access. The parcel will also be required to consolidate with the larger abutting commercial parcel to form one unified parcel.

The property owner requests to assign a zoning category consistent with the proposed Future Land Use Designation.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed City C-1 zoning is consistent with the City's Commercial Future Land Use category. Development Plans shall not exceed the intensity allowed for the adopted Future Land Use Designation.

C-1 DISTRICT REQUIREMENTS:

Minimum Site Area:	10,000 sq. ft.
Minimum Lot Width:	100 ft.
Setbacks- Front:	50 ft.
Rear:	10 ft.
Side:	10 ft.

**BUFFERYARD
REQUIREMENTS:**

Areas adjacent to all road rights-of-way shall provide a minimum ten-foot landscaped bufferyard; Areas adjacent to agricultural and residential uses or districts shall provide a minimum six-foot-high masonry wall within a thirty-foot landscaped bufferyard; and areas adjacent to nonresidential uses or districts shall provide a minimum five-foot landscaped bufferyard.

**ALLOWABLE
USES:**

Any nonresidential permitted use in the PO/I or CN districts; Retail establishments; Banks, savings and loan and other financial institutions; Bowling alleys, skating rinks, billiard parlors and similar amusement centers, provided such activities and facilities are enclosed within a sound-proof building; Churches and schools; Day nurseries, kindergartens and other child care centers; Drive-in restaurants, with property lines no closer than 200 feet from any residential districts or uses; Florist shops, the products of which are displayed and sold wholly within an enclosed building; Hotels, motels, bed and breakfast facilities; Personal service establishments such as barbershops, beauty parlors, professional and other offices, parking garages and lots, laundry and dry cleaning pickup station, self-service coin-operated laundry and dry cleaning establishments, shoe shine and repair, tailoring, travel services, watch and clock repair and locksmiths, etc.; Post offices; Restaurants; Theaters, enclosed in structures; Clubs and lodges; Funeral parlors, when the sole use of the facility shall be for funeral rites; Animal clinics for the treatment of small animals, excluding farm animals, but including those animals no larger than a dog, commonly kept as pets in a residence, provided the care, treatment or housing of such animals shall not be allowed on the outside; and Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation. Outdoor storage as an accessory use to the business requires a special exception approval by the City.

Norman Sawyer
117 West Nancy Lee Lane
0.83 +/- Acres

Existing Maximum Allowable Development: 8 Units

Proposed Maximum Allowable Development: 9,038 sq. ft.

Proposed Future Land Use Change

From: “County” Low Medium Density Residential (0-10 du/ac)

To: “City” Commercial

Proposed Zoning Change

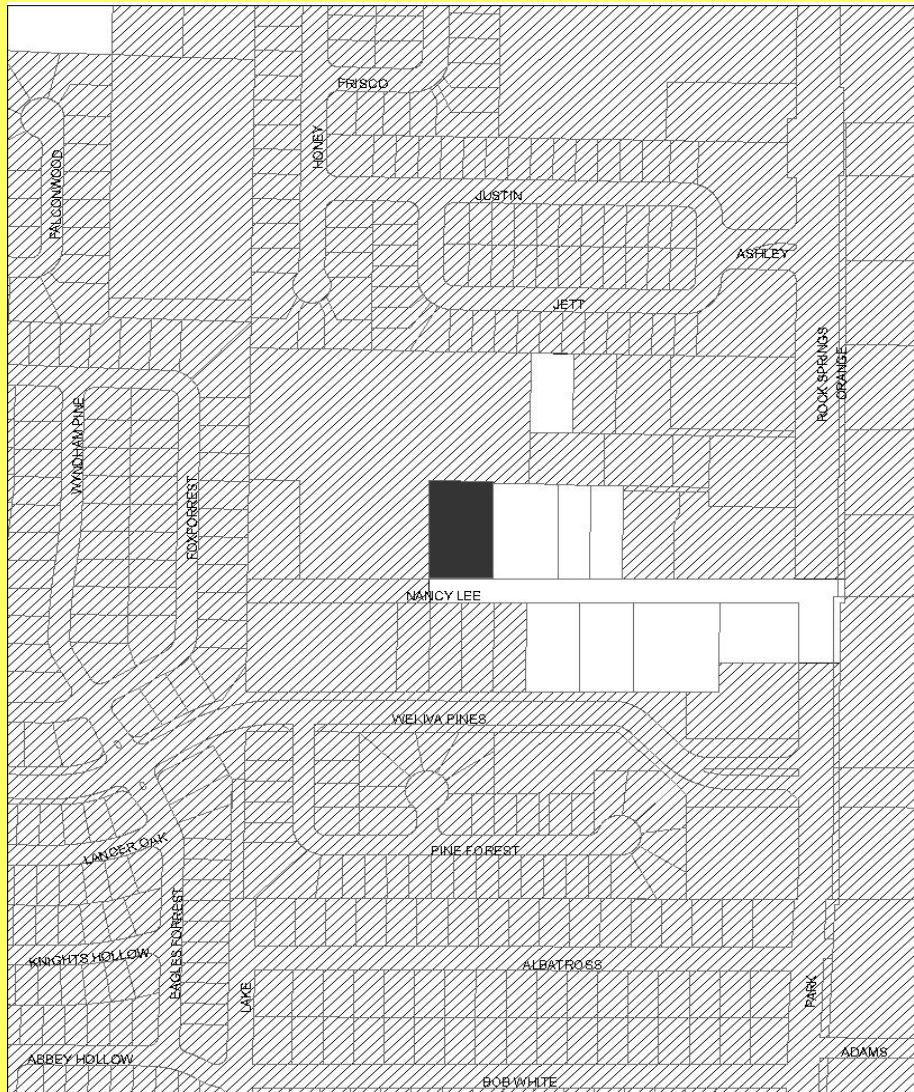
From: “County” A-1

To: “City” C-1

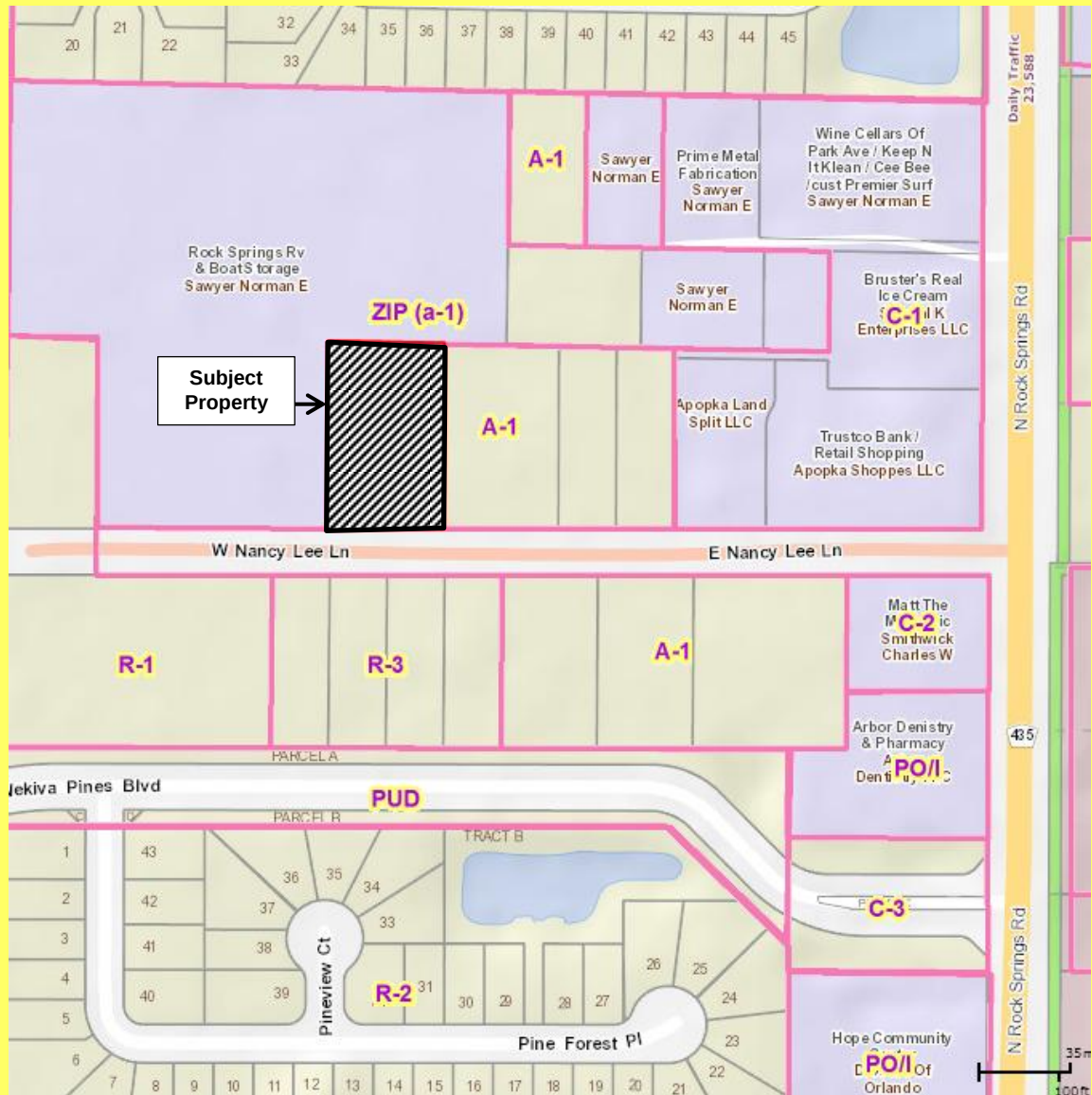
Parcel ID #: 33-20-28-0000-00-040



VICINITY MAP

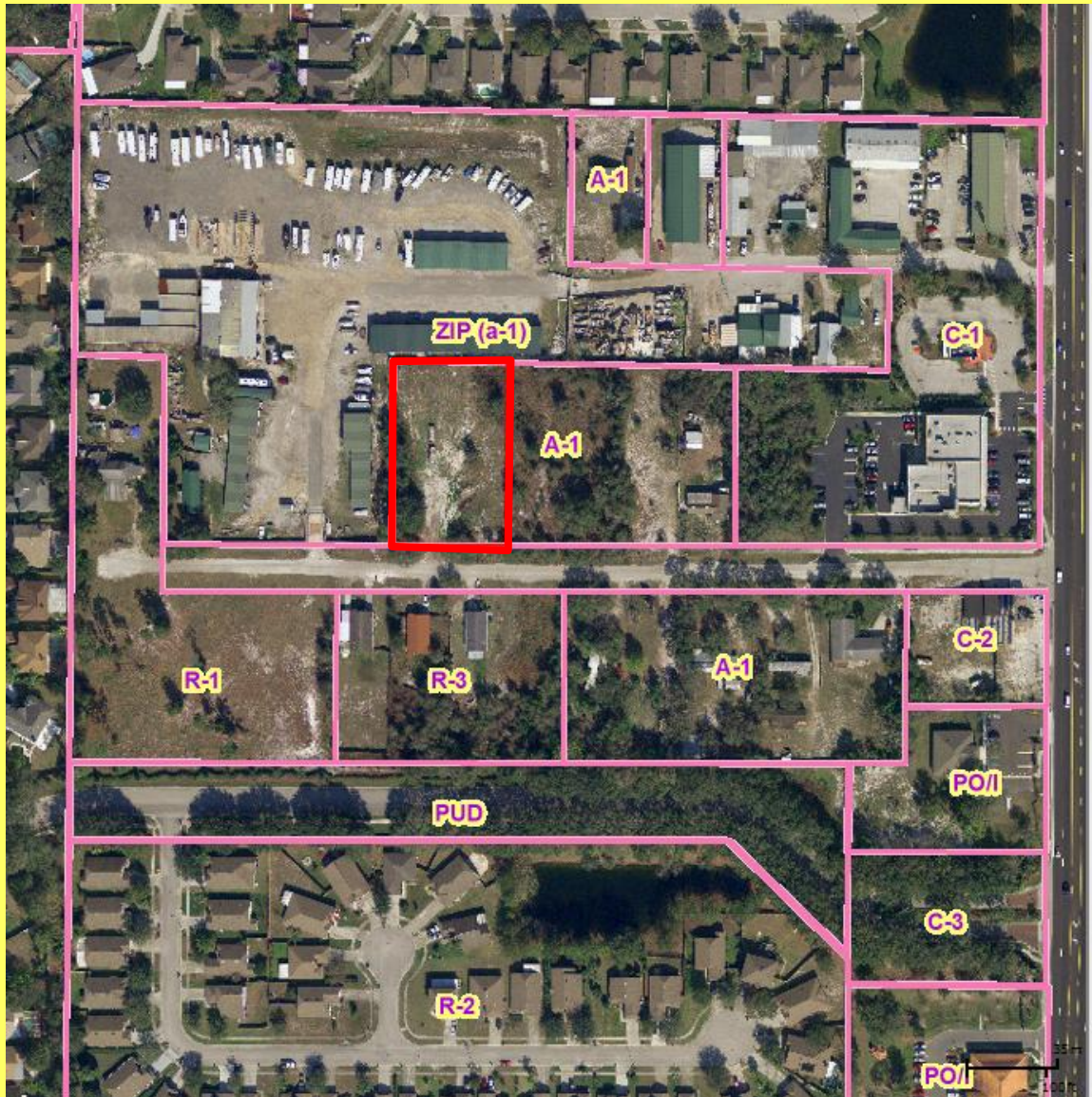


ADJACENT ZONING





ADJACENT USES



Backup material for agenda item:

3. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE
AMENDMENT – Robert K. Dunn, Et. Al., from Residential Low (0-5 du/ac) to
Residential Medium (0-10 du/ac), for property located north of Old Dixie
Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID
#s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-
21-28-0000-00-041)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING	DATE:	March 11, 2014
☐ ANNEXATION	FROM:	Community Development
☐ PLAT APPROVAL	EXHIBITS:	Land Use Report
☐ OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map

SUBJECT: **ROBERT K. DUNN ET AL – COMPREHENSIVE PLAN – SMALL SCALE
– FUTURE LAND USE AMENDMENT**

PARCEL ID NUMBERS: **05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035, AND 05-21-28-0000-00-041**

Request: **COMPREHENSIVE PLAN - SMALL SCALE
FUTURE LAND USE AMENDMENT
FROM: RESIDENTIAL LOW (0-5 DU/AC)
TO: RESIDENTIAL MEDIUM (0-10 DU/AC)**

SUMMARY

OWNER: Robert K. Dunn, et al

APPLICANT: Hudak Engineering, Inc., c/o Greg Hudak, P.E.

LOCATION: North of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway

EXISTING USE: Vacant Land

CURRENT ZONING: “County” R-3 (residential apartments)

PROPOSED DEVELOPMENT: Assisted Living Facility (ALF) (max. 140-bed facility)

PROPOSED ZONING: “City” Planned Unit Development (PUD/R-3) Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” R-3 to “City” Planned Unit Development (PUD/R-3)

TRACT SIZE: 6.99 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT:

EXISTING:	38 residential units (83 ALF beds)
PROPOSED:	77 residential units (147 ALF beds)

DISTRIBUTION

Mayor Land	Finance Dir.	Public Ser. Dir. (2)
Commissioners (4)	HR Director	City Clerk
CAO Richard Anderson	IT Director	Fire Chief
Community Dev. Dir.	Police Chief	

ADDITIONAL COMMENTS:

The subject parcels were annexed into the City of Apopka on December 18, 2002, through the adoption of Ordinance No. 1555. The proposed Small-Scale Future Land Use Amendment is being requested by the applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Planned Unit Development (PUD/R-3) zoning category to the Property is being processed in conjunction with this future land use amendment request for a Commercial designation. The future land use and zoning application covers approximately 6.98 +/- acres. The property owner intends to use the site for an assisted living facility (ALF).

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed future land use designation of Residential Medium will allow a maximum residential density of 10 units per acre for a total of 77 residential units. If approved for and developed as an assisted living facility, as proposed by the applicant, the Land Development Code (Sec. 2.01.02.5.d) in concert with the Comprehensive Plan will allow a maximum of approximately 175 residential beds.

Based on existing residential densities, the Residential Medium (max. 10 du/ac) future land use designation is compatible in character to the area to the west, but not the character of the areas to the north and east. A future land use designation of Residential Medium Low (max. 7.5 un/ac) is compatible with the densities and character of the surrounding areas subject to development occurring in compliance with policies of the Comprehensive Plan and consistent with the Land Development Code. If approved for and developed as an assisted living facility, the Low Medium land use designation will allow a maximum of approximately 130 residential beds.

SCHOOL CAPACITY REPORT:

Staff has notified Orange County Public Schools (OCPS) of the proposed Future Land Use Map Amendment. The Future Land Use change to Residential Medium represents a higher impact on public school capacity than that created by the County Future Land Use assigned to the properties. This Future Land Use amendment is not subject to school capacity enhancement review if the property is developed as an assisted living facility. School concurrency will apply at the time of a subdivision plan application.

ORANGE COUNTY NOTIFICATION: The property is surrounded by properties that are within the City limits of Apopka; therefore the notice requirements in the JPA do not apply.

PUBLIC HEARING SCHEDULE:

March 11, 2014 – Planning Commission (5:01 pm)
March 19, 2014 – City Council (8:00 pm) - 1st Reading
April 2, 2014 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 21, 2014 – Public Notice and Notification
March 21, 2014 – Ordinance Heading Ad
March 28, 2014 – ¼ Page w/map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment of Medium Density (0-10 du/ac) is not consistent with the Comprehensive Plan and not compatible with the surrounding area, but does find a Medium Low (0-7.5 du/ac) consistent with the Comprehensive Plan and compatible with the surrounding area for the property owned by Robert K. Dunn, et al.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
East (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
South (City)	Commercial	C-1	Lowes Home Retail Center
West (City)	Parks/Recreation\Residential Low (0-5 du/ac)	PR/PUD	Vacant wooded parcel; Villa Capri

II. LAND USE ANALYSIS/COMPATIBILITY:

- South:** Old Dixie Highway, a two-lane collector road, lies to the south of the subject property and the Lowes Home Retail Center. The land south of Old Dixie Highway is assigned a Commercial future land use designation and a zoning category of C-1.
- West:** Across Richard L. Mark Drive is a 1.4 acre heavily wooded parcel covered by oak trees. This parcel is owned by the City of Apopka and assigned a Park\Recreation future land use and zoning category that serves as open space. At the northwest corner of the subject property is the Villa Capri residential community. Villa Capri is assigned PUD zoning as part of the Errol Estate community. The typical lot is 51 feet wide with a typical area of about 5,700 sq. ft. Along the east side of Villa Capri is a ten-foot wide five to six foot high masonry wall. The right-of-way for Richard L. Marks Drive is 100 foot wide with landscaping and mature oak trees bordering the road. There is a twenty (20) foot wide landscaped median that contains mature oak trees.
- North:** To the north of the subject property, a 1.76 acre retention pond separates the subject property from most of the residential homes to the north within the Parkside at Errol Phase 3 residential subdivision. With the exception of one single family lot at the subject property's northwest corner and one single family lot at the northeast corner. Residential lots to the north range from 300 feet to zero feet from the subject property. Lots typically are 80 to 85 feet wide with a typical lot size ranging from 9,200 sq.ft. to 11,050 sq. ft.
- East:** There is a ten foot wide landscape buffer that runs along the eastern parcel line of the subject property that is adjacent to residential lots within another section of Parkside at Errol Phase 3. Single family lots adjacent to the eastern side of the subject property have typical lots with a 75 foot minimum width and a lot size ranging from 9,200 sq.ft. to 11,000 sq.ft.
- Summary:** The character of the surrounding area to the north and east is residential with a future land use designation of Residential Low Density, supporting a density of up to five units per acre. To the south, the character of the area is commercial and assigned a Commercial future land use designation. While a proposed density of Residential Medium (up to ten units per acre) serves as a transition between areas assigned a Low Density and Commercial designation, the density allowed at the upper scale of the threshold will not create a development character compatible with areas to residential areas to the north and east of the subject property. With a land area of less than seven acres, the subject property likely will not have sufficient area to provide appropriate buffer widths and distance separation to minimize development impacts associated with a Residential Medium future land use designation. Residential densities above 7.5 units per acres will support building mass and development impacts that could potential create incompatible land use impacts with existing established neighborhoods. A future land use designation of Low Medium Density serves as an appropriate transition between Residential Low Density and Commercial future land use designation.

III. ENVIRONMENTAL AND INFRASTRUCTURE INFORMATION

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Core Area” of the JPA. The proposed FLUM Amendment request a change from “County” Industrial to “City” Commercial is consistent with the terms of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basing Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the physical character of the Property: The Property fronts Old Dixie Highway, a two-lane collector road. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain is level.

The proposed amendment is not consistent with the Comprehensive Plan, including Policy 3.1.g Medium Density Residential Future Land Use designation, but is found to be consistent with the Low Medium Residential Future Land Use Designation and the Joint Planning Agreement with Orange County.

Analysis of the relationship of the amendment to the population projections: This property was annexed into the City on December 18, 2002. The proposed future land use designation for the Property is Residential Medium (0-10 du/ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): 38 Unit(s) x 2.4 p/h = 101 persons
PROPOSED (City designation): 77 Unit(s) x 2.4 p/h = 205 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan. Access to the property will occur from Old Dixie Highway. Traffic impacts generated from the project will have a minimal impact on David Marks

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None ; N/A GPD/Capita; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 7448 GPD
3. Projected total demand under proposed designation: 15092 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: Private Well ; N/A GPD/Capita; 177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 7980 GPD
3. Projected total demand under proposed designation: 16170 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: No

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 404 lbs./person/day
4. Projected LOS under proposed designation: 820 lbs./person/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

- Water treatment plant permit number: CUP No. 3217
- Permitting agency: St. John's River Water Management District
- Permitted capacity of the water treatment plant(s): 21,981 mil. GPD
- Total design capacity of the water treatment plant(s): 33,696 mil. GPD
- Availability of distribution lines to serve the property: Yes
- Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 24 hour design storm
3. Projected LOS under proposed designation: 100 year - 24 hour design storm
4. Improvement/expansion: On-site retention/detention pond

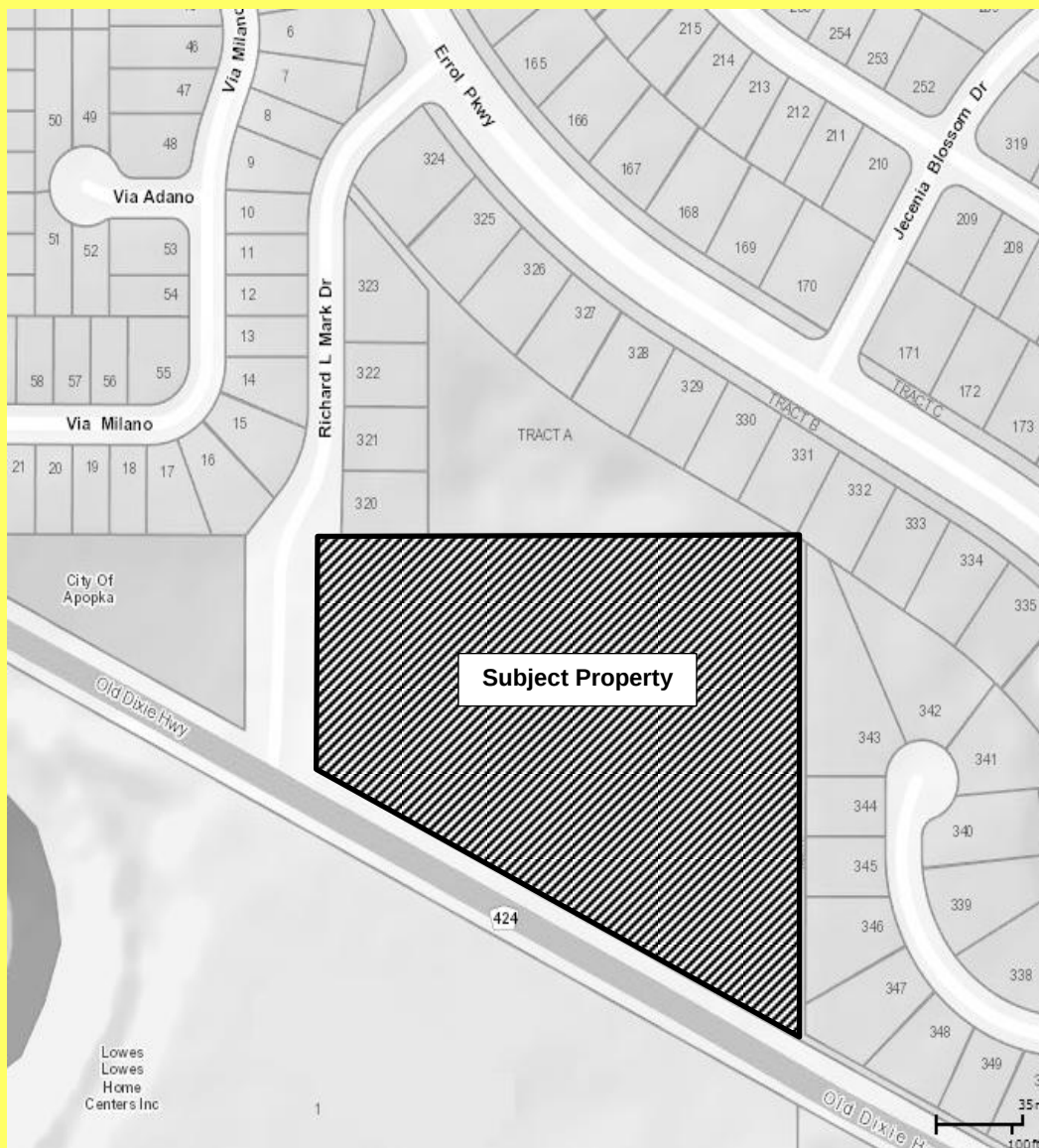
Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.303 AC
3. Projected facility under proposed designation: 0.615 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:
None

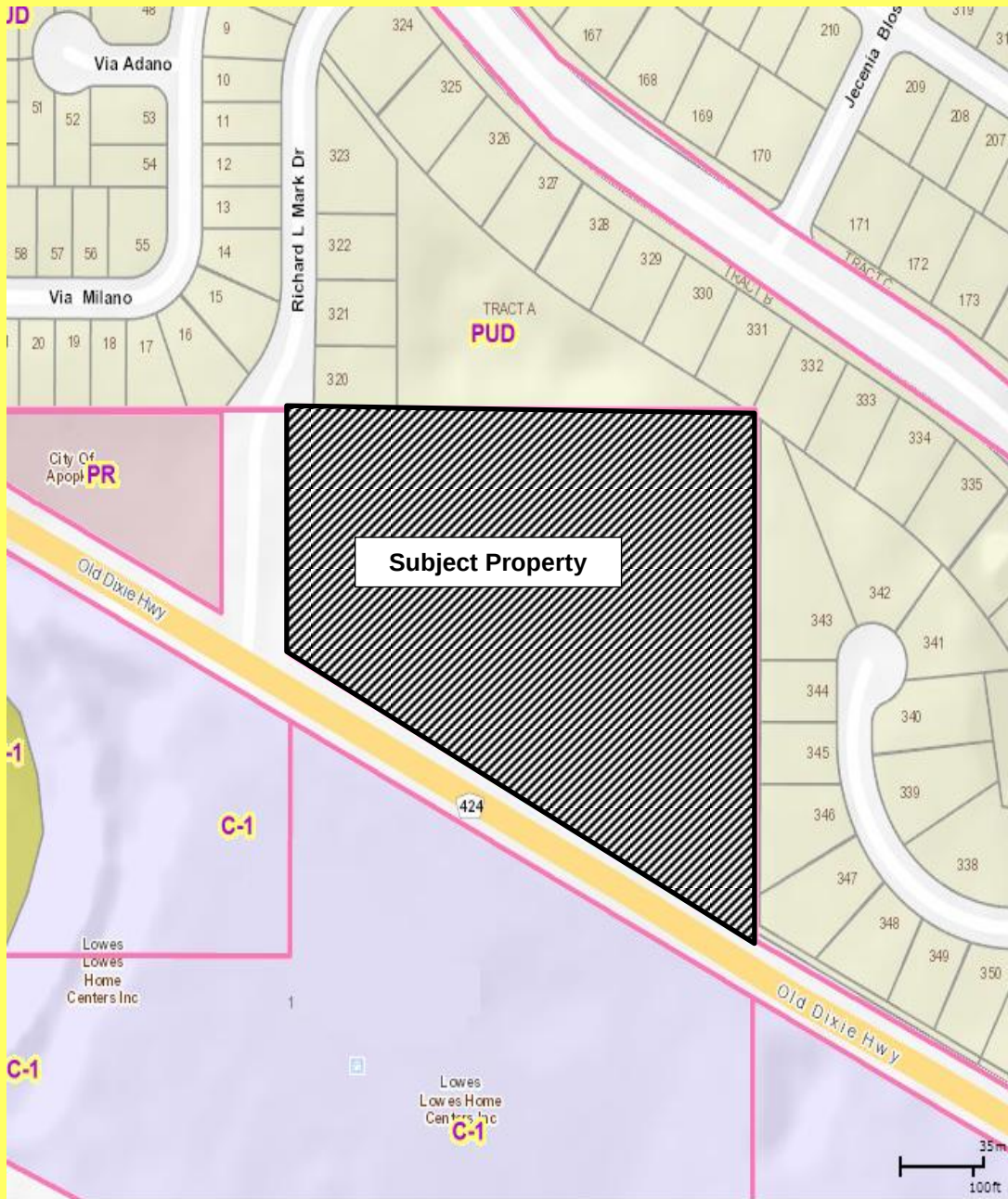
Robert K. Dunn et al
6.99 +/- Acres
Existing Maximum Allowable Development: 38 Units
Proposed Maximum Allowable Development: 77 Units
Proposed Future Land Use Change
From: Residential Low (0-5 du/ac)
To: Residential Medium (0-10 du/ac)
Proposed Zoning Change
From: "County" R-3
To: "City" Planned Unit Development (PUD/R-3)
Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034,
05-21-28-0000-00-035, and 05-21-28-0000-00-041



VICINITY MAP



ADJACENT ZONING



ADJACENT USES



Backup material for agenda item:

4. CHANGE OF ZONING/MASTER SITE PLAN & PRELIMINARY DEVELOPMENT PLAN – Robert K. Dunn, Et. Al., from “County” R-3 to “City” Planned Unit Development (PUD/R-3), for property located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-21-28-0000-00-041)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING	DATE:	March 11, 2014
☐ ANNEXATION	FROM:	Community Development
☐ PLAT APPROVAL	EXHIBITS:	Land Use Report
☐ OTHER:		Vicinity Map
		Adjacent Zoning and Uses Maps
		Master Site Plan\PDP

SUBJECT: **ROBERT K. DUNN ET AL**

PARCEL ID NUMBERS: **05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035, AND 05-21-28-0000-00-041**

Requests: **CHANGE OF ZONING**
 FROM: "COUNTY" R-3
 TO: "CITY" PLANNED UNIT DEVELOPMENT (PUD/R-3)

RECOMMEND APPROVAL OF THE MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN

SUMMARY

OWNER: Robert K. Dunn, et al

APPLICANT: Hudak Engineering, Inc., c/o Greg Hudak, P.E.

LOCATION: North of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway

EXISTING USE: Vacant Land

CURRENT ZONING: "County" R-3

PROPOSED DEVELOPMENT: Assisted Living Facility (ALF) (140-bed facility)

PROPOSED ZONING: "City" Planned Unit Development (PUD/R-3) Note: this Change in Zoning request is being processed along with a request to change the Future Land Use Map designation from "City" Residential Low (0-5 du/ac) to "City" Residential Medium (0-10 du/ac)

TRACT SIZE: 6.98 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: **EXISTING: 38 Units**
 PROPOSED: 77 Units

DISTRIBUTION

Mayor Land
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir. (2)
City Clerk
Fire Chief

ADDITIONAL COMMENTS: The subject parcels were annexed into the City of Apopka on December 18, 2002, through the adoption of Ordinance No. 1555. The proposed zoning category of PUD is consistent with the Future Land Use of Residential Low Medium Density (0-7.5 un/ac); however, Planning staff does not find a Residential Medium Density to be compatible for this site, as proposed by the applicant.

A request to assign a Planned Unit Development (PUD/R-3) zoning category to the Property is being processed in conjunction with this future land use amendment request for a Residential Medium Density designation. The future land use and zoning application covers approximately 6.98 +/- acres. The property owner intends to use the site for an assisted living facility (ALF). A master site plan/preliminary development plan accompanies the PUD rezoning application. Approval of the PUD zoning category will include the master site plan/preliminary development standards and all development standards set forth in the zoning ordinance.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: Planning staff finds the proposed Planned Unit Development (PUD/R-3) zoning designation is consistent with the Residential Low-Medium (0-7.5 du/ac) future land use designation and compatible with the character of the surrounding area subject to the site design proposed within the master site plan/preliminary development plan and the PUD development standards described herein. Site development cannot exceed the intensity allowed by the Future Land Use policies or as set forth within the PUD ordinance.

SCHOOL CAPACITY REPORT: Staff has notified Orange County Public Schools (OCPS) of the proposed Change of Zoning. The Change of Zoning to Planned Unit Development (PUD/R-3) to allow an ALF will not impact capacity at affected public schools. If the property owner proposes residential development, then school capacity review will be required as part of the PUD amendment application.

ORANGE COUNTY NOTIFICATION: The property is surrounded by properties that are within the City limits of Apopka; therefore the notice requirements in the JPA do not apply.

PUBLIC HEARING SCHEDULE:

March 11, 2014 – Planning Commission (5:01 pm)
March 19, 2014 – City Council (8:00 pm) - 1st Reading
April 2, 2014 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 21, 2014 – Public Notice and Notification
March 21, 2014 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed Change of Zoning from “County” R-3 to “City” Planned Unit Development (PUD/R-3) not to be compatible with the character of surrounding areas if a proposed Future Land Use of Residential Medium Density is approved, but does find it compatible with the Residential Low Density Future Land Use. DRC recommends approval of the Planned Unit Development only if a Residential Low-Medium Density Future Land Use is assigned to the subject property subject to approval of the recommended PUD development standards for the property owned by Robert K. Dunn, et al.

Note 1: Planning Commission action on the zoning application will include the master site plan/preliminary development plan and the recommended development standards.

Note 2: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
East (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
South (City)	Commercial	C-1	Lowes Home Retail Center
West (City)	Parks/Recreation\Residential Low (0-5 du/ac)	PR/PUD	Vacant wooded parcel; Villa Capri
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3

LAND USE & TRAFFIC COMPATIBILITY:

- South:** Old Dixie Highway, a two-lane collector road, lies to the south of the subject property and the Lowes Home Retail Center. The land south of Old Dixie Highway is assigned a Commercial future land use designation and a zoning category of C-1.
- West:** Across Richard L. Mark Drive is a 1.4 acre heavily wooded parcel covered by oak trees. This parcel is owned by the City of Apopka and assigned a Park\Recreation future land use and zoning category that serves as open space. At the northwest corner of the subject property is the Villa Capri residential community. Villa Capri is assigned PUD zoning as part of the Errol Estate community. The typical lot is 51 feet wide with a typical area of about 5,700 sq. ft. Along the east side of Villa Capri is a ten-foot wide five to six foot high masonry wall. The right-of-way for Richard L. Marks Drive is 100 foot wide with landscaping and mature oak trees bordering the road. There is a twenty (20) foot wide landscaped median that contains mature oak trees.
- North:** To the north of the subject property, a 1.76 acre retention pond separates the subject property from most of the residential homes to the north within the Parkside at Errol Phase 3 residential subdivision. With the exception of one single family lot at the subject property's northwest corner and one single family lot at the northeast corner. Residential lots to the north range from 300 feet to zero feet from the subject property. Lots typically are 80 to 85 feet wide with a typical lot size ranging from 9,200 sq. ft. to 11,050 sq. ft.
- East:** There is a ten foot wide landscape buffer that runs along the eastern parcel line of the subject property that is adjacent to residential lots within another section of Parkside at Errol Phase 3. Single family lots adjacent to the eastern side of the subject property have typical lots with a 75 foot minimum width and a lot size ranging from 9,200 sq. ft. to 11,000 sq. ft.
- Summary:** The property owner requests assignment of a zoning category that is consistent with the proposed Residential Medium Future Land Use Designation. Planning staff finds the zoning category to be consistent a Residential Low-Medium Future Land Use Designation subject to the PUD master site plan/preliminary development plan and the recommended PUD development standards.

**COMPREHENSIVE
PLAN COMPLIANCE:**

The proposed Planned Unit Development (PUD/R-3) zoning is not consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. However, Planning staff finds the proposed zoning to be compatible with a Low-Medium (0-7.5 du/ac) Future Land Use designation. Development Plans shall not exceed the intensity or density allowed for the adopted Future Land Use Designation.

**PUD
RECOMMENDATIONS:**

The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property with the following Master Plan provisions is subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be:

1. A maximum of one-hundred twenty-five Assisted Living Facility (ALF) beds or 38 permanent residential. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eight (80) percent of the beds shall be occupied by those age 55 or over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
2. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, units and fifty (50) feet from the western property line.
3. Outdoor storage shall not be allowed.
4. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
5. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
6. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.
7. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein. Duplex residential units shall not be allowed.

B. Development Standards:

1. Development standards and setbacks shall comply with those established for the R-3 zoning category unless otherwise approved herein or within the Master Site Plan.
2. Maximum number of stories: two (2)

3. A thirty (30) foot landscape buffer shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line.
 4. Monument sign (identification sign) shall be limited to no more than 24 square feet and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
 5. No outdoor illumination shall spillover into residential areas.
 6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
 7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
 8. Changes to the Master Site Plan\Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director.
 9. Employee parking shall occur at the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
 10. Driveway access to Richard L. Mark Drive will not be allowed.
- C. The Master Plan Site\Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance.
- D. The R-3 zoning standards shall apply to the development of the subject property unless as otherwise addressed within the PUD ordinance.

**COMPREHENSIVE
PLAN COMPLIANCE:**

The proposed City PUD zoning is not consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. However, DRC finds that the proposed PUD zoning is consistent with the residential Low-Medium (0-7.5 un/ac) Future Land Use designation. Development Plans shall not exceed the density and intensity allowed in the adopted Future Land Use Designation.

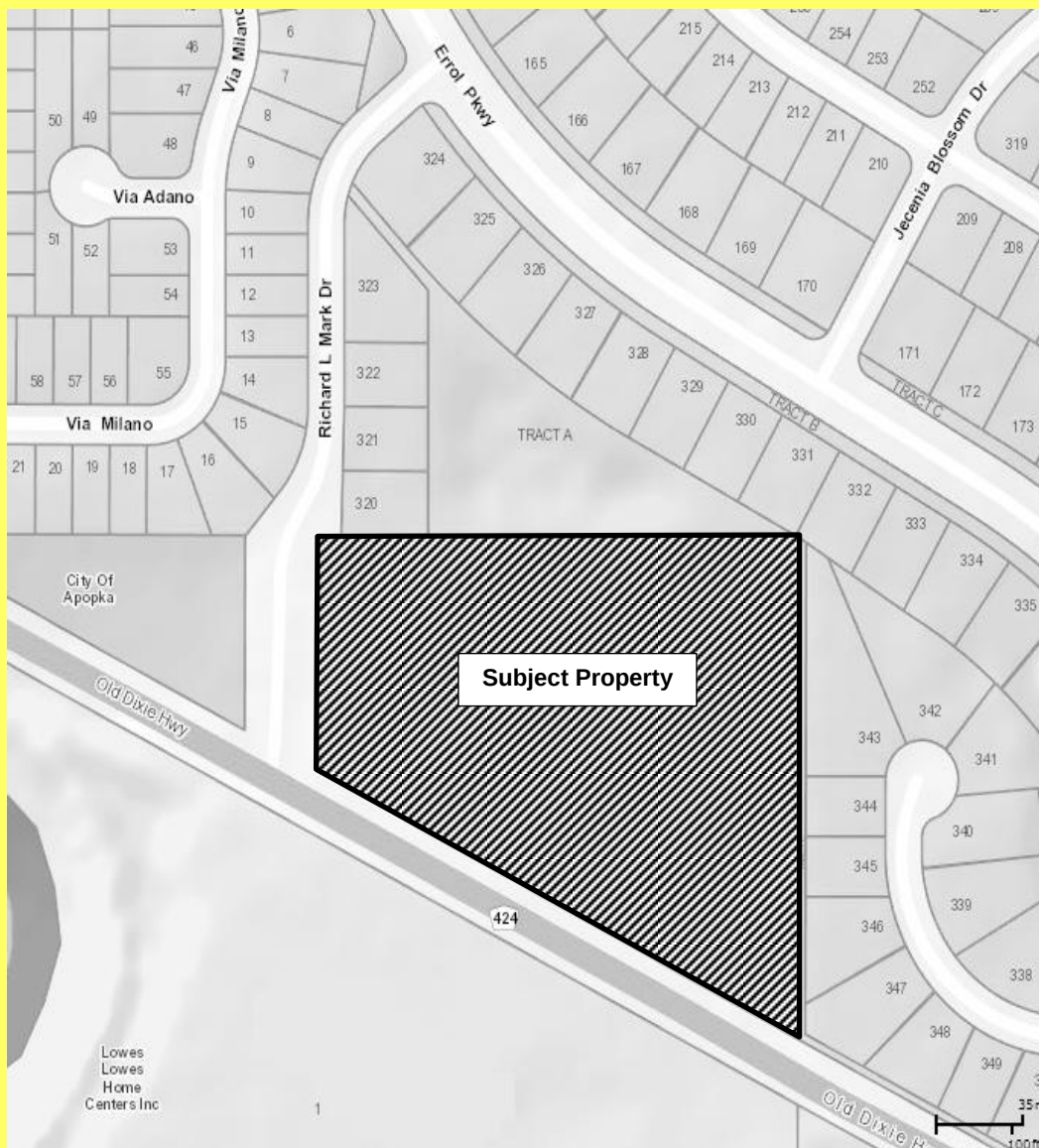
**R-3 PERMISSIBLE
USES:**

Any use permitted in the R-3 zoning district; Multifamily dwellings, including, but not limited to, single family, triplex, quadruplex, townhouses, condominium, and apartment complexes.

Robert K. Dunn et al
6.98 +/- Acres
Existing Maximum Allowable Development: 38 Units
Proposed Maximum Allowable Development: 77 Units
Proposed Future Land Use Change
From: Residential Low (0-5 du/ac)
To: Residential Medium (0-10 du/ac)
Proposed Zoning Change
From: "County" R-3
To: "City" Planned Unit Development (PUD/R-3)
Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034,
05-21-28-0000-00-035, and 05-21-28-0000-00-041



VICINITY MAP



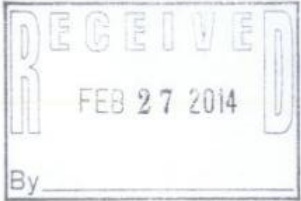
ADJACENT ZONING



ADJACENT USES



MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN
FOR
DIXIE MANOR
CITY OF APOPKA, FLORIDA



PROPERTY ADDRESS

1791 OLD DIXIE HIGHWAY
APOPKA, FLORIDA 32712

OWNER/DEVELOPER

ROBERT K. DUNN
3620 TAYSIDE COURT
APOPKA, FLORIDA 32712
PHONE: (407) 579-1617

ENGINEER

HUDAK ENGINEERING, INC.
1344 HARDY AVENUE
ORLANDO, FLORIDA 32803
PHONE: (407) 492-6833
ATTN.: GREG HUDAK, P.E.

ARCHITECT

DDP ARCHITECTS
390 WILMA STREET
LONGWOOD, FLORIDA 32750
PHONE: (407) 970-2575
ATTN.: JAMES GARRITANI

LANDSCAPE ARCHITECT

LANDSCAPE DYNAMICS, INC.
P.O. BOX 2852
WINTER PARK, FLORIDA 32790-2852
PHONE: (407) 579-1811
ATTN.: RANDY BUCHANAN, RLA



VICINITY MAP

SITE DATA TABLE

PARCEL ID NUMBER	05-21-28-0000-00-034
PARCEL ID NUMBER	05-21-28-0000-00-041
PARCEL ID NUMBER	05-21-28-0000-00-019
PARCEL ID NUMBER	05-21-28-0000-00-035
PROPOSED USE	ASSISTED LIVING FACILITY
FUTURE LAND USE	EXISTING: LOW DENSITY RESIDENTIAL PROPOSED: MEDIUM DENSITY RESIDENTIAL
ZONING	EXISTING: R-3 (ZIP) PROPOSED: PUD
ACREAGE/SQUARE FOOTAGE	6.99 AC./304,484 S.F.
BUILDING HEIGHT	PROPOSED: 35 FT MAX: 35 FT
FLOOR AREA RATIO	PROPOSED: 0.25 MAX. 0.25
OPEN SPACE RATIO	PROPOSED: 0.65 MIN. 0.30
BUILDING SETBACKS	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100' REQUIRED FRONT: 10' WEST SIDE: 75' REAR: 100' EAST SIDE: 100'
PARKING SPACES	PROVIDED: 70 REQUIRED: SEE BELOW
NUMBER OF BEDS	140
NUMBER OF EMPLOYEES	TOTAL: 45 BUSIEST SHIFT: 20
WAIVER REQUEST	YES: X NO:
VARIANCE REQUEST	YES: NO: X

VARIANCE (V)/WAIVER (W) TABLE

CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
6.03.02	2/BEDROOM+1/250 SF OFFICE	W	PARKING BASED ON ITE MANUAL	SEE ATTACHED

SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST

INDEX OF SHEETS	
SHEET No.	SHEET TITLE
C-1	COVER SHEET
C-2	SITE PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS & SPECS
A2-1	1ST LEVEL FLOOR PLAN
A2-2	2ND LEVEL FLOOR PLAN
A3-1	BUILDING ELEVATIONS
	SURVEY

GENERAL NOTES:

- THE FINAL DEVELOPMENT PLAN AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE APOPKA LAND DEVELOPMENT CODE.
- FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, WHETHER FEDERAL, STATE, COUNTY OR CITY.
- FACILITY SHALL CONFORM TO ALL REQUIREMENTS, RULE AND REGULATIONS OF THE FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES APPLICABLE TO SUCH FACILITIES.
- FACILITY SHALL CONFORM TO ALL LAND DEVELOPMENT CODES AND ORDINANCES PERTAINING TO THESE DISTRICTS AND TO ALL APPLICABLE CITY LICENSING REQUIREMENTS.
- NO FACILITY SHALL BE OCCUPIED BY ANY PERSON WHO HAS BEEN CONVICTED OF, ENTERED A PLEA OF GUILTY OR NOLO CONTENDERE TO, OR HAS BEEN FOUND GUILTY BY REASON OF INSANITY OF A FORCIBLE FELONY UNDER SECTION 778.08, 1 FLORIDA STATUTES (1985), A FELONY OF THE SECOND DEGREE UNDER SECTION 800.04, FLORIDA STATUTES (1985), OR ANY OF THE SEX OFFENCES SET FORTH UNDER SECTION 917.02(1), FLORIDA STATUTES (1985), REGARDLESS OF WHETHER AN ADJUDICATION OF GUILT ON IMPOSITION OF SENTENCE WAS SUSPENDED, DEFERRED OR WITHHELD.
- ALL SIDEWALKS ALONG OLD DIXIE HIGHWAY AND INTERNAL SHALL MEET ADA REQUIREMENTS AND CITY STANDARDS.
- AN OUTDOOR LIGHTING PLAN PER THE CITY'S DEVELOPMENT DESIGN GUIDELINES SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLANS.
- A PHOTOMETRIC LIGHTING PLAN FOR THE SITE SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLANS. LIGHTING PLAN SHALL PREVENT LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIMIT LUMENS TO 0 AT PROPERTY LINES.
- MONUMENT SIGN SHALL NOT EXCEED 6 FEET IN HEIGHT WITH A MAXIMUM COP AREA OF 32 SQUARE FEET.
- ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.
- IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PLANNED UNIT DEVELOPMENT MASTER PLAN WILL EXPIRE. ADDITIONALLY, IF MORE THAN TWO YEARS LAPSE BETWEEN THE FINAL DEVELOPMENT PLAN APPROVALS OF ANY SEQUENTIAL PHASES OF THE PUD, THE APPROVAL OF THE PUD MASTER PLAN SHALL EXPIRE.
- THE INACTIVE OVERHEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE SITE WILL BE VACATED AND REMOVED.
- NO ACTIVITY AREAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERTY LINE ABUTTING THE RESIDENTIAL LOTS.

DATE	REVISIONS

DRAWN BY	SM	DESIGN BY	CDH	CHECKED BY	CDH	APPROVED BY	CDH



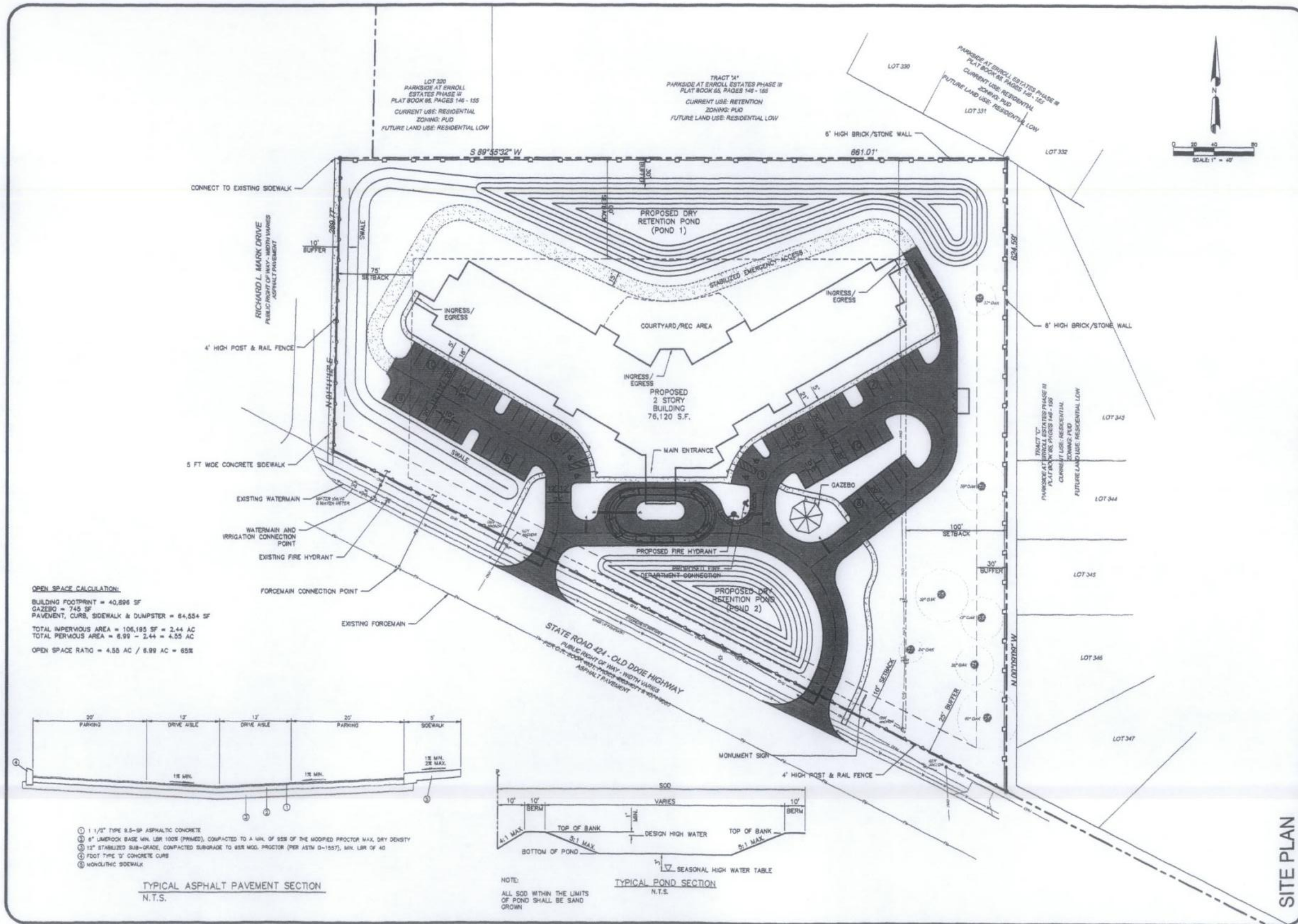
MASTER SITE PLAN/PRELIMINARY
DEVELOPMENT PLAN-DIXIE MANOR
CITY OF APOPKA, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #8388
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 492-6833
FAX: (407) 492-6833
EMAIL: greg@hudakengineering.com



DATE:
FEBRUARY 2014

SHEET NO.
C-1
1 of 2



DATE	REVISIONS:

DRAWN BY	SM
DESIGN BY	GDH
CHECKED BY	GDH
APPROVED BY	GDH

GREG HENDON
 PE # 54884

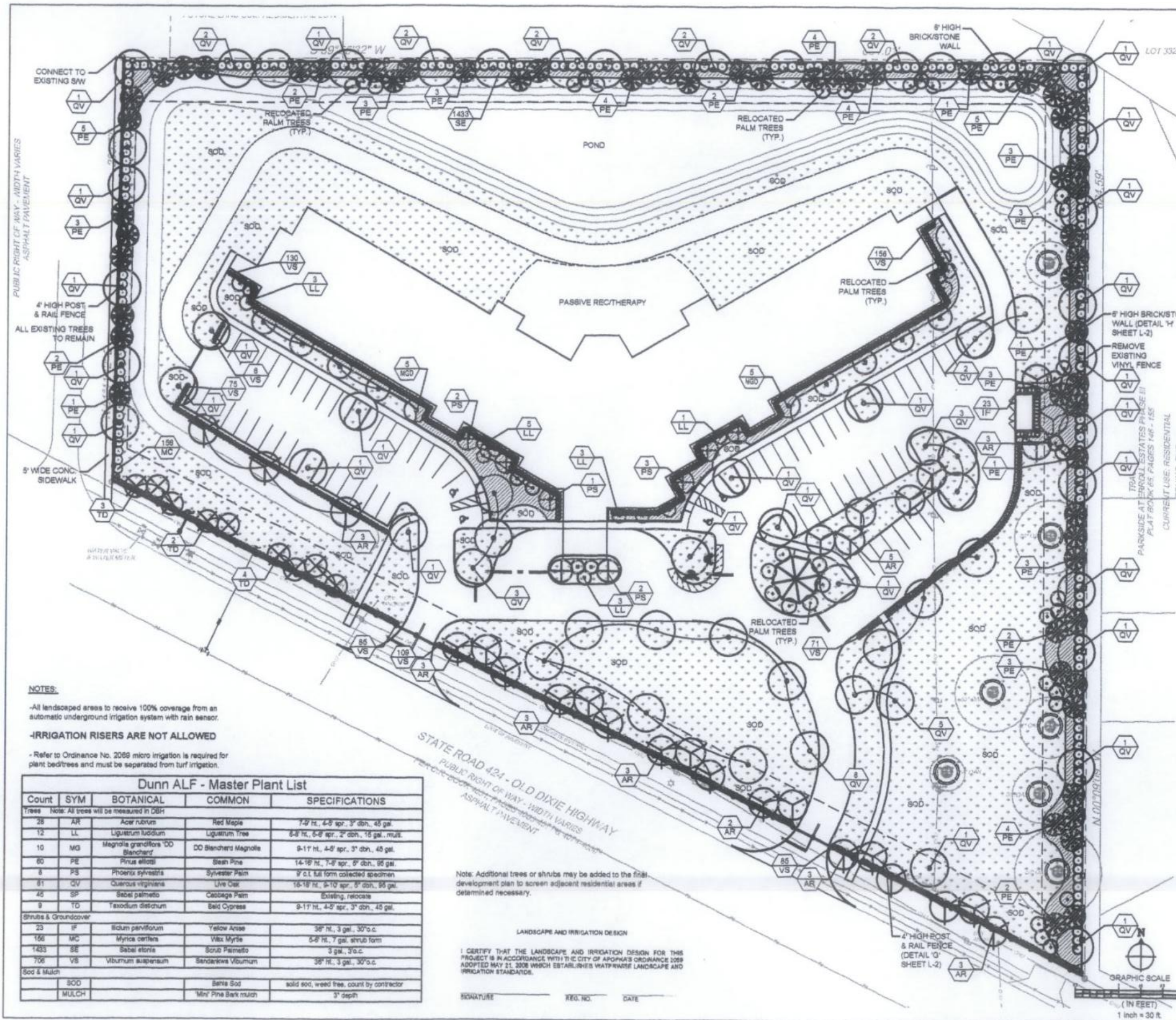
**MASTER SITE PLAN/PRELIMINARY
 DEVELOPMENT PLAN-DIXIE MANOR**
 CITY OF APOPKA, FLORIDA

HUDAK ENGINEERING, INC.
 CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
 CERTIFICATE OF AUTHORIZATION #938
 1344 HANCOCK AVENUE, ORLANDO, FL 32837
 PHONE: (407) 863-8833
 EMAIL: greg@hudakengineering.com



DATE:
 FEBRUARY 2014

SHEET NO.
C-2
 2 of 2



LANDSCAPE TABULATION

GENERAL REQUIREMENTS
 Apopka Land Development Code Applies
 Chapter 24, Landscaping, Buffering, and Open Space

Landscape Adjacent to Street Right-of-Way:
 (1 canopy tree per 30 L.F., and 36" Hedge)

South: 747' - 60" (impervious) = 687'
 Trees Required: 20 Canopy
 Trees Provided: 30 Canopy

Landscape Adjacent to Other Properties:
 (1 canopy tree per 35 L.F.)

North: 661'
 Trees Required: 19 Canopy
 Trees Provided: 39 Canopy

East: 624'
 Trees Required: 18 Canopy
 Trees Provided: 38 Canopy + 5 Existing

West: 290'
 Trees Required: 8 Canopy
 Trees Provided: 13 Canopy

TREE PROTECTION SYMBOLS

○ TREES TO BE SAVED
 ✕ TREES TO BE REMOVED

Trees to be Saved

Type	Count	Size	Inches
Oak	1	24"	24
Oak	1	32"	32
Oak	1	36"	36
Oak	1	42"	42
Oak	2	50"	50
Oak	1	60"	60
Total	7		224

TREE REMOVAL AND REPLACEMENT

TOTAL TREE INCHES ON-SITE = 224"

TOTAL TREE INCHES REMOVED = 0"

TOTAL TREE INCHES REPLACED = N.A.

MAXIMUM TREE STOCK FORMULA AND CALCULATIONS = N.A.

QUANTITY OF SPECIMEN TREES (24" OR GREATER) BEING REMOVED = 0

SITE CLEARING AREA IN SQUARE FEET AND ACRES = 293,625 sq. ft., 6.7 acres

NOTE: NO TREES ON SITE ARE TO BE REMOVED. UNSURVEYED PALMS ARE TO BE RELOCATED TO THE PROVIDED LOCATIONS.

NOTE: Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction, makes contractor responsible for all costs incurred by construction charges, not the owner or his representative (Landscape Dynamics Construction Co., Inc.). The Owner must maintain the height of all plants within the "Line-Of-Site" triangle area to a height of no greater than 24" above grade for shrubs and groundcover, and tree branching no lower than 72" above finish grade, to ensure clear sight line views for traffic at road and driveway intersections. Landscape Dynamics Construction Co., Inc., is not responsible for continued maintenance of such plant material. The owner, leasing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO HAVE WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

48 HOURS BEFORE YOU DIG
 CALL SUNSHINE
 1-800-433-4770 or 311

IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES EDUCATION TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION

811

LANDSCAPE ARCHITECTS AND PLANNERS

Robert K. Dunn Trust
 3001 Lyndon Court
 Apopka, FL 32712
 Phone: 407-579-1417

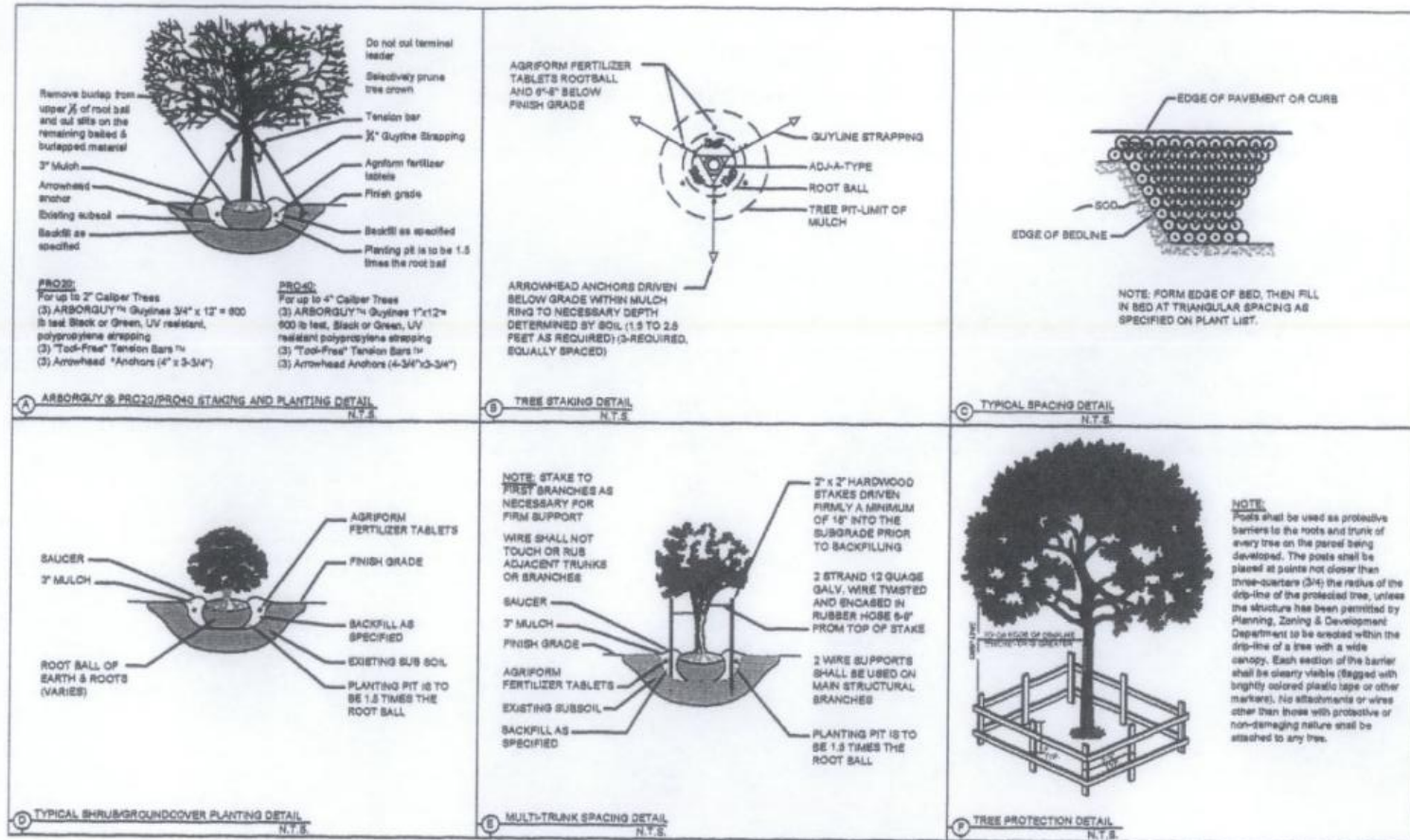
LANDSCAPE PLAN
 Dixie Manor
 Apopka, Florida

PO BOX 5002 - Winter Park, Florida 32789-0002

Scale: 1" = 30' ft.

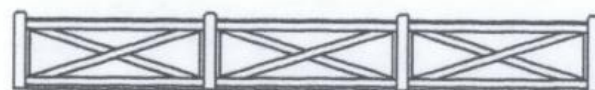
North Arrow

GRAPHIC SCALE
 1 inch = 30 ft.

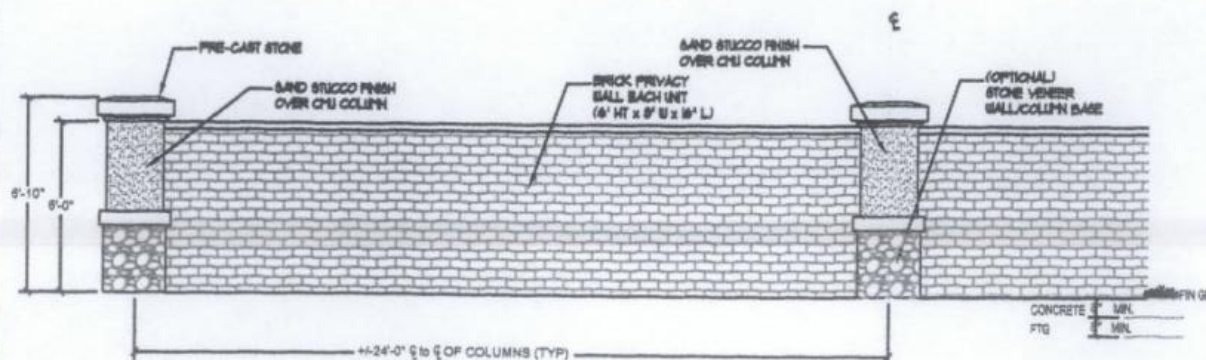


GENERAL LANDSCAPE NOTES:

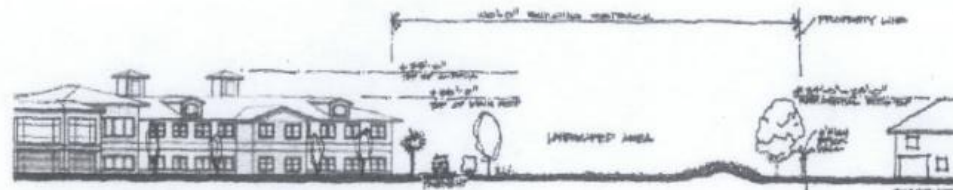
- Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and legend. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC. Notify the Landscape Architect of any discrepancies.
- LC shall comply with all local codes and ordinances and obtain all permits and bonds necessary to construct the project.
- LC shall coordinate their work with other contractors to assure efficient and timely completion of the work.
- LC shall be responsible for supplying all materials, labor, and equipment for the performance of their portion of the work.
- LC to verify all existing grades, dimensions, adequate drainage, suitable planting soil and field conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Sunshine State One (811) 72 hours prior to digging to have all utilities located.
- LC to protect existing utilities, structures, surfaces, and vegetation noted to be saved and be responsible for repair/replacement.
- Protect trees to be saved per detail. Vehicle parking, material storage, or soil removal/addition is not permitted within driplines.
- Round-Up shall be applied twice at ten day intervals onto all existing vegetation, sod, and groundcover areas that are to be replanted. Extreme care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. Mfr's recommendations shall be followed. Remaining weeds and their roots shall be removed by hand prior to installation of plants. Resprouting weeds and plants are the responsibility of the LC through the one year warranty period.
- All plant materials shall be graded Florida No. 1 or better as outlined under current Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species. **LC to obtain written certification from nurseries that plant materials are Florida No. 1 or better.** Trees up to 4" caliper measured at 6" above soil line and over 4" caliper at 12" above soil line unless otherwise noted. All specifications to be met or exceeded unless otherwise noted. All rootballs and containers to be free of weeds and their roots.
- Planting soil of Fla. peat mixed 1/2 with clean topsoil for the backfilling of plant pits and beds shall be required only if existing soil is unsuitable for planting and/or contains lime rock or construction debris (to be removed).
- Trees and palms shall be installed so their top main root at the trunk is visible and 2" above finished grade. If root is buried, remove soil from the top of the rootball prior to installation. Do not apply the 1 1/2" of mulch to the top of the rootball until after inspection of each tree or palm.
- Landscape Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
- Finished grade prior to mulching or sodding to be 3" below top of adjacent surfaces such as walks, curbs and driveways extending perpendicularly from the surface edge for a minimum distance of 18". See detail.
- All palms, trees, shrubs, and groundcovers shall be fertilized with Agriform 20-10-5 or SierraTabs 16-6-12 planting tablets. One tablet/ 1 gal, 2 tablets/ 3 gal, 3 tablets/ 5 or 7 gal, 4 tablets/ 10 gal and one tablet/ each 1/2" of tree trunk diameter. Application shall be as per the details and mfr's recommendation.
- All planting beds (except for annuals) and trees to receive med. pine bark mulch. Due to environmental concerns, cypress mulch shall NOT be used. All tree rootballs (which require 4 foot wide mulch rings in turf areas) shall be mulched to a maximum 1 1/2" depth (to aid water penetration) following inspection. All other planting beds to receive a 3" depth. Mulch shall not touch trunks or stems or be applied within the crowns of groundcovers or over their branches or foliage. **Mulch is to be applied by hand and shall not be "blown in".**
- LC to maintain all plant material in a plump, upright and stable condition. All trees/palms to be guyed/staked as per details.
- LC to remove all bags (unless biodegradable), tags, ties, wires, ropes, stakes and nursery attachments from all plant material.
- LC shall be responsible to keep plant material in a healthy, watered, insect/pest free condition until owner's final acceptance.
- LC to provide a one-year warranty for trees/palms, shrubs, groundcovers, and vines and thirty days for sod. Warranty period shall start with final acceptance by owner. All plant material shall be alive and in satisfactory growth at the end of the warranty period. Replacement plant material shall be warranted for ninety days (sod for thirty days) from replacement date.
- Warranty shall apply only to material that dies due to poor quality, improper handling, or installation practices. Generally, material transplanted on-site shall not be warranted. Adverse weather conditions shall not apply. Proper watering and maintenance are the owner's responsibility during the warranty period.
- Provide 100% coverage of all landscape areas using automatic underground irrigation system with rain sensor.



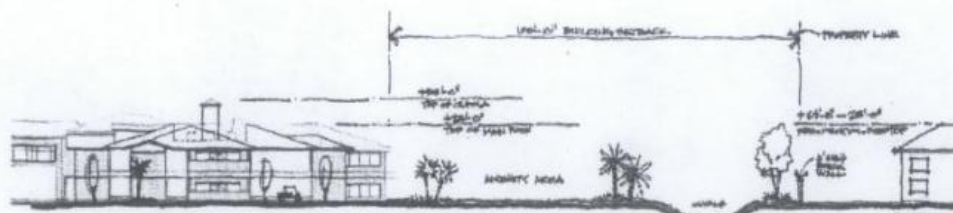
4' HIGH POST AND RAIL FENCE DETAIL
N.T.S.



8' HIGH BRICK WALL DETAIL
N.T.S.



PRELIMINARY FRONT-WEST SITE SECTION
N.T.S.



PRELIMINARY FRONT-SOUTH SITE SECTION
N.T.S.

LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2008 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

NOTE: Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction, makes contractor responsible for all costs incurred for construction charges, not the owner or his representative (Landscape Dynamics Construction Co., Inc.). The Owner must maintain the height of all plants within the "Line-Of-Sight" triangle area to a height of no greater than 24" above grade for shrubs and groundcover, and tree branching no lower than 72" above finish grade, to ensure clear sight line views toward traffic at road and driveway intersections. Landscape Dynamics Construction Co., Inc., is not responsible for continued maintenance of such plant material. The owner, leaving company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO MAINTAIN WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-433-4776 or 811
IT'S THE LAW IN FLORIDA
FLORIDA LAW REQUIRES
EXCAVATORS TO NOTIFY
OWNERS OF UNDERGROUND
FACILITIES NO LESS THAN TWO
(2) DAYS PRIOR TO EXCAVATION



LANDSCAPE DYNAMICS
Robert K. Dunn, Trustee
3630 Jayhawk Court
Apopka, FL 32712
Phone: 407-579-1917

PO BOX 588 - Winter Park, Florida 32789-0588

LANDSCAPE DETAILS AND SPECS
Dixie Manor
Apopka, Florida

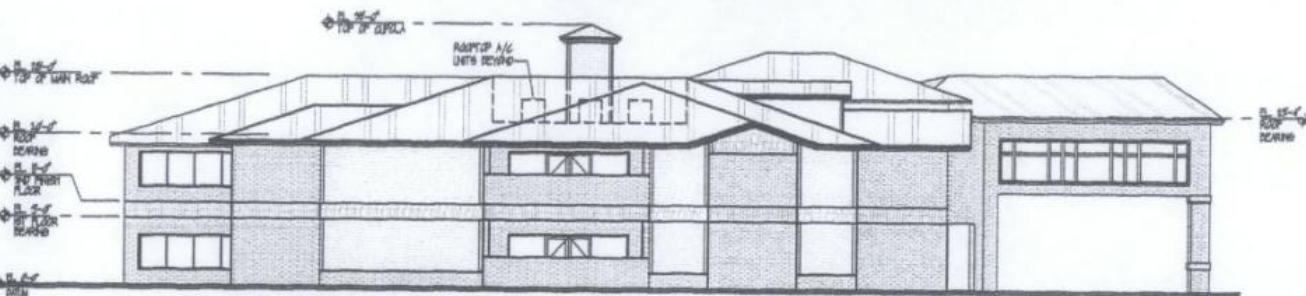
DATE: 10-10-10
JOB NO: 10-001
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN



1 PRELIMINARY FRONT ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



2 PRELIMINARY REAR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



3 PRELIMINARY LEFT ELEVATION - WEST
SCALE: 3/32" = 1'-0"



4 PRELIMINARY RIGHT ELEVATION - EAST
SCALE: 3/32" = 1'-0"



THE HISTORIC DISTRICT
390 WILMA STREET
LONGWOOD, FL 32750
PHONE: 407-834-2110 FAX:
407-834-1420
LICENSE # AA 000848
WWW.DDPARCHITECTS.COM

THIS DOCUMENT AND THE DESIGN CONCEPTS EXPRESSED HEREIN ARE THE PROPERTY OF DDP ARCHITECTS. NO PART OF THIS DOCUMENT, INCLUDING ANY DESIGN CONCEPTS, MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF DDP ARCHITECTS. IT IS STRICTLY PROHIBITED AND PROTECTED BY LAW, FEDERAL, STATE, AND INTERNATIONAL LAW.

James A. Dandridge, P.A.
ARCHITECT
SIGNATURE & SEAL

PRELIMINARY DESIGN
ASSISTED LIVING FACILITY
APOPKA, FLORIDA

SHEET INFORMATION	
DATE:	JANUARY 28, 2014
DESIGN BY:	TRAB
PROJECT NO.:	
REVISION BY:	JAG

REVISIONS	
REVISION #	DATE

EXTERIOR
ELEVATIONS

A3.1

Backup material for agenda item:

6. LAND DEVELOPMENT CODE AMENDMENT – Amending the City of Apopka Code of Ordinances, Part III, Land Development Code, Article III – Overlay Zones, to create a Small Lot Overlay Zoning District.



CITY OF APOPKA PLANNING COMMISSION

☐	CONSENT AGENDA	MEETING OF:	March 11, 2014
☒	PUBLIC HEARING	FROM:	Community Development
☐	SPECIAL REPORTS	EXHIBITS:	Exhibit "A"
☐	OTHER:		

SUBJECT: AMENDING ARTICLE III OF THE CITY'S LAND DEVELOPMENT CODE, CREATING A SMALL LOT OVERLAY ZONING DISTRICT.

Request: RECOMMEND APPROVAL OF THE AMENDMENT TO ARTICLE III OF THE CITY'S LAND DEVELOPMENT CODE, CREATING A SMALL LOT OVERLAY ZONING DISTRICT.

SUMMARY:

Attached Exhibit "A" is an amendment to the City's Land Development Code establishing an Overlay Zoning District related to small lot development within the City of Apopka. The purpose of the Small Lot Overlay Zoning District is to provide flexibility for a dynamic housing market; implement Comprehensive Plan policies that promote housing diversity; provide transition between lower density residential areas and more intense development such as commercial, office, industrial or other non-residential land uses, to provide transition between lower density residential areas and limited access highways; to create an increase in development options for properties assigned medium and high density future land use designations; to promote infill development while preserving the character of the existing residential neighborhoods; and to promote diversity in the size and type of new residential developments thereby providing housing opportunities for various family sizes. The Overlay District delineates permitted uses and prohibitions or limitations on certain uses, as well as certain design standards.

As proposed, the Small Lot Overlay District is only eligible for properties that are assigned both a Residential High Density (0 – 15 un/ac) and an R-3 zoning category. Also, the development site must be a minimum of ten acres but not more than eighty acres. DRC has reviewed the proposed Small Lot Overlay District.

PUBLIC HEARING SCHEDULE:

March 11, 2014 - Planning Commission (5:01pm)
March 19, 2014 - City Council 1st Reading (8:00pm)
April 2, 2014 - City Council 2nd Reading (1:30pm)

DULY ADVERTISED:

February 21, 2014 – Public Hearing Notice
March 21, 2014 – Ordinance Heading

FUNDING SOURCE: N/A

RECOMMENDATION ACTION:

Planning staff prepared this development option for the Planning Commission and City Council to consider. Several developers or homebuilders have asked the City to consider development options that accommodate smaller residential lot sizes. If the Planning Commission and City Council determine that this development option meets the desired vision and goals of the City, the Development Review Committee recommends the development standards set forth in Exhibit "A" for the Small Lot Overlay District.

Recommend that City Council adopt the amendment to Article III of the Land Development Code to create a Small Lot Overlay Zoning District.

DISTRIBUTION:

Mayor Land
Commissioners (4)
CAO/Richard Anderson
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Fire Chief
Public Ser. Director (2)
City Clerk

DRAFT
CITY OF APOPKA
3.04.00 - SMALL LOT OVERLAY ZONING DISTRICT

[Add new Section to Article III of the City’s Land Development Code]

Section 3.04.00 - Small Lot Overlay Zoning District

Section 3.04.01 – Definition

Small Lot: For purposes of Section 3.04.00, a lot with a width of less than 70 feet or an area less than 7,000 sq. ft. that accommodates a single family, duplex, or townhome dwelling unit.

Section 3.04.02 - Purpose

The purposes of the Small Lot Overlay District to:

1. Provide flexibility for a dynamic housing market;
2. Implement Comprehensive Plan policies that promote housing product diversity;
3. Provide transition between lower density residential areas and more intensely development commercial, office, industrial or other non-residential land uses, or limited access highways;
4. Create increase development options for property assigned a high density future land use designations;
5. Promote infill development while preserving the character of the existing residential neighborhoods; and
6. Promotes diversity in the size and type of new residential developments to provide housing opportunities for various family sizes.

Section 3.04.03 – Applicability

1. The regulations of this section apply to all properties within the small lot overlay district delineated within a zoning ordinance, and shall apply to new development and redevelopment occurring therein.
2. Those parcels that are split by the Overlay District line shall be considered to be wholly within the boundary of the Overlay District if the majority of the acreage is located within the Overlay District.

DRAFT

CITY OF APOPKA

3.04.00 - SMALL LOT OVERLAY ZONING DISTRICT

Section 3.04.04 - Location Criteria

1. A Small Lot Overlay District shall comply with each of the following location criteria:
 - a. Property must be assigned a Residential High Future Land Use Designation and an R-3 zoning category.
 - b. A Small Lot Overlay District shall not be located within a half mile from another Small Lot Overlay District. This minimum separation distance is waived if at least fifty percent (50%) of the residential lands within a half mile radius of the Overlay District are assigned a zoning district that requires a minimum single-family residential lot size of 8,000 sq. ft. or larger.
 - c. Property comprising a Small Lot Overlay District shall be contiguous and generally compact.
2. A boundary line of a Small Lot Overlay District must satisfy one (1) of the following location criteria:
 - a. Located within a half mile from a commercial, office, or industrial use center comprising more than ten acres;
 - b. Located within a half mile from an entrance to a limited access highway, or abutting a limited access highway.

Section 3.04.05 - Development Standards

1. Unless otherwise addressed within Section 3.04.00, the development standards established for the R-3 zoning district shall apply.
2. Minimum and Maximum Area Requirements. The Small Lot Overlay District shall comprise a minimum of fifteen (15) acres but shall not exceed a maximum of eighty (80) acres.
3. Housing Types and Mix. For development proposing a small lot width of less than seventy (70) feet, a diversity of lot size or housing types shall be provided. If single family or duplex lots are proposed with a width less than fifty (50) feet, at least one-half (½) of the lots shall have a minimum width equal to or greater than fifty (50) feet.
4. Common Open Space.
 - a. A minimum of thirty percent (30%) of the developable land shall be placed in useable open space. The common open space must be arranged to maximize usability.

DRAFT

CITY OF APOPKA

3.04.00 - SMALL LOT OVERLAY ZONING DISTRICT

- b. For small lots with a front entry garage and a lot width less than fifty (50) feet wide, no more than twelve such lots shall occur in a row without separation from a common open space area.
- 5. Landscape Bufferyard. Minimum buffer width adjacent to a local or collector road shall be fifteen (15) feet and twenty (20) feet adjacent to an arterial road.
- 6. Vehicle Access Points.
 - a. All lots with a width less than fifty (50) feet (including townhome and duplex dwellings) shall have vehicle access points via a rear alley.
 - b. All small lot, duplex and townhome lots shall include a two-car enclosed garage
 - c. A minimum of four parking spaces shall be provided for each single family, duplex or townhome unit unless other determined through a parking study that fewer parking spaces are demanded. The parking study must be accepted by the city engineer and approved by City Council. If a lot is unable to accommodate a minimum of four parking spaces, up to two (2) parking spaces may be placed within parking lots or on-street parking spaces located outside the street travel lane.
 - d. Where on-street parking is provided in front of a dwelling, vehicle access to a garage must occur from a rear alley.
- 7. Building Setbacks

	Min. Lot width (feet) ⁽¹⁾	Min. Yard Setbacks (feet)				Maximum Lot Coverage (%)
		Front ⁽²⁾	Rear ⁽³⁾	Side ⁽⁴⁾	Corner	
Small Lot	40	15/10	20	4 min./10 total	15	75%
Small Lot	50	20	20	5	20	70%
Small Lot	60	20	20	5	20	70%
Townhome	18, 20, 22, 25	15/10	15	⁽⁵⁾	15	80%

- 1) Width of a single family or duplex lot shall not be less than forty (40) feet along any point of the length of the lot.
- 2) Setback to primary structure/setback to porch.
- 3) Setback to primary structure.
- 4) Side yard setback is zero where duplex and townhome walls separate dwelling unit.
- 5) Twenty feet between buildings.

DRAFT

CITY OF APOPKA

3.04.00 - SMALL LOT OVERLAY ZONING DISTRICT

8. Garage Setbacks

- a. Front-entry garage: 30 feet.
- b. Rear-entry garage: Same as primary structure.

9. Individual townhome buildings shall have no more than six dwellings. Apartment buildings abutting or near single family dwellings shall not exceeding 12 dwellings units. Apartment building mass shall be limited to size and character that is compatible with nearby single family and townhome buildings.

10. Each single family, duplex, or townhome dwelling unit shall be placed within its own lot.

11. Along an Overlay District perimeter, small lots shall not abut existing platted residential lots with a lot width of seventy five (75) feet or greater unless a ten (10) foot buffer tract with a six-foot high buffer wall, or alternatively a twenty (20) foot landscape bufferyard is provided.

Section 3.04.06 - Design Guidelines

1. Subdivision design and site layout avoids the appearance of a long row of homes. Open space and street pattern shall be designed to establish breaks between housing rows.
2. Subdivision design occurs in a block form with design similar housing types grouped together. Streets are interconnected and cul-de-sacs discouraged.
3. Front facades of buildings facing an abutting common area typically have the front walls following a similar building line.
4. Streets and alleyways are designed to accommodate turning movements for large utility and emergency vehicles.
5. Subdivision and street design allow for efficient garbage and utility service. Right-of-way and streets are designed to provide sufficient space for sanitation vehicles to access refuse containers. Where on-street parking is provided outside travel lanes, development plans demonstrate that sanitation service vehicles are able to efficient serve refuse containers within driveways or other locations.
6. Pedestrian systems are an integral part of each development.

Section 3.04.07 - Architecture

1. Maximum number of bedrooms allowed for a house constructed on a small lot is four (4) and three (3) bedrooms for duplex, townhome or apartment. Single family, duplex, and townhome dwellings shall have a minimum of two bedrooms. No more than twenty-percent (20%) of apartment units shall have one-bedroom or a suite design.

DRAFT

CITY OF APOPKA

3.04.00 - SMALL LOT OVERLAY ZONING DISTRICT

2. Duplexes, townhomes and apartment buildings must be designed to architecturally blend with the surrounding single-family dwellings.
3. Front building entrance shall be featured with a porch, portico, or similar entry-feature. A porch must have a minimum depth of five (5) feet and must be designed to accommodate at least two humans.
4. The rear of any residential building facing a public street or adjacent established residential neighborhood shall be treated with the same architectural quality as the front façade regarding fenestration, articulation and roofline. Substantial window areas shall overlook streets.
5. Single family and duplex limited to two stories; townhome and apartment buildings abutting or near single family residential shall be limited to two stories.
6. Architectural exterior elevations shall vary among all housing types but have color unified schemes to create diversity in exterior appearances and style.
7. A front entry garage does not extend in front of the front wall. If a useable front porch is provided, then the garage may extend as far as the porch but no further than the front yard setback.

Section 3.04.08 - Accessory Structures

1. No sheds or similar outdoor storage facilities are allowed within a small residential lot.
2. No swimming pools or recreational facilities within a small lot.
3. Metal, vinyl, or other similar materials shall not be used for patios, porticos or porches that extend beyond the wall of the primary residential structure.
4. Fences shall not be allowed within yards abutting common areas unless fence is a height of four feet or less with a gate that leads to a walkway. Fences located at the rear or side yard of lots less than fifty (50) feet wide shall be wrought-iron rate style fences to avoid appearance of clutter. A fence within a rear yard shall not exceed the height of the any abutting common area wall.

Section 3.04.09 - Utilities

Air conditioning units or similar utilities located shall be placed behind the residential building and screened from view from a street.

DRAFT

CITY OF APOPKA

3.04.00 - SMALL LOT OVERLAY ZONING DISTRICT

Section 3.04.10 - Review Process

Application for a Small Lot Overlay District shall follow the same review process as a change of zoning. A master site plan shall accompany the zoning application for the Overlay District and shall address the requirements of Section 2.02.18.K.

Section 3.04.11 – Maintenance

All common areas and yard area within any lot with a width less than fifty (50) feet shall be maintained the Property Owners Association unless another maintenance program is approved by the City Council. Any shared residential driveways shall be maintained by the Property Owners Association. All parking space adjacent to/outside the travel lanes shall be maintained by the Property Owners Association.

Backup material for agenda item:

1. MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – Faircloth Lakes, owned by Faircloth Family Ltd., c/o Holston Properties & Development, LLC; the engineer is IBI Group (Florida) Inc., c/o R. Scott Batterson, P.E. and Luke Classon; and the property is located west of S.R. 451 (f.k.a. S.R. 429) and north of Lake Marshall Road. (PARCEL ID No.: 08-21-28-0000-00-050)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ SPECIAL REPORTS
☐ PLAT APPROVAL
☒ OTHER: Preliminary Dev. Plan

MEETING OF: March 11, 2014
FROM: Community Development
EXHIBITS: Vicinity Map
Master Site Plan/
Preliminary Dev. Plan
Site/Landscape Plan

PROJECT: FAIRCLOTH LAKES MASTER SITE PLAN\PRELIMINARY DEVELOPMENT PLAN

Request: RECOMMEND APPROVAL OF THE FAIRCLOTH LAKES MASTER SITE PLAN\PRELIMINARY DEVELOPMENT PLAN

SUMMARY:

OWNER: Faircloth Family Ltd., c/o Holston Properties & Development, LLC

APPLICANT/ENGINEER: IBI Group (Florida) Inc.
c/o R. Scott Batterson, P.E. and Luke Classon

LOCATION: West of S.R. 451 (f.k.a. S.R. 429), north of Lake Marshall Road

PARCEL ID NUMBER: 08-21-28-0000-00-050

FUTURE LAND USE: Residential Low (0-5 du/ac)

ZONING: Planned Unit Development (PUD/R-2)

EXISTING USE: Planted Pine

PROPOSED USE: Single Family Residential Subdivision (30) Lots
Min. Lot Size: 8,000 sq. ft. Min. Lot Width: 70 ft.
Min. Living: 1,350 sq. ft.

TRACT SIZE: 25.4 +/- Acres (11.5 +/- Acres developable)

DISTRIBUTION

Mayor Land
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir (2)
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	R-3	Proposed Poe Reserve Subdivision (8,000 sq. ft. min. lots) (2,200 min. sq. ft. homes)
East (City)	Residential Low (0-5 du/ac)	R-1A	S.R. 451 (f.k.a. S.R. 429)
South (City)	Residential Low/Mixed Use (0-5 du/ac)	PUD/Mixed EC	Single family residential
West (City)	Residential Low (0-5 du/ac)	R-1A	Lake Marshall\wetlands

ADDITIONAL COMMENTS:

Project Use:

The Faircloth Lakes Preliminary Development Plan proposes the development of 30 single family residential lots and a 0.29 acre park. The park will serve this residential community and will be owned and maintained by the homeowners association. Residents and their guests will not be allowed to access Marshall Lake. A 25 foot buffer tract, placed under ownership of the HOA, separates homes from the lake area.

Development is subject to the standards and conditions set forth in PUD Ordinance No. 2344, that was adopted on February 5, 2014. The minimum typical lot width is 70 feet with a minimum lot size of 8,000 square feet as established in the applicable PUD ordinance. The typical lot size appearing in the PDP is 8,050 sq. ft. The proposed minimum living area for the subdivision is 1,350 square feet as set forth in Article II of the Land Development Code for R-2 zoning unless otherwise established by City Council. The minimum setbacks applicable to this project are:

Setbacks	Min. Standard
Front	25'
Side*	7.5'
Rear	20'
Rear Wetland	50'
Corner	25'
*Lots adjacent to Poe Reserve have a 10' side yard setback on the northern side to create transition. Side yard setbacks in Poe Reserve are 10'.	

Adjacent Development: Abutting the western boundary of Faircloth Lakes is Lake Marshall. A buffer wall is not proposed along the eastern boundary adjacent to S.R. 451. Applicant has requested a waiver to place a fence in lieu of a wall along the eastern boundary.

Access: Ingress/egress for the development will be via Marshall Lake Road. Access is proposed to the north by a future road connection to the proposed Poe Reserve subdivision (aka Ralph Poe Drive). By linking roads within the Poe Reserve subdivision and Faircloth Lakes, residential homeowners within both future neighborhoods have access Bradshaw Road through Marshall Road or to access US 441 to the north through Lake Doe Blvd. Two access points also benefits response capabilities for the City's emergency response departments. As this elongated property is sandwiched between S.R. 451 and Lake Marshall, the property has limited exposure to existing or future residential areas.

Stormwater: A retention pond has been preliminarily designed to meet the City’s Land Development Code requirements.

Recreation: The developer is providing a 0.29 acre (12,654 sq. ft.) active and passive recreation area. Recreation facilities and equipment will be proposed with the Final Development Plan application.

Environmental:

A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Fish and Wildlife Commission prior to commencing any site construction activity.

Buffer/Tree Program and Landscaping:

Buffers are provided consistent with the Land Development Code.

The following is a summary of the tree replacement program:

Total inches on-site:	327
Total number of specimen trees:	3
Total inches removed:	265
Total inches replaced:	241
Total Inches (Post Development):	303

WAIVER REQUEST:

1. Perimeter Buffer and Wall. Applicant requests waiver to install a ten foot landscape buffer and six foot high masonry wall along the eastern property line adjacent to S.R. 451. The highway is elevated above the proposed development and currently has a chain-link fence for security purposes. In lieu of a wall, any fence placed within the rear yard of lots adjacent to S.R. 451 shall be uniform in material, height, and color. Finding: DRC supports the waiver. City Council approved a similar waiver for the Poe Reserve subdivision abutting to the north.
2. Wall in excess of 8’ feet high. A twelve foot terrace wall is proposed adjacent to the retention pond. Finding: DRC supports the waiver.

SCHOOL CAPACITY REPORT: No development activity or plat recordation can occur until such time that a concurrency mitigation agreement has been approved by OCPS.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

PUBLIC HEARING SCHEDULE:

March 11, 2014 - Planning Commission, 5:01 p.m.
March 19, 2014 - City Council, 8:00 p.m.

RECOMMENDED ACTION:

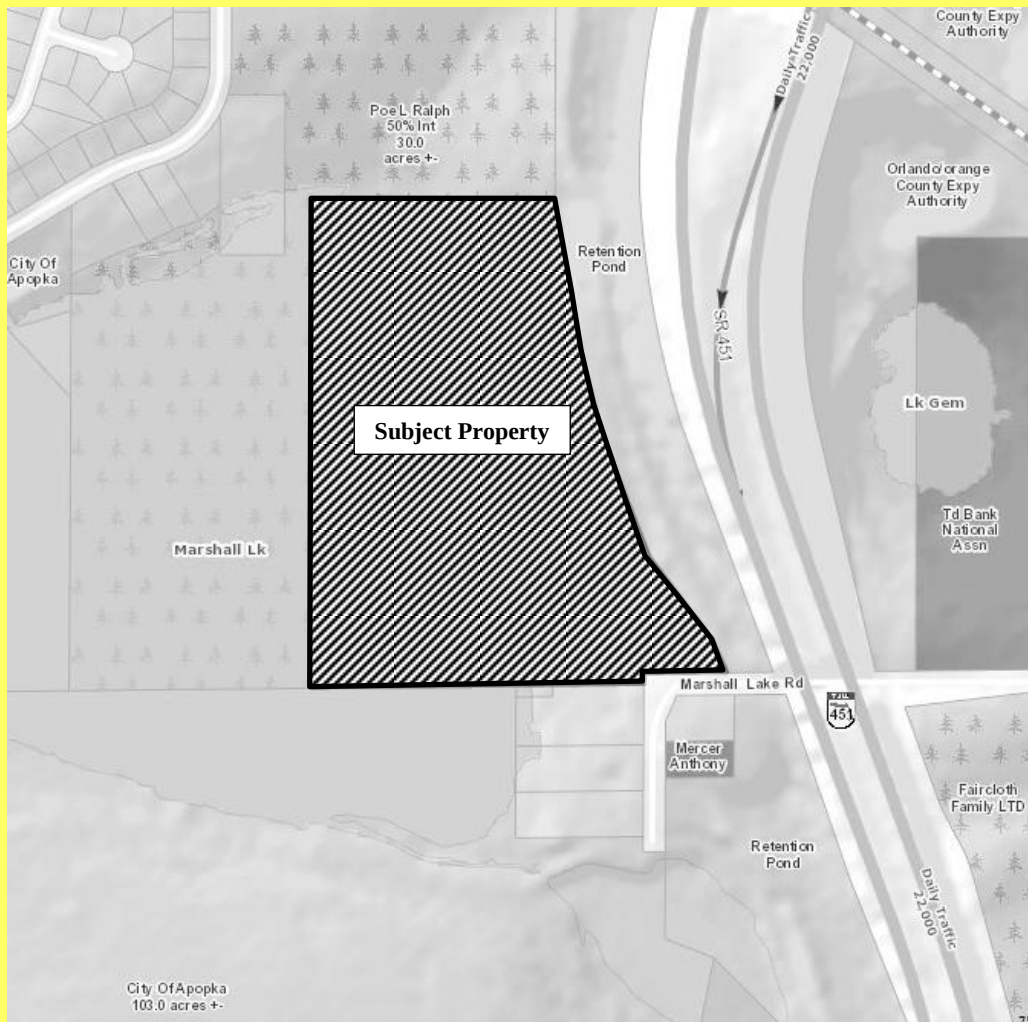
The **Development Review Committee (DRC)** recommends approval of the FAIRCLOTH LAKES – MASTER SITE PLAN\PRELIMINARY DEVELOPMENT PLAN and the two waiver requests, subject to the findings of this staff report.

Planning Commission Recommendation: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Faircloth Lakes
Faircloth Family Ltd., c/o Holston Properties & Development, LLC
IBI Group (Florida) Inc., c/o R. Scott Batterson, P.E. and Luke Classon
West of S.R. 451 (f.k.a. S.R. 429), north of Lake Marshall Road
Parcel ID #: 08-21-28-0000-00-050
25.4 +/- Acres (11.15 +/- acres developable)

VICINITY MAP



NOT FOR CONSTRUCTION

LEGAL DESCRIPTION (PER BISHMAN SURVEY, INC.):

(OFFICIAL RECORDS BOOK 3252, PAGE 447)

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST; THENCE RUN NORTH 00 DEGREES 10 MINUTES 51 SECONDS EAST ALONG THE EAST LINE OF SAID NORTHEAST 1/4 A DISTANCE OF 30.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF MARSHALL LAKE ROAD; THENCE RUN SOUTH 89 DEGREES 23 MINUTES 53 SECONDS WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 842.14 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 23 MINUTES 53 SECONDS WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 227.98 FEET TO THE NORTHWESTLY CORNER OF SAID RIGHT-OF-WAY; THENCE RUN SOUTH 00 DEGREES 14 MINUTES 09 SECONDS WEST ALONG THE WESTERLY LINE OF SAID RIGHT-OF-WAY A DISTANCE OF 30.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 8; THENCE RUN SOUTH 89 DEGREES 23 MINUTES 53 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 906.35 FEET TO THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 8; THENCE RUN NORTH 00 DEGREES 15 MINUTES 54 SECONDS EAST ALONG THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 8 A DISTANCE OF 1330.25 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 8, SAID POINT ALSO BEING A POINT ON THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 8; THENCE RUN SOUTH 89 DEGREES 58 MINUTES 25 SECONDS EAST ALONG SAID NORTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 8 A DISTANCE OF 658.12 FEET TO THE NORTHEAST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 8; THENCE LEAVING SAID NORTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 RUN SOUTH 09 DEGREES 47 MINUTES 14 SECONDS EAST A DISTANCE OF 430.95 FEET; THENCE RUN SOUTH 14 DEGREES 54 MINUTES 18 SECONDS EAST A DISTANCE OF 235.52 FEET; THENCE RUN SOUTH 21 DEGREES 13 MINUTES 28 SECONDS EAST A DISTANCE OF 343.75 FEET; THENCE RUN SOUTH 37 DEGREES 28 MINUTES 46 SECONDS EAST A DISTANCE OF 278.31 FEET; THENCE RUN SOUTH 24 DEGREES 13 MINUTES 21 SECONDS EAST A DISTANCE OF 103.56 FEET TO A POINT ON THE AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF MARSHALL LAKE ROAD AND THE POINT OF BEGINNING.

CONTAINS 25.384 ACRES MORE OR LESS.

PROJECT TEAM:

PROPERTY OWNER

FAIRCLOTH FAMILY LTD
170 S. WASHINGTON AVE
APOPKA, FL 32703

DEVELOPER

HOLSTON PROPERTIES AND DEVELOPMENT, LLC
ATTN: MR. ROBERT HOLSTON
7575 DR PHILLIPS BLVD. #245
ORLANDO, FL 32819
PHONE: (407) 481-0002
EMAIL: HODEV@YAHOO.COM

AUTHORIZED AGENT / PLANNER / CIVIL ENGINEER

IBI GROUP FLORIDA INC.
ENGINEER: R. SCOTT BATTERSON, P.E.
2300 MAITLAND CENTER PARKWAY-SUITE 101
MAITLAND, FL 32751-7410
PHONE: (407) 660-2120
FAX: (407) 875-8308
EMAIL: SCOTT.BATTERSON@IBIGROUP.COM

SURVEYOR

BISHMAN SURVEYING AND MAPPING, INC.
SURVEYOR: ARON D. BISHMAN, P.S.M.
20 S. MAIN ST #210
WINTER GARDEN, FL 34787
PHONE: (407) 905-8877
EMAIL: DON@BISHMANSURVEYING.COM

SHEET INDEX:

C1.0 COVER SHEET
C2.0 EXISTING CONDITIONS PLAN
C3.0 SITE PLAN
C3.1 PRELIMINARY UTILITY PLAN
L-1 PRELIMINARY LANDSCAPE PLAN
L-2 LANDSCAPE DETAILS AND SPEC
TP-01 PRELIMINARY TREE PRESERVATION PLAN

48 HOURS BEFORE DIGGING
CALL
888 or 1-800-682-4770
FLORIDA STATE ONE CALL CENTER

ENGINEER'S PROJECT NO. 35336



IBI GROUP (FLORIDA) INC.

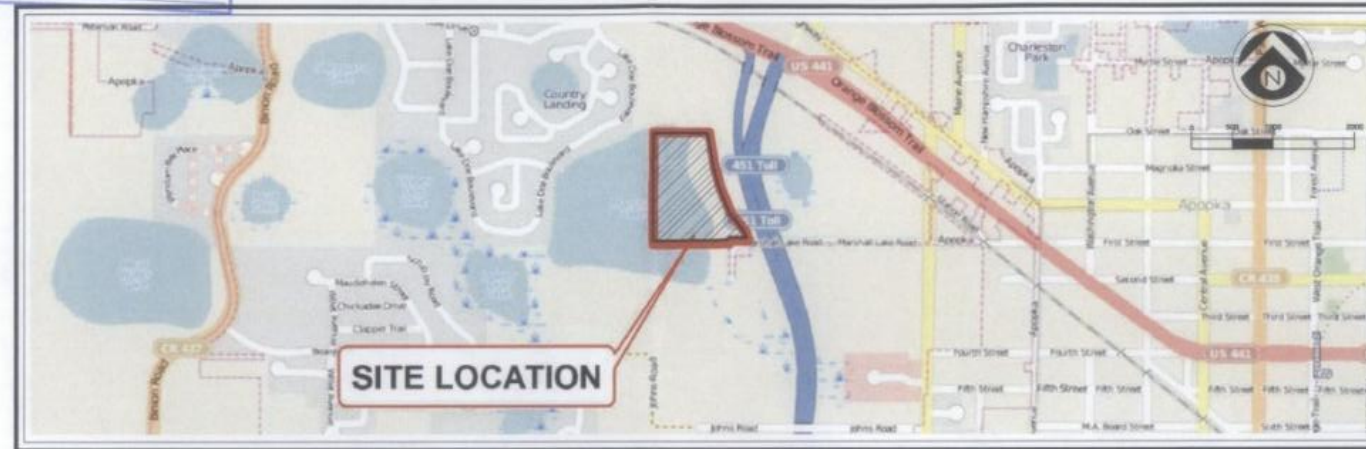
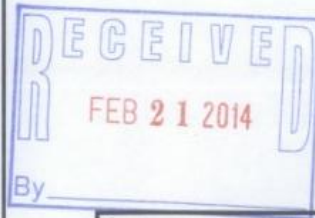
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL CONSULTANTS

2300 Maitland Center Parkway, Suite 101
Maitland, Florida 32751
(407) 660-2120
ORLANDO

2200 Park Central Blvd., Suite 100,
Pompano Beach, Florida 33064
(954) 974-2200
POMPANO BEACH

MASTER SITE PLAN / PRELIMINARY DEVELOPMENT PLAN FOR FAIRCLOTH LAKES CITY OF APOPKA, FLORIDA VICINITY MAP

SCALE: 1" = 1000'



AERIAL MAP

SCALE: 1" = 500'



NRCS SOILS MAP

SCALE: 1" = 500'



FEMA FLOOD MAP

SCALE: 1" = 1000'
DATUM PER DESIGNATION L 653 004, ELEVATION = 79.03' (NAVD 88)



PDP NARRATIVE:

THE SUBJECT PARCEL IS LOCATED AT MARSHALL LAKE ROAD AND IS APPROXIMATELY 25.38 AC. THE SUBJECT PROPERTY IS CURRENTLY UNDEVELOPED AND HAS NO IMPROVEMENTS ON-SITE. THE PROPOSED DEVELOPMENT IS A RESIDENTIAL SUBDIVISION WITH 30 INDIVIDUAL SINGLE FAMILY LOTS, ASSOCIATED ROADWAY AND A RETENTION/DETENTION POND. THE POTABLE WATER, RE-USE WATER AND WASTEWATER WILL BE PROVIDED BY CITY OF APOPKA UTILITIES. A FEE SIMPLE OWNERSHIP, SUCH AS A PROPERTY OWNERS ASSOCIATION, WILL BE CREATED FOR ALL LANDS EXCLUSIVE OF THE INDIVIDUAL LOTS TO CONTROL AND MAINTAIN THE LAND.

SITE DATA:

PARCEL IDENTIFICATION NUMBER:	08-21-28-0000-00-050
PARCEL ADDRESS:	MARSHALL LAKE ROAD APOPKA, FL 32703
PARCEL GROSS AREA:	25.38 AC (1,095,541 SF)
DEVELOPABLE UPLAND AREA:	11.15 AC (485,686 SF)
LAND USE:	RESIDENTIAL LOW
EXISTING ZONING:	R-1A
PROPOSED ZONING:	PLD
ADJACENT EXISTING ZONING:	NORTH: R-2 EAST: R-451 SOUTH: FUTURE/UNDEVELOPED WEST: R-2
FUTURE LAND USE (PLD):	RESIDENTIAL LOW
ADJACENT EXISTING FUTURE LAND USE (PLD):	NORTH: RESIDENTIAL LOW EAST: R-451 SOUTH: RESIDENTIAL LOW/MIXED USE WEST: RESIDENTIAL LOW
FEMA FLOOD INSURANCE RATE MAP FLOOD ZONE:	X & AE (25+ 70.3)
PUD CONDITIONS (1000, NO. 3240):	2. R2 DUNED DISTRICT REQUIREMENTS EXCLUDING DUPLEXES 3. G20 RESIDENTIAL DENSITY: 8.0/dw/acre 4. MINIMUM LOT AREA: 8,000 sq. ft. 5. MINIMUM LIVING AREA: 1,500 sq. ft. 6. MINIMUM MEAN LOT WIDTH: 70 ft. 7. MINIMUM MEAN LOT DEPTH: 115 ft. 8. MAX BLDG HEIGHT: 35 ft. 9. SETBACKS: FRONT YARD: 25 ft. SIDE YARD: 5 ft. REAR YARD: 20 ft. REAR WETLAND SETBACK: 30 ft. FRONT ENTRY GARAGE: 30 ft.
UTILITIES:	POTABLE WATER PROVIDED BY CITY OF APOPKA UTILITY VIA MARSHALL LAKE ROAD AND THE PROPOSED FOR RESERVE DEVELOPMENT TO THE NORTH. WASTEWATER PROVIDED BY CITY OF APOPKA UTILITY VIA THE PROPOSED FOR RESERVE LIFT STATION CONNECTION. RECLAIM WATER PROVIDED BY CITY OF APOPKA UTILITY VIA THE PROPOSED FOR RESERVE DEVELOPMENT CONNECTION. ALL POWER SERVICE SHALL BE PROVIDED UNDERGROUND, NO OVERHEAD SERVICE WILL BE ALLOWED.

CODE #	CODE REQUIREMENT	REQUEST	JUSTIFICATION
ARTICLE 15.12.02 (R-1A)	10' BUFFER AND 6' W ALL	ELIMINATE 10' BUFFER AND PROVIDE 6' VERTICAL FENCE IN LINE WITH ALL ADJACENT TO SR 401	ELEVATION OF SR 401 IS APPROXIMATELY 25 TO 45 FEET HIGHER THAN THE PROPOSED REAR LOT LINES AND IS NOT VISIBLE FROM THE PROPOSED RESIDENTIAL LOTS. IN ADDITION THERE IS AN EXISTING CHAIN LINK FENCE ALONG THE PROPERTY BOUNDARY.
ARTICLE 15.12.03 (R-1A)	W ALLS IN ENDS OF 8' MUST BE APPROVED BY THE DEVELOPMENT REVIEW COMMITTEE	APPROVE THE USE OF A 12' W ALL ALONG THE EAST SIDE OF THE PROPOSED POND TRACT	TO ALLOW A NET INCREASE IN FLOODPLAIN STORAGE A 12' W ALL IS REQUIRED ALONG THE EAST SIDE OF THE POND TRACT. A FENCE IS BEING PROVIDED FOR HEALTH, SAFETY, AND WELFARE OF THE PUBLIC.

NOTES:
AVERAGE 25 FOOT, MINIMUM 15 FOOT UPLAND BUFFER ADJACENT TO THE WETLAND ABUTMENT LINE SHALL BE PROVIDED.
IF ELDER/DEVELOPER MUST SUBMIT BUILDING ELEVATIONS AND FLOOR PLANS TO THE CITY OF APOPKA FOR APPROVAL PRIOR TO CONSTRUCTION OF HOMES.
RESIDENTIAL BUILDING ELEVATIONS SHALL MEET THE INTENT OF THE APOPKA DEVELOPMENT DESIGN GUIDELINES. ARCHITECTURAL ELEVATIONS SHALL BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN APPLICATION.
PARK/RECREATION SPACE SHALL BE A MINIMUM OF 11,250 SQ. FT.
PARK/RECREATION AREA TO BE CONSTRUCTED PRIOR TO 25% BUILD-OUT OF DEVELOPMENT.
NO ROAD OR UTILITY CONSTRUCTION WILL COMMENCE UNTIL WRITTEN CONFIRMATION IS PROVIDED FROM THE NORTHERN PROPERTY OWNER TO CONFIRM ALIGNMENT OF INTERCONNECTING ROADS AND UTILITIES.
A LETTER OR DEVELOPER AGREEMENT WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN BETWEEN FOR RESERVE'S SUBDIVISION AND FAIRCLOTH LAKES SUBDIVISION FOR THE AGREEMENT ALLOWING THE LIFT STATION LOCATED WITHIN AND SERVING FOR RESERVE'S SUBDIVISION TO ACCEPT FAIRCLOTH LAKES SEWER FLOWS CONSISTING OF 30 SINGLE FAMILY LOTS WITH AN AVERAGE DAILY FLOW OF 800 GALLONS PER DAY, MAXIMUM DAILY FLOWS OF 10,000 GALLONS PER DAY, AND A PEAK HOURLY FLOW OF 25 GALLONS PER MINUTE.

SHEET 1 OF 7

PERMITS REQUIRED

AGENCY	PERMIT TYPE	DATE APPLIED	DATE APPROVED	APPROVAL NO.
CITY OF APOPKA	PRELIMINARY DEVELOPMENT PLAN			
S.J.R.W.M.D.	ERP			
F.D.E.P.	WATER			
F.D.E.P.	WASTEWATER			
F.D.E.P.	NPOES			

REV.	DATE	DESCRIPTION	BY
1	1/24/14	CITY OF APOPKA (PR13-28) PDP REVIEW COMMENTS 12/18/13	TJC
2	2/05/14	CITY OF APOPKA (PR13-28) PDP REVIEW COMMENTS 1/29/14	TJC
3	2/21/14	CITY OF APOPKA (PR13-28) PDP REVIEW COMMENTS 2/12/14	TJC



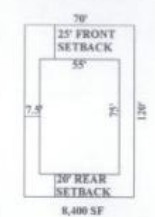


Curve Table			
Curve #	Chord Length	Chord Direction	Radius
C29	32.75'	N4°46'55"W	187.00'
C28	14.70'	N10°41'30"W	475.00'
C27	27.42'	N13°1'35"W	475.00'
C26	29.05'	N15°36'38"W	1150.00'
C25	80.89'	N18°21'00"W	1150.00'
C24	18.55'	N20°49'40"W	1150.00'
C22	1.82'	N21°24'21"W	450.00'
C23	36.75'	N23°51'44"W	450.00'
C36	42.86'	S23°44'48"E	500.00'
C35	23.15'	S20°44'15"E	1300.00'
C34	68.40'	S18°33'07"E	1200.00'
C33	42.56'	S15°54'10"E	1200.00'
C32	2.82'	S14°43'59"E	525.00'
C31	43.74'	S12°11'31"E	525.00'
C30	41.50'	S4°46'55"E	237.00'

INDIVIDUAL LOT INFORMATION				
LOT NUMBER/TRACT	LOT FRONTAGE	LOT SQUARE FOOTAGE	*BUILDABLE AREA	OWNER
ROW		68,510 SF		CITY
UPLAND BUFFER		65,108 SF		H.O.A.
TRACT A		1,571 SF		H.O.A.
LOT 1	61.23	15,267 SF	9,504 SF	PRIVATE
LOT 2	70.26	10,784 SF	5,947 SF	PRIVATE
LOT 3	70.26	9,782 SF	5,161 SF	PRIVATE
LOT 4	80.96	10,030 SF	5,150 SF	PRIVATE
LOT 5	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 6	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 7	70.05	8,405 SF	4,125 SF	PRIVATE
LOT 8	80.89	8,848 SF	4,365 SF	PRIVATE
LOT 9	70.05	8,402 SF	4,125 SF	PRIVATE
LOT 10	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 11	78.86	8,828 SF	4,373 SF	PRIVATE
LOT 12	70.05	8,405 SF	4,125 SF	PRIVATE
LOT 13	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 14	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 15	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 16	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 17	99.94	10,689 SF	5,522 SF	PRIVATE
LOT 18	67.42	8,518 SF	3,562 SF	PRIVATE
LOT 19	70.02	8,403 SF	4,126 SF	PRIVATE
LOT 20	70.03	8,403 SF	4,127 SF	PRIVATE
LOT 21	70.03	8,403 SF	4,127 SF	PRIVATE
LOT 22	70.03	8,404 SF	4,127 SF	PRIVATE
LOT 23	70.03	8,404 SF	4,127 SF	PRIVATE
LOT 24	70.08	8,408 SF	4,127 SF	PRIVATE
LOT 25	67.81	8,780 SF	4,377 SF	PRIVATE
LOT 26	70.00	8,400 SF	4,125 SF	PRIVATE
LOT 27	70.01	8,401 SF	4,125 SF	PRIVATE
LOT 28	68.41	8,672 SF	4,185 SF	PRIVATE
LOT 29	68.83	8,790 SF	4,108 SF	PRIVATE
LOT 30	70.00	8,402 SF	3,824 SF	PRIVATE
PARK/OPEN TRACT		12,554 SF		H.O.A.
POND TRACT		68,137 SF		H.O.A.

*BUILDABLE AREA IS EQUAL TO TRACT/LOT AREA MINUS THE BUILDINGS SETBACK AREA

TYPICAL LOT
SIZE/PROPOSED
BUILDING PAD



PROPOSED
BUILDING PAD
FOR LOT 17



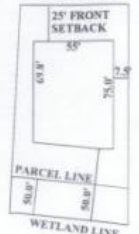
PROPOSED
BUILDING PAD
FOR LOT 18



PROPOSED
BUILDING PAD
FOR LOT 28



PROPOSED
BUILDING PAD
FOR LOT 29

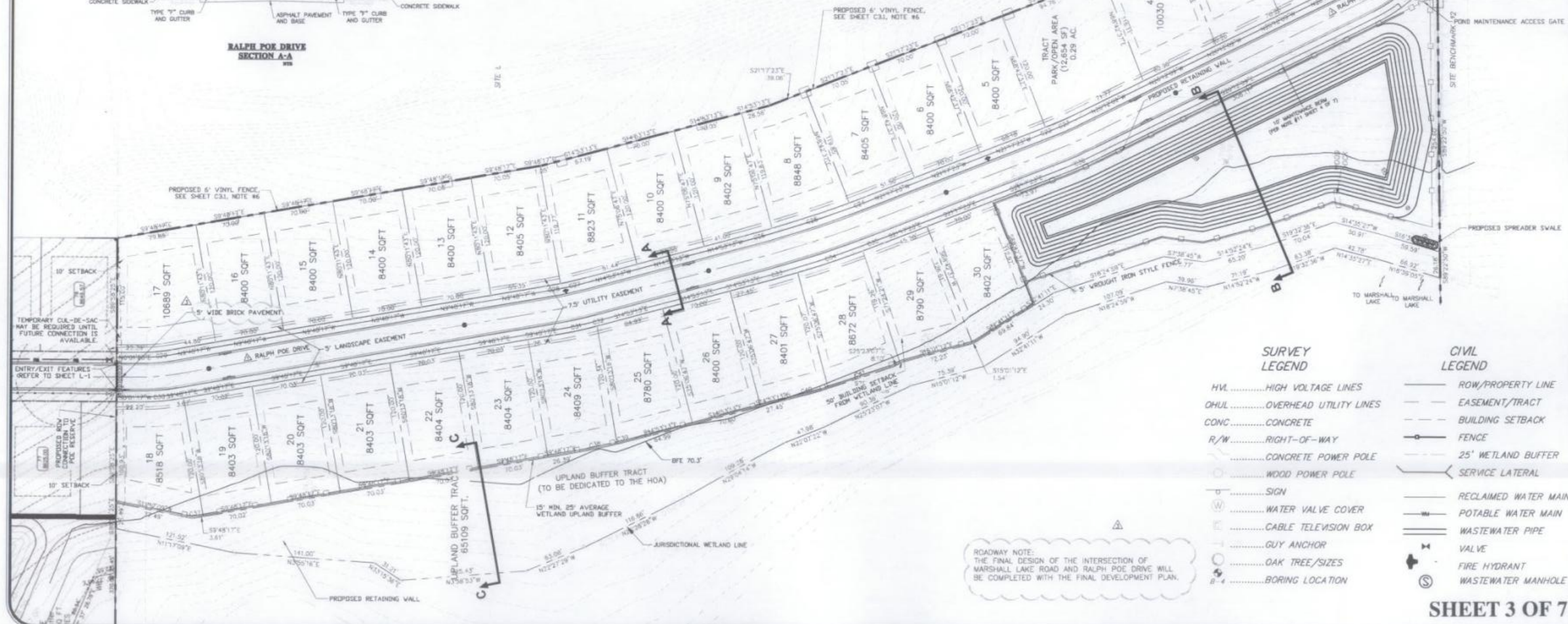
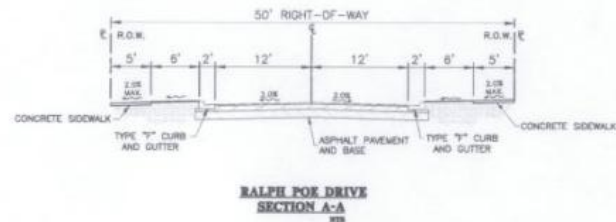


PROPOSED
BUILDING PAD
FOR LOT 30



48 HOURS BEFORE DIGGING
CALL
811 or 1-800-432-4770
FLORIDA STATE ONE CALL CENTER

**NOT FOR
CONSTRUCTION**



- SURVEY
LEGEND**
- H.V. HIGH VOLTAGE LINES
 - OHUL OVERHEAD UTILITY LINES
 - CONC CONCRETE
 - R/W RIGHT-OF-WAY
 - CONCRETE POWER POLE
 - WOOD POWER POLE
 - SIGN
 - WATER VALVE COVER
 - CABLE TELEVISION BOX
 - GUY ANCHOR
 - OAK TREE/SIZES
 - B-4 BORING LOCATION

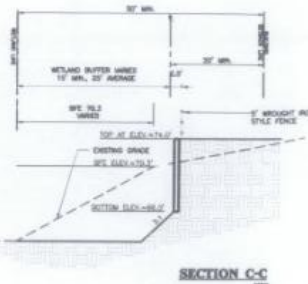
- CIVIL
LEGEND**
- ROW/PROPERTY LINE
 - EASEMENT/TRACT
 - BUILDING SETBACK
 - FENCE
 - 25' WETLAND BUFFER
 - SERVICE LATERAL
 - RECLAIMED WATER MAIN
 - POTABLE WATER MAIN
 - WASTEWATER PIPE
 - VALVE
 - FIRE HYDRANT
 - WASTEWATER MANHOLE

ROADWAY NOTE:
THE FINAL DESIGN OF THE INTERSECTION OF
MARSHALL LAKE ROAD AND RALPH POE DRIVE WILL
BE COMPLETED WITH THE FINAL DEVELOPMENT PLAN.

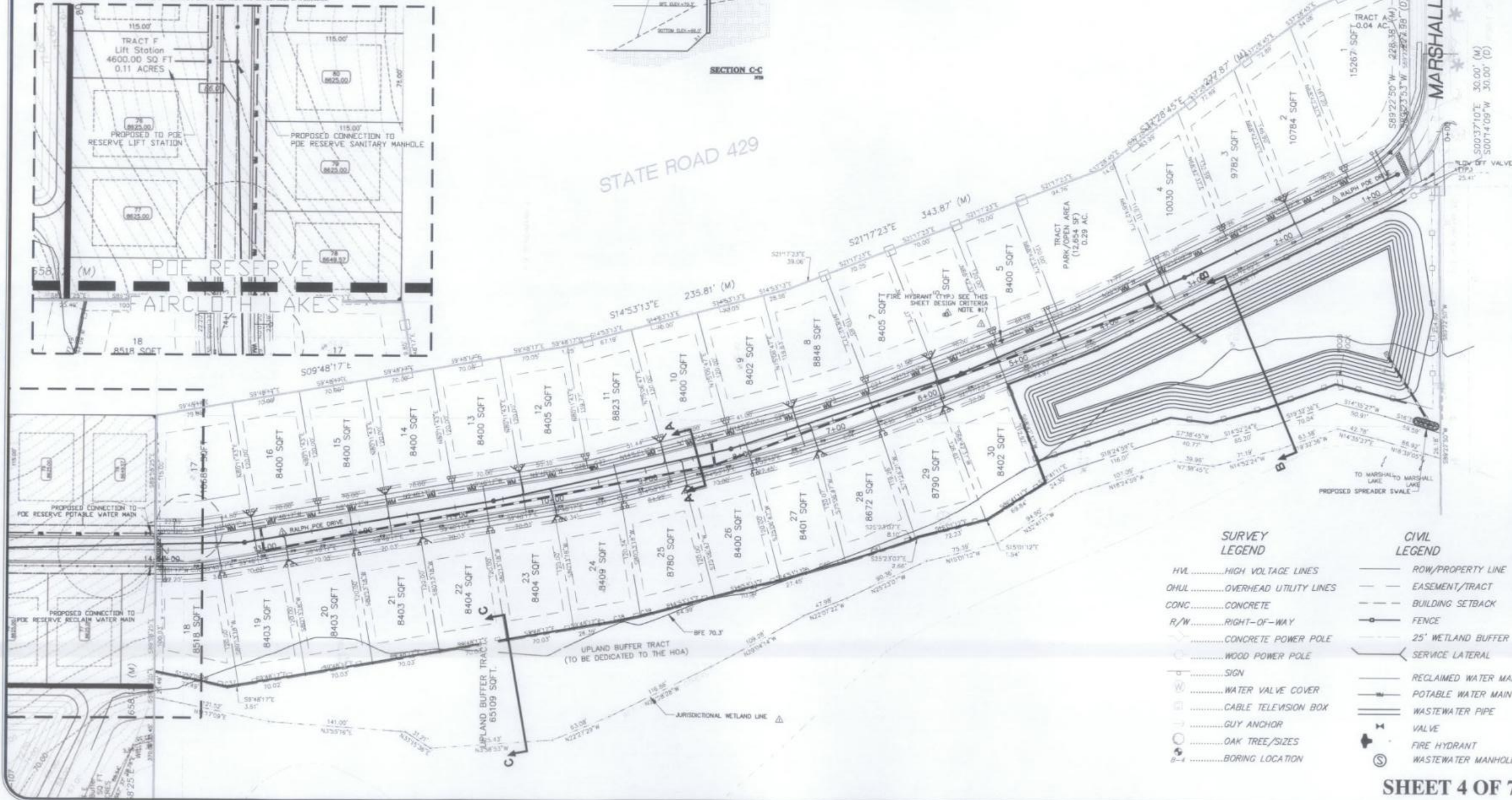
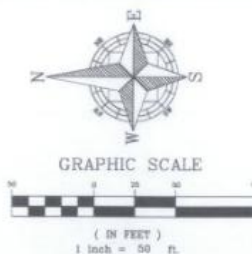
IBI GROUP (FLORIDA) INC.		PLANNERS	
ENGINEERS		SURVEYORS	
LANDSCAPE ARCHITECTS		ENVIRONMENTAL CONSULTANTS	
2200 PARK CENTRAL BLVD. N.		SUITE 100	
MILWAUKEE, WI 53217-2300		POMPAHO BEACH, FL 33064	
(414) 860-2120		(407) 860-2120	
ORLANDO		POMPAHO BEACH	
DATE: 2/21/2014		SHEET: 35.36	
SCALE: 1" = 50'		PROJECT: 35.36	
DRAWN: O. SANCHEZ		DESIGNED: L. CLAUSSON	
CHECKED: R.S. BATTERSON		DATE: 2/21/2014	
IBI GROUP		FLORIDA ENGINEERING	
BUSINESS NO. 2966		LICENSE NO. 60853	
STATE OF FLORIDA		PROFESSIONAL ENGINEER	

SHEET 3 OF 7

1. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.03.03.6 THE DEVELOPMENT IS REQUIRED TO HAVE A TEN FOOT (10') BUFFERWALL, WITH A MINIMUM SIX FOOT (6') BRICK, STONE OR DECORATIVE BRICK FINISH WALL ERECTED (ROUND THE BUFFERWALL, ADJACENT TO OUTLYING ROADS, (REFER TO VARIANCE) WAIVER FROM COVER SHEET).
2. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.03.03.2 THE DEVELOPMENT IS REQUIRED TO HAVE A PROPERTY OWNERS ASSOCIATION, COMPOSED IN FIVE SEVEN OWNERSHIP, FOR LAND EXCLUDING OF INDIVIDUAL LOTS.
3. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.02.04 C.1. A PRELIMINARY DEVELOPMENT PLAN (PDP) SUBMITTAL SHALL BE DRAWN TO A MAXIMUM SCALE OF 1" = 50'.
4. PER CITY OF APOKALA LAND DEVELOPMENT CODE - SECTION 8.04.1 ONE RESIDENTIAL SUBDIVISION ENTRANCE SIGN IN ACCORDANCE WITH SUBDIVISION PLAN APPROVAL, ON EACH SIDE OF ENTRANCE, LOCATED IN MEDIAN. THE SIGN SHALL BE A WALL SIGN MOUNTED SIGN AS AREA FOR THE SIGN SHALL BE PLANNED WITHIN THE DEVELOPMENT PLAN AND SUCH AREA SHALL NOT TRUNCATE THE CORNER OF A RESIDENTIAL LOT. PROVIDE DETAIL OF ENTRANCE DESIGN.
5. PER CITY OF APOKALA LAND DEVELOPMENT CODE - SECTION 8.01.38 REQUIRED LANDSCAPING (20) BUFFERWALLS ADJACENT TO RIGHTS-OF-WAY, WITHIN BUFFER YARDS THAT ARE ADJACENT TO RIGHTS-OF-WAY. ONE CANOPED TREE MUST BE PROVIDED AT INTERVALS AND IN A FASHION DESCRIBED IN SECTION 8.01.38.1.8 ALONG WITH A CONTINUOUS HEDGEROW WITH THE HEDGES 24 INCHES HIGH AND SPACED 36 INCHES APART.
6. THE PROPOSED VINYL FENCE, UNIFORM IN STYLE AND MATERIAL SHALL BE INSTALLED ALONG THE REAR LOT LINE OF ALL LOTS ABOUTING R.S. 451.
7. STREET LIGHT POLES SHALL BE DECORATIVE TYPE CONSISTENT WITH THE DEVELOPMENT DESIGN GUIDELINES. LIGHTS POLE FOOTINGS CANNOT BE EXPOSED ABOVE FINISHED GRADE.
8. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.05.03.8.1 THE CITY OF APOKALA DESIGN BIDS FOR STORMWATER MANAGEMENT SYSTEMS IS THE 25 YEAR/24 HOUR STORM EVENT. ALL FINISHED FLOOD ELEVATIONS SHALL BE CONSTRUCTED AT AN ELEVATION NO LOWER THAN TWENTY INCHES (2') ABOVE THE 100 YEAR STORM ELEVATION.
9. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.05.03.8.7 ALL RETENTION/DETENTION PONDS SHALL BE DESIGNED AS OFF BOTTOM PONDS WITH A MINIMUM BOTTOM ELEVATION OF THREE FEET (3') ABOVE THE ESTIMATED SEASONAL HIGH WATER TABLE.
10. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.05.03.1.1 ALL RETENTION/DETENTION PONDS NOT MEETING THE MAXIMUM SLOPE, BASED ON THE MAXIMUM EXCAVATION DEPTH, SHALL REQUIRE FENCING OF A DECORATIVE TYPE KEEPING WITH THE REQUIRED BUFFER TREATMENTS, CHARACTER AND ARCHITECTURE OF THE PROJECT.
11. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.05.03.8.4 ALL PONDS REQUIRING FENCING SHALL HAVE A MINIMUM TEN FOOT (10') MAINTENANCE BEAR AROUND THE POND PERIMETER.
12. A VOLUME FOR VOLUME COMPENSATING STORAGE REPLACEMENT SHALL BE PROVIDED FOR ANY INCREMENTAL WITHIN THE ESTABLISHED FLOOD PLAN.
13. THE FINAL DRAINAGE WILL DETAILS TO THE CITY OF APOKALA STANDARDS.
14. PARK PLAN AND EQUIPMENT DETAILS FOR PARK TRACT WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN. OUTDOOR LIGHTING SHALL BE PROVIDED FOR THE PARK AREA.
15. RESIDENTS AND GUESTS OF FOURTH-CLASS LINES SHALL NOT HAVE ACCESS TO MARSHALL LAKE.
16. ALL ROADWAY AND FIRE HYDRANTS MUST BE IN PLACE BEFORE BUILDING CONSTRUCTION BEGINS.
17. PER CITY OF APOKALA LAND DEVELOPMENT CODE - ARTICLE 8.1 - 8.04.04.2.1 FIRE HYDRANTS SHALL NOT BE SPACED AT INTERVALS GREATER THAN 300'. BLUE REFLECTORS SHALL BE AFFIXED TO ROADWAYS AT THE CENTER OF THE ROAD ADJACENT TO THE FIRE HYDRANT.
18. FENCE ALONG THE "POND" TRACT SHALL BE SETBACK A MINIMUM OF TWO FEET FROM THE NEAREST EDGE OF A SIDEWALK.



**NOT FOR
CONSTRUCTION**

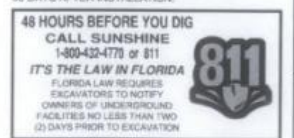


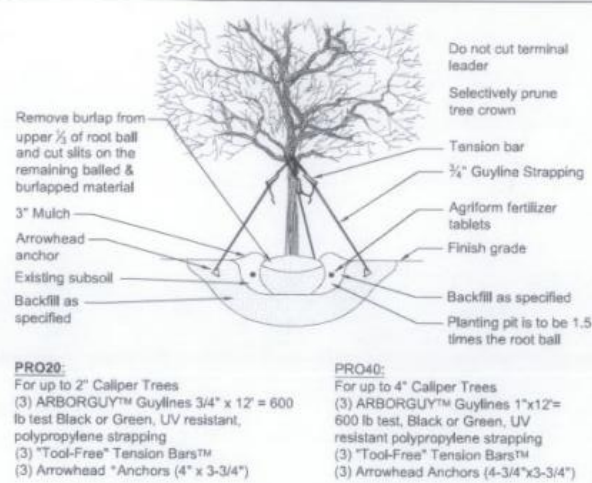
	HVL.....HIGH VOLTAGE LINES
	OHUL.....OVERHEAD UTILITY LINES
	CONC.....CONCRETE
	R/W.....RIGHT-OF-WAY
	CONCRETE POWER POLE
	WOOD POWER POLE
	SIGN
	WATER VALVE COVER
	CABLE TELEVISION BOX
	GUY ANCHOR
	OAK TREE/SIZES
	BORING LOCATION

	ROW/PROPERTY LINE
	EASEMENT/TRACT
	BUILDING SETBACK
	FENCE
	25' WETLAND BUFFER
	SERVICE LATERAL
	RECLAIMED WATER MAIN
	POTABLE WATER MAIN
	WASTEWATER PIPE
	VALVE
	FIRE HYDRANT
	WASTEWATER MANHOLE

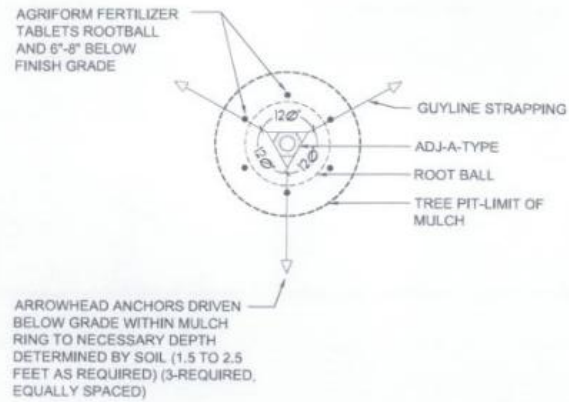
SHEET 4 OF 7

 IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2946	SCALE 1" = 50'	DRAWN: O. SANCHEZ	PRELIMINARY UTILITY PLAN PRELIMINARY DEVELOPMENT PLAN FAIRCLOTH LAKES SUBDIVISION CITY OF APOPKA, FLORIDA	IBI GROUP (FLORIDA) INC. HTTP://WWW.IBIGROUP.COM ENGINEERS LANDSCAPE ARCHITECTS SURVEYORS PLANNERS ENVIRONMENTAL CONSULTANTS	2500 PARK CENTRAL BLVD. N. SUITE 100 POMPANO BEACH, FLORIDA 33064 (904) 880-1700	10/17/14 CITY OF APOPKA (1813-28) POP COMMENTS (10/13/2014) T.E. 10/17/14 CITY OF APOPKA (1813-28) POP COMMENTS (10/13/2014) T.E.
	PROJECT 35336	DESIGNED: L. GLASSON				
	SHEET C3.1					

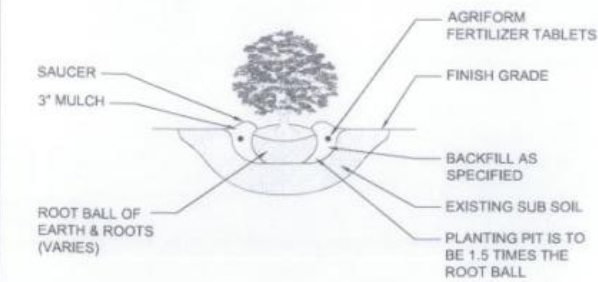




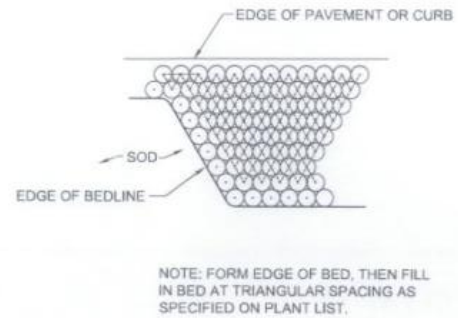
A ARBORGUY® PRO20/PRO40 STAKING AND PLANTING DETAIL
N.T.S.



B TREE STAKING DETAIL
N.T.S.



C TYPICAL SHRUB/GROUNDCOVER PLANTING DETAIL
N.T.S.



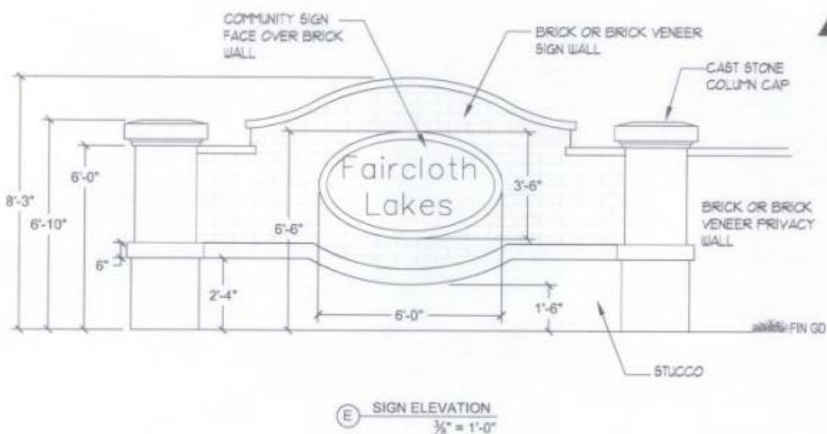
D TYPICAL SPACING DETAIL
N.T.S.

GENERAL LANDSCAPE NOTES:

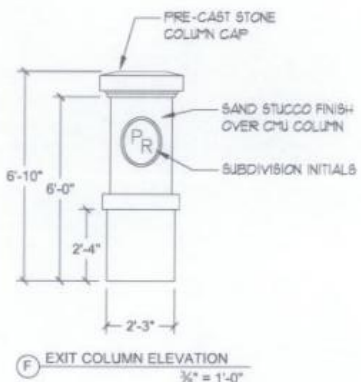
- Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and legend. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC. Notify the Landscape Architect of any discrepancies.
- LC shall comply with all local codes and ordinances and obtain all permits and bonds necessary to construct the project.
- LC shall coordinate their work with other contractors to assure efficient and timely completion of the work.
- LC shall be responsible for supplying all materials, labor, and equipment for the performance of their portion of the work.
- LC to verify all existing grades, dimensions, adequate drainage, suitable planting soil and field conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Sunshine State One (811) 72 hours prior to digging to have all utilities located.
- LC to protect existing utilities, structures, surfaces, and vegetation noted to be saved and be responsible for repair/replacement.
- Protect trees to be saved per detail. Vehicle parking, material storage, or soil removal/addition is not permitted within driplines.
- Round-Up shall be applied twice at ten day intervals onto all existing vegetation, sod, and groundcover areas that are to be replanted. Extreme care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. Mfr's recommendations shall be followed. Remaining weeds and their roots shall be removed by hand prior to installation of plants. Resprouting weeds and plants are the responsibility of the LC through the one year warranty period.
- All plant materials shall be graded Florida No. 1 or better as outlined under current Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species. LC to obtain written certification from nurseries that plant materials are Florida No. 1 or better. Trees up to 4" caliper measured at 6" above soil line and over 4" caliper at 12" above soil line unless otherwise noted. All specifications to be met or exceeded unless otherwise noted. All rootballs and containers to be free of weeds and their roots.
- Planting soil of Fla. peat mixed 1/2 with clean topsoil for the backfilling of plant pits and beds shall be required only if existing soil is unsuitable for planting and/or contains lime rock or construction debris (to be removed).
- Trees and palms shall be installed so their top main root at the trunk is visible and 2" above finished grade. If root is buried, remove soil from the top of the rootball prior to installation. Do not apply the 1 1/2" of mulch to the top of the rootball until after inspection of each tree or palm.
- Landscape Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
- Finished grade prior to mulching or sodding to be 3" below top of adjacent surfaces such as walks, curbs and driveways extending perpendicularly from the surface edge for a minimum distance of 18". See detail.
- All palms, trees, shrubs, and groundcovers shall be fertilized with Agriform 20-10-5 or SierraTabs 16-8-12 planting tablets. One tablet/ 1 gal, 2 tablets/ 3 gal, 3 tablets/ 5 or 7 gal, 4 tablets/ 10 gal and one tablet/ each 1/2" of tree trunk diameter. Application shall be as per the details and mfr's recommendation.
- All planting beds (except for annuals) and trees to receive med. pine bark mulch. Due to environmental concerns, cypress mulch shall NOT be used. All tree rootballs (which require 4 foot wide mulch rings in turf areas) shall be mulched to a maximum 1 1/2" depth (to aid water penetration) following inspection. All other planting beds to receive a 3" depth. Mulch shall not touch trunks or stems or be applied within the crowns of groundcovers or over their branches or foliage. Mulch is to be applied by hand and shall not be "blown in".
- LC to maintain all plant material in a plumb, upright and stable condition. All trees/palms to be guyed/staked as per details.
- LC to remove all bags (unless biodegradable), tags, ties, wires, ropes, stakes and nursery attachments from all plant material.
- LC shall be responsible to keep plant material in a healthy, watered, insect/pest free condition until owner's final acceptance.
- LC to provide a one-year warranty for trees/palms, shrubs, groundcovers, and vines and thirty days for sod. Warranty period shall start with final acceptance by owner. All plant material shall be alive and in satisfactory growth at the end of the warranty period. Replacement plant material shall be warranted for ninety days (sod for thirty days) from replacement date.
- Warranty shall apply only to material that dies due to poor quality, improper handling, or installation practices. Generally, material transplanted on-site shall not be warranted. Adverse weather conditions shall not apply. Proper watering and maintenance are the owner's responsibility during the warranty period.
- Provide 100% coverage of all landscape areas using automatic underground irrigation system with rain sensor.

NOTE: Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction, makes contractor responsible for all costs incurred for construction charges, not the owner or his representative (Landscape Dynamics Construction Co., Inc.) The Owner must maintain the height of all plants within the "Line-Of-Site" triangle area to a height of no greater than 24" above grade for shrubs and groundcover, and tree branching no lower than 12" above finish grade, to ensure clear site line views toward traffic at road and driveway intersections. Landscape Dynamics Construction Co., Inc., is not responsible for continued maintenance of such plant material. The owner, leasing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO HAND WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

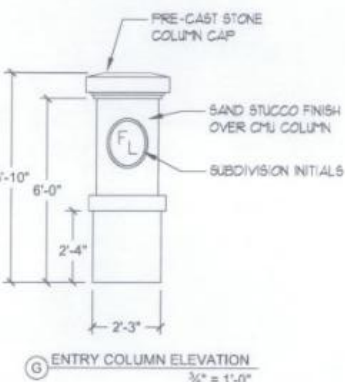
48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770 or 811
IT'S THE LAW IN FLORIDA
FLORIDA LAW REQUIRES
EXCAVATORS TO NOTIFY
OWNERS OF UNDERGROUND
FACILITIES NO LESS THAN TWO
(2) DAYS PRIOR TO EXCAVATION



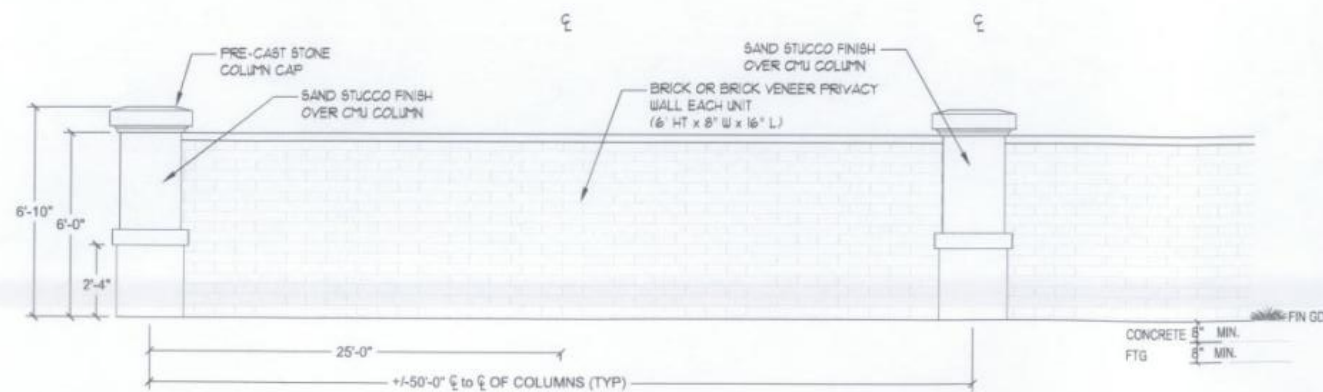
E SIGN ELEVATION
3/8" = 1'-0"



F EXIT COLUMN ELEVATION
3/8" = 1'-0"



G ENTRY COLUMN ELEVATION
3/8" = 1'-0"



H BUFFER WALL ELEVATION
3/8" = 1'-0"

LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2008 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

LANDSCAPE ARCHITECT
Robert R. Butcher, LANDSCAPE ARCHITECT
Professional Seal No. 12345
The owner is responsible for all property lines and boundaries shown on these plans. The owner, leasing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO HAND WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

Phone 407-379-8111 Email randy@landscape-dynamics.com

LANDSCAPE
Dynamics
CONSTRUCTION CO., INC.
LANDSCAPE ARCHITECTS AND PLANNERS

Landscape Details and Specs.
Faircloth Lakes
Apopka, Florida

P.O. BOX 2852 - Winter Park, Florida 32790-2852

REVISIONS
11/15/14 Comments
2/2/14 Base
2/2/14 Base

DATE: 11-22-10
JOB NUMBER: 10-048
DRAWN BY: RRB
FILE: Landscape
SCALE: N.T.S.

L-2

Backup material for agenda item:

2. FINAL DEVELOPMENT PLAN – Ponkan Reserve South, owned by Miller Investments & Property Management, Inc. and Pizzuti Land LLC; the applicant is Floriday Properties, Inc.; the engineer is June Engineering Consultants, Inc., c/o Jeffrey A. Sedloff and Jimmy Dunn; and the property is located at 308, 318 & 326 Ponkan Road. (Parcel ID Nos.: 28-20-28-0000-00-006, 28-20-28-0000-00-045 & 28-20-28-0000-00-062)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ SPECIAL REPORTS
☐ PLAT APPROVAL
☒ OTHER: Final Dev. Plan/Plat

MEETING OF: March 11, 2014
FROM: Community Development
EXHIBITS: Vicinity Map
Final Dev. Plan/Plat
Landscape Plan

PROJECT: PONKAN RESERVE SOUTH FINAL DEVELOPMENT PLAN/PLAT

**Request: RECOMMEND APPROVAL OF THE PONKAN RESERVE SOUTH
FINAL DEVELOPMENT PLAN/PLAT**

SUMMARY:

OWNER: Miller Investments & Property Management, Inc. and
Pizzuti Land LLC

APPLICANT: Floriday Properties, LLC

ENGINEER: June Engineering Consultants, Inc.
c/o Jeffrey A. Sedloff and Jimmy Dunn

LOCATION: 308, 318 & 326 Ponkan Road

PARCEL ID
NUMBERS: 28-20-28-0000-00-006, 28-20-28-0000-00-045 &
28-20-28-0000-00-062

FUTURE LAND USE: Residential Low Suburban (0-3.5 du/ac)

ZONING: R-1AA

EXISTING USE: Single Family Home, Manufacture Home and Vacant Land

PROPOSED USE: Single Family Residential Subdivision (33) Lots
Min. Lot Size: 12,500sq. ft. Min. Lot Width: 95 ft.
Min. Living: 1,700 S.F

TRACT SIZE: 15.81 +/- Acres

DENSITY: 2.09 units per gross acre

DISTRIBUTION

Mayor Land
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir (2)
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use Office	Mixed CC PO/I	Vacant Land Vacant Land
East (County)	Residential Low Density	A-1	SFR
South (City)	Residential Low (0-5 du/ac)	R-1AA	Vacant Land
West (City)	Residential Low (0-5 du.ac)	R-1AA	Vacant Land

ADDITIONAL COMMENTS:

Project Use:

The Ponkan Reserve Final Development Plan proposes the development of 33 single family residential lots. The minimum typical lot width is 95 feet with a minimum lot size of 12,500 square feet. The proposed minimum living area for the subdivision is 1,700 square feet as set forth in Chapter 2 of the Land Development Code and approved with the Preliminary Development Plan.

Waiver Request:

The applicant has proposed waiver requests that were not raised at the Preliminary Development Plan review. Waivers are for the following items:

Per LDC Section 2.02.01(A), Minimum Lot Size. Reduce from a minimum lot size of 12,500 sq.ft. to a minimum lot size of 11,000 sq.ft. for Lot 1, 10,700 sq.ft. for Lot 2, and 12,200 sq.ft. on Lot 3. Justification: Additional right-of-way is needed for future widening of Ponkan Road.

- **Staff does not object to this waiver request.**

Per LDC Section 2.02.01(A)3.2.1, Building Setbacks for Lots 1 – 3 and 33. Allow a reduced front yard setback of 20 feet and a rear yard setback of 15 feet subject to the condition that one of the following design options are incorporated with lot construction: a three car garage, garage recessed at least six feet behind the front of the house, side entry or carriage entry garage.

Justification: Variance necessary to accommodate additional right-of-way for Ponkan Road.

- **Staff does not object to this waiver request.**

Access: Ingress/egress for the development will be via Ponkan Road with a future connection to the parcel located to the east of the site.

Stormwater: Tract “A” is a retention pond that has been designed to meet the City’s Land Development Code requirements.

Recreation: The developer is providing a 7,003 square foot active and passive recreation area with a tot lot, picnic tables, park benches and a bicycle rack for the subdivision. Recreation tract will need to meet the minimum code requirement prior to approval of Final Development Plan. (The Land Development Code requires a minimum recreation space of 18,750 square feet.)

Environmental:

A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any site construction activity.

Buffer/Tree Program and Landscaping:

Buffers are provided consistent with the Land Development Code or as addressed within the Waiver Request.

The following is a summary of the tree replacement program:

Total inches on-site:	3377
Total number of specimen trees:	9
Total inches removed:	1679
Total inches replaced:	564
Total Inches (Post Development)	2267

SCHOOL CAPACITY REPORT: No development activity can occur until such time that a concurrency mitigation agreement has been approved by OCPS.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

PUBLIC HEARING SCHEDULE:

Planning Commission – March 11, 2014, 5:01 p.m.

City Council – March 19, 2014, 8:00 p.m.

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the PONKAN RESERVE - FINAL DEVELOPMENT PLAN/PLAT, subject to approval of the waiver requests and the findings of this staff report.

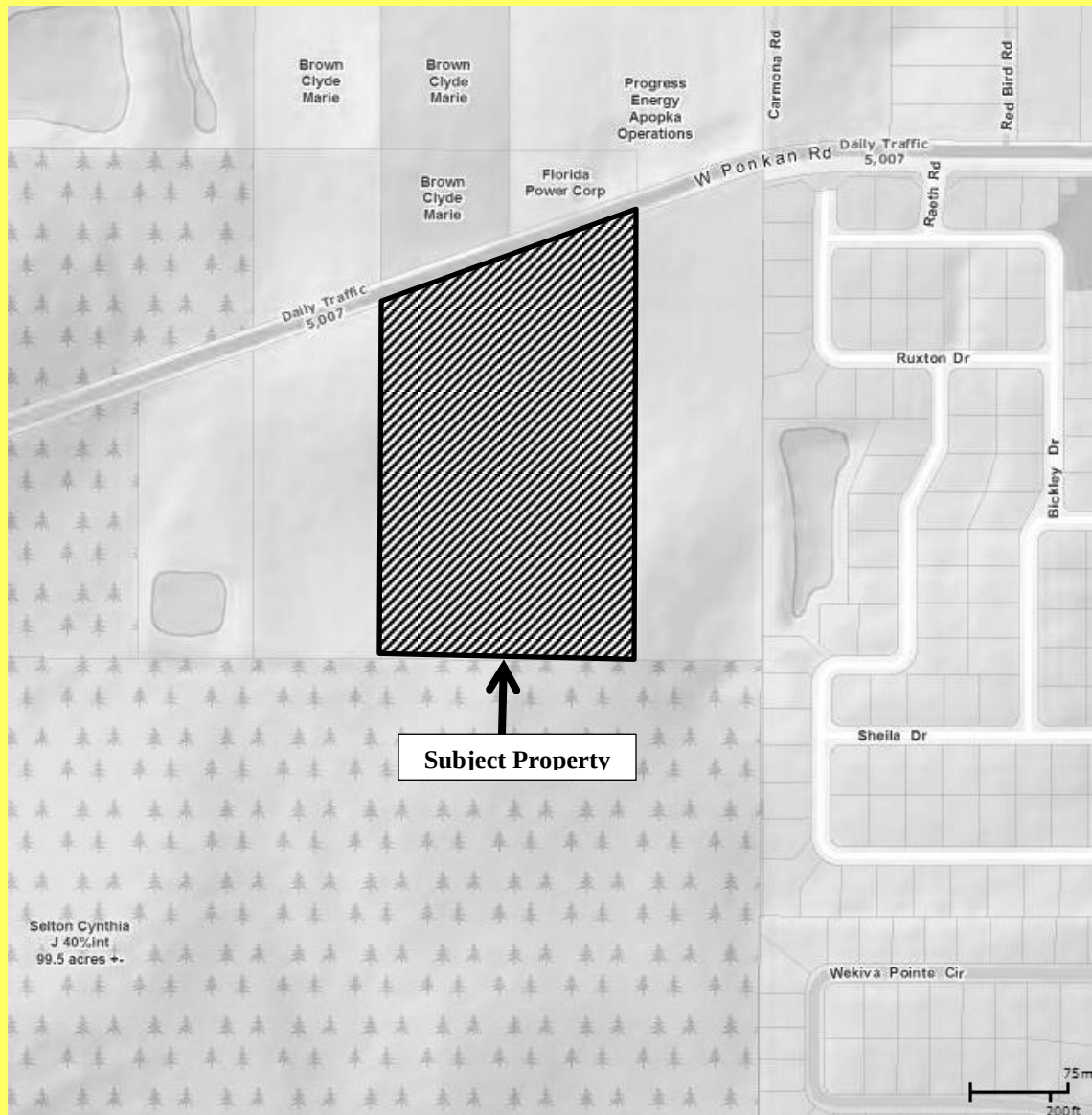
Planning Commission Recommendation: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

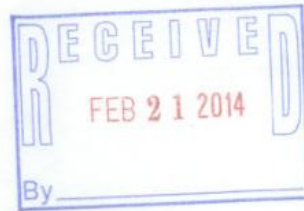
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Miller Investments & Property Management, Inc. and Pizzuti Land LLC
Ponkan Reserve South Subdivision
15.81 +/- Acres
Proposed Maximum Allowable Development: 33 Single Family Lots
Parcel ID #s: 28-20-28-0000-00-045; -006 & -062



VICINITY MAP





FINAL DEVELOPMENT PLAN for PONKAN RESERVE SUBDIVISION

DEVELOPMENT INFORMATION

Land Area	15.81 Ac. (688,841.04) sf.
Zoning	Single Family Residential Existing - R-1AA
Future Land Use	Residential Low Suburban
Number of Proposed Lots	33
Proposed Density	2.09 units/acre
Maximum Height	35 ft (2 Stories)
Minimum Lot Area	12,500 sf
Minimum Living Area	1,700 sf
Minimum Lot Width	95 ft
Minimum Yard Setback:	
Front:	25 ft
Side:	10 ft
Side Corner:	25 ft
Rear:	20 ft

* Irregular Lots Front Yard Setback Distance is Indicated at the Minimum Required Lot Width

Phasing One Phase

Projected Traffic: 330 Average Daily Traffic Trips

Schools
Elementary - Wolf Lake
Middle - Wolf Lake
High - Apopka

Sewer Flow - 9,900 gal. per day

Water Flow - 11,550 gal. per day (Fire flow per Sub. Regs.)

Stormwater Provide Retention/Detention System on-site per Sub. Regs.

Existing Vegetation: Orange Grove

No fences, landscaping or other structures are allowed within drainage easements between lots with underground piping.

Internal Streets are to be Public

DESCRIPTION

PARCEL ID NO. 28-20-28-0000-00-045

THAT PART OF THE WEST 1/2 OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 29 SOUTH, RANGE 28 EAST, LYING SOUTH OF THE COUNTY PAVED ROAD, ORANGE COUNTY, FLORIDA;

ALSO;

PARCEL ID NO. 28-20-28-0000-00-006 AND 28-20-28-0000-00-062

THAT PART OF THE EAST 1/2 OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 29 SOUTH, RANGE 28 EAST, LYING SOUTH OF COUNTY ROAD.

ALL LYING WITHIN ORANGE COUNTY, FLORIDA.

CONTAINING 15.837 ACRES, MORE OR LESS.

OWNER OF RECORD: MILLER INVESTMENTS & PROPERTY MGMT. (407) 905-8180
PIZUTTI LAND, LLC.
c/o FLORIDAY PROPERTIES, INC.
P.O. BOX 770609
WINTER GARDEN, FL. 34777-0609

APPLICANT/DEVELOPER: FLORIDAY PROPERTIES, INC. (407) 905-8180
P.O. BOX 770609
WINTER GARDEN, FL. 34777-0609

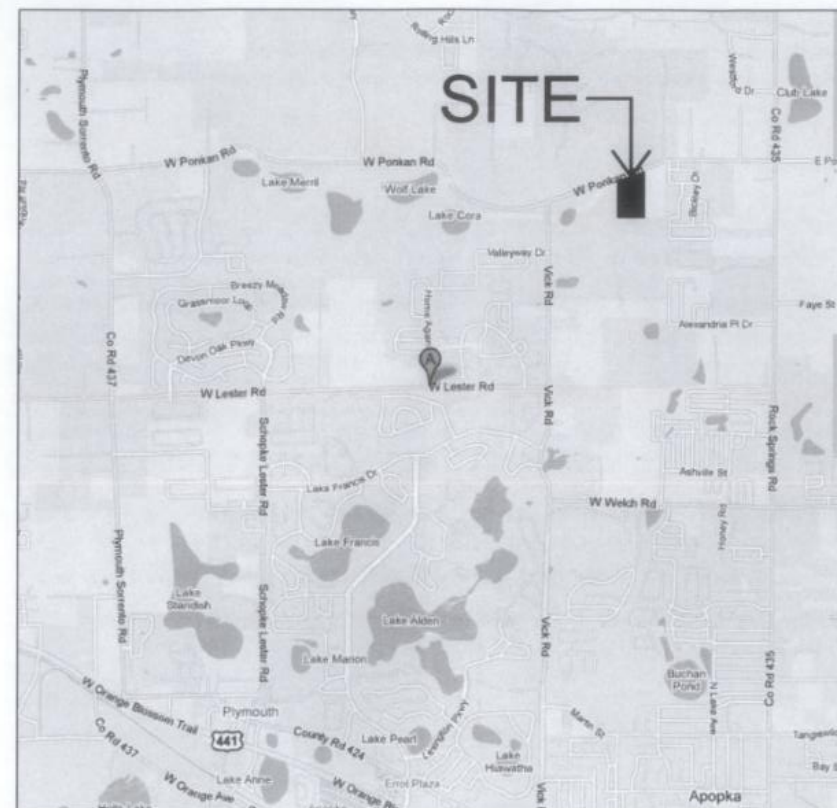
ENGINEER: JUNE ENGINEERING CONSULTANTS, INC. (407) 905-8180
P.O. BOX 770609
WINTER GARDEN, FL. 34777-0609

SURVEYOR: BISHMAN SURVEYING AND MAPPING, INC. (407) 905-8877
132 W. PLANT STREET SUITE 210
WINTER GARDEN, FL. 34787

GEOTECHNICAL ENGINEER: YOYASHI ENGINEERING SCIENCES, INC. (407) 774-9383
953 SUNSHINE LANE
ALAMONTE SPRINGS, FL. 32714

ENVIRONMENTAL CONSULTANT: BIO-TECH CONSULTING, INC. (407) 894-5969
2002 E. ROBINSON STREET
ORLANDO, FL. 32803

UTILITIES
Water City of Apopka
Sewer City of Apopka
Telephone Century Link
Electric Duke Energy
Cable Brighthouse Networks



Location Map

Waiver / Variance	Code Section	Justification / Hardship
Waive requirement to have a 6 foot high brick, stone or decorative block finished wall adjacent to Agricultural Zoning Districts	2.02.01.B.4.c(1)	Site has been designed to have retention pond and backs of large residential lots along the areas where adjacent to Agricultural Zoned properties. The adjacent Agricultural property is also surrounded by R-1AA zoned properties
Front setbacks must be 25 feet from front property line or the distance where the lot equals 95 feet wide. Waiver to allow the setback to the distance where lot equals 85 feet wide for lots 4, 32 & 33	2.02.01.A	To help keep the front setback distances more uniform between homes, and therefore not have some homes setback significantly more than adjacent homes
Minimum lot size - Reduce from 12,500 SF to 11,000 SF on lot 1, 10,700 SF on lot 2, and 12,200 SF on lot 33	2.02.01.A	In order to accommodate dedicating additional R/W on Ponkan Rd. a lot size reduction is needed
Building setbacks for lots 1-3 and 33 reduce to 20' front and 15' rear setbacks. Lots 1-3 and 33 must be provided one of the following conditions: a three car garage, garage recessed at least six feet behind the front of the house, side entry or carriage entry garage.	2.02.01.A 3.2.1	In order to accommodate dedicating additional R/W on Ponkan Rd. building setback reductions are needed. This will help allow similar size larger homes consistent with the rest of the project

Tract	Use	Ownership & Maint.	Area (sf)
A	Stormwater - Retention	Homeowners Association	79,788.50
B	Lift Station	City of Apopka	1,439.22
C	Wall / Landscape	Homeowners Association	1,906.77
D	Wall / Landscape	Homeowners Association	4,724.98
E	Park	Homeowners Association	7,003.16
F	Stormwater / Drainage	City of Apopka	2,632.00
G	Park / Open Space	Homeowners Association	11,788.93
H	Future Right-of-Way	City of Apopka	14,096.42

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	1
Typical Section	2
Overall Plan	3
Existing Conditions	3a
Tree Removal & Overall Landscape	3b
Landscape & Irrigation Plan	3c
Overall Grading & Drainage Plan	3d
Overall Water System Plan	3e
Overall Sewer Plan	3f
Overall Reuse Water System	3g
Striping & Signage Plan	3h
SWPPP	3i
Plan & Profile	4-5
Offsite Improvements	6
Retention	7
Site Details	8
Lift Station Details	9-10
General Utility Details	11-15
City General Notes Plan	16

Conditions of Approval/Notes

- The front of all homes shall face the street. See Section 6.01.00.C.4 of the City Land Development Code.
- All front load garages shall be setback a minimum of 30 feet from the property line.
- Residential architectural design shall comply with intent of the development design guidelines.
- A letter or mitigation agreement for school concurrency must be obtained from OOPS prior to City Council hearing.
- Any habitat management activities required by Florida Fish and Wildlife Conservation Commission must be completed prior to commencing any clearing or grading activities.

August 9, 2013
Revised January 28, 2014

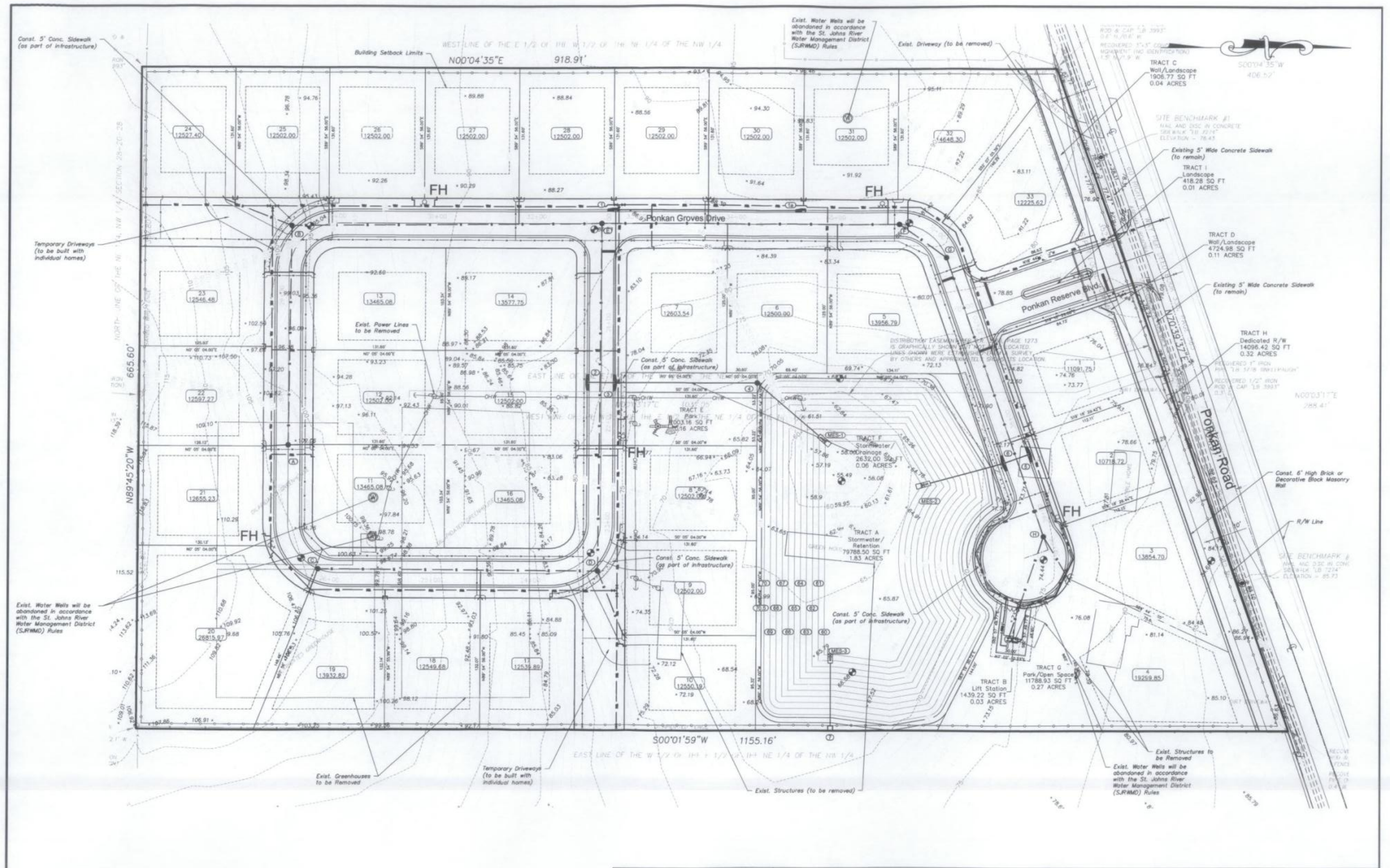


june engineering
consultants, inc.

14 S. Main Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

ROHLAND ALLEN, JUNE 8
PE # 41949



DATE	REVISION
10/28/13	City Comments
12/22/13	City Comments
1/28/14	City Comments
2/14/14	City Comments

Overall Plan
Ponkan Reserve Subdivision

JEC June engineering consultants, inc.
14 S. Main Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 40'
DATE: 8/9/13 DATE: 8/9/13

ROHLAND ALLEN JUNE 8
PE# 41949

JOB NO.
12-0441
SHEET
3
OF 16

PONKAN RESERVE

A PART OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 1 OF 3

PLAT
BOOK

PAGE

PONKAN RESERVE DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT FLORIDAY PROPERTIES, INC., BEING THE OWNER IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATES SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATES THE STREETS AND THE EASEMENTS SHOWN HEREON TO THE PERPETUAL USE OF THE PUBLIC, UNLESS OTHERWISE NOTED.

IN WITNESS WHEREOF, THE CORPORATION NAMED BELOW HAS CAUSED THESE PRESENTS TO BE SIGNED AND ATTESTED TO BY THE OFFICER NAMED BELOW.

FLORIDAY PROPERTIES, INC.
P.O. BOX 770808
WINTER GARDEN, FLORIDA 34777

BY: _____
ROHLAND A. JUNE, PRESIDENT

SIGNED AND SEALED IN THE PRESENCE OF:

PRINT NAME: _____ PRINT NAME: _____

STATE OF FLORIDA
COUNTY OF ORANGE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ BY ROHLAND A. JUNE, PRESIDENT OF FLORIDAY PROPERTIES, INC., ON BEHALF OF THE CORPORATION. HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

QUALIFICATION AND STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A PROFESSIONAL SURVEYOR AND MAPPER CERTIFIES THAT I HAVE PREPARED THE FOREGOING PLAT AND IT WAS MADE UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT SAID LAND IS LOCATED IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA.

Signed: _____ Dated: _____
BISHMAN SURVEYING AND MAPPING, INC. ARON D. BISHMAN, P.S.M.
20 S. MAIN STREET, SUITE 210 FLORIDA REGISTRATION NO. 5688
WINTER GARDEN, FLORIDA 34787 CERTIFICATE OF AUTHORIZATION NO. 7274

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, THAT ON _____, THE CITY COUNCIL THE CITY OF APOPKA APPROVED THE FOREGOING PLAT.

ATTEST:

JOHN H. LAND, MAYOR CITY CLERK

CERTIFICATE OF APPROVAL BY CITY ENGINEER

THIS IS TO CERTIFY, THAT ON _____, THE FOREGOING PLAT WAS EXAMINED AND APPROVED BY

R. JAY DAVOLL, CITY ENGINEER

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY, THAT ON _____, THE FOREGOING PLAT WAS APPROVED BY THE APOPKA PLANNING COMMISSION OF THE CITY OF APOPKA.

CHAIRMAN DATE

DESCRIPTION

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SAID SECTION 28; THENCE RUN N89°45'37"W, ALONG THE NORTH LINE OF SAID SECTION 28, 332.30 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE EAST 1/2 OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28; THENCE RUN S00°01'59"W, ALONG SAID EAST LINE, 170.32 FEET, TO THE SOUTH RIGHT OF WAY LINE (PER LOCAL MONUMENTATION) OF WEST PONKAN ROAD AND THE POINT OF BEGINNING; THENCE CONTINUE S00°01'59"W, ALONG SAID EAST LINE 1155.18 FEET, TO THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28; THENCE RUN N89°45'20"W, ALONG SAID SOUTH LINE, 885.80 FEET, TO THE WEST LINE OF THE EAST 1/2 OF THE WEST 1/2 OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28; THENCE RUN N00°04'35"E, ALONG SAID WEST LINE, 918.91 FEET, TO THE SAID SOUTH RIGHT OF WAY LINE OF WEST PONKAN ROAD; THENCE RUN N70°39'37"E, ALONG SAID SOUTH RIGHT OF WAY LINE, 704.81 FEET, TO THE POINT OF BEGINNING. CONTAINING 15.837 ACRES, MORE OR LESS.

DETAIL

TYPICAL LOT LAYOUT

STREET SIDE (RIGHT OF WAY)

FRONT LOT LINE

10' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

5' DRAINAGE AND UTILITY EASEMENT

LEGEND

- Δ CENTRAL ANGLE
- R RADIUS LENGTH
- L ARC LENGTH
- T TANGENT LENGTH
- CB CHORD BEARING
- CH CHORD LENGTH
- P.C. POINT OF CURVATURE
- P.T. POINT OF TANGENCY
- PRC POINT OF REVERSE CURVE
- PCC POINT OF COMPOUND CURVE
- RP RADIUS POINT
- P.I. POINT OF INTERSECTION
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- N.R. NOT RADIAL
- O.R. OFFICIAL RECORDS BOOK
- P.G. PAGE
- P.B. PLAT BOOK
- C CENTERLINE
- L.B. LICENSED BUSINESS
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- DUE DRAINAGE & UTILITY EASEMENT
- AL ACCESS AND LANDSCAPE EASEMENT
- LW LANDSCAPE AND WALL EASEMENT
- W.E. WALL EASEMENT
- R/W RIGHT OF WAY
- PCP PERMANENT CONTROL POINT
- PRM PERMANENT REFERENCE MONUMENT
- HOA HOME OWNERS ASSOCIATION

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL, IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTES

- DENOTES SET PERMANENT REFERENCE MONUMENT, A 4"x4" CONCRETE MONUMENT "PRM LB 7274", UNLESS NOTED OTHERWISE.
- DENOTES SET PERMANENT CONTROL POINT, A NAIL AND DISC "PCP LB 7274", UNLESS NOTED OTHERWISE.

NOTES

1. BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, AS BEING N89°45'37"W (ASSUMED).
2. LOT LINES ARE RADIAL UNLESS NOTED WITH (N.R.) FOR NON-RADIAL.
3. REFERENCES BELOW TO THE PONKAN RESERVE HOMEOWNERS' ASSOCIATION, INC., REFER TO A FLORIDA CORPORATION NOT-FOR-PROFIT THAT WILL BE FORMED FOR REGULATING THE USE AND CONDITION OF THIS PROPERTY.
4. TRACT "A" (STORMWATER/RETENTION TRACT), SHALL BE CONVEYED TO AND MAINTAINED BY THE PONKAN RESERVE HOMEOWNERS' ASSOCIATION, INC. SAID TRACT IS SUBJECT TO A DRAINAGE EASEMENT IN FAVOR OF THE CITY OF APOPKA, OVER THE ENTIRE TRACT.
5. TRACT "B" (LIFT STATION TRACT), SHALL BE CONVEYED TO THE CITY OF APOPKA.
6. TRACT "C" AND TRACT "D" (WALL/LANDSCAPE TRACT), SHALL BE CONVEYED TO AND MAINTAINED BY THE PONKAN RESERVE HOMEOWNERS' ASSOCIATION, INC.
7. TRACT "E" (PARK) SHALL BE CONVEYED TO AND MAINTAINED BY THE PONKAN RESERVE HOMEOWNERS' ASSOCIATION, INC.
8. TRACT "F" (STORMWATER/DRAINAGE TRACT) SHALL BE CONVEYED TO AND MAINTAINED BY THE PONKAN RESERVE HOMEOWNERS' ASSOCIATION, INC.
9. TRACT "G" (PARK/OPEN SPACE) SHALL BE CONVEYED TO AND MAINTAINED BY THE PONKAN RESERVE HOMEOWNERS' ASSOCIATION, INC.
10. TRACT "H" (ADDITIONAL RIGHT OF WAY) SHALL BE CONVEYED TO AND MAINTAINED BY THE CITY OF APOPKA.
11. THERE IS A 10.00' DRAINAGE AND UTILITY EASEMENT ON ALL FRONT LOT LINES, AS SHOWN HEREON.
12. THERE IS A 5.00' DRAINAGE AND UTILITY EASEMENT ON ALL SIDE LOT LINES, AS SHOWN HEREON.
13. THERE IS A 7.50' DRAINAGE AND UTILITY EASEMENT ON ALL REAR LOT LINES, AS SHOWN HEREON.
14. ALL UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES. PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IN WHICH CASE THE CABLE TELEVISION COMPANY SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.
15. THERE ARE 33 LOTS AND 7 TRACTS IN THIS SUBDIVISION.
16. TRACT "F" (LANDSCAPE), SHALL BE CONVEYED TO AND MAINTAINED BY THE PONKAN RESERVE HOMEOWNERS' ASSOCIATION.

VICINITY MAP NOT TO SCALE



20 S. MAIN STREET, SUITE 210
WINTER GARDEN, FL 34787
CERTIFICATE OF AUTHORIZATION
LB 7274

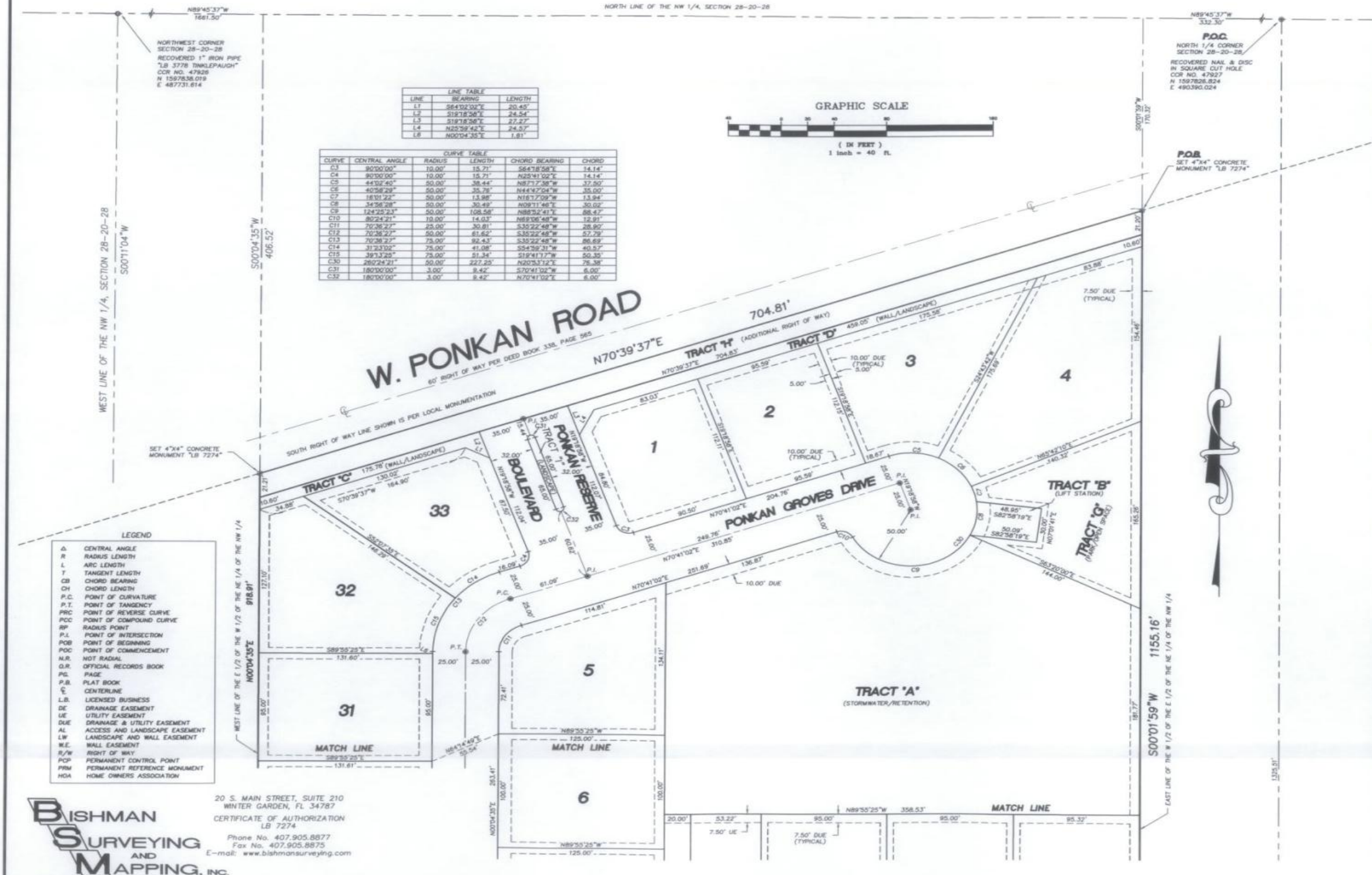
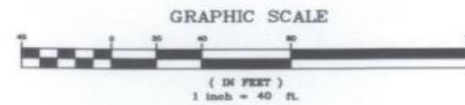
Phone No. 407.905.8877
Fax No. 407.905.8875
E-mail: www.bishmansurveying.com

BISHMAN
SURVEYING
AND
MAPPING, INC.

PAGE

LINE TABLE		
LINE	BEARING	LENGTH
L1	S64.102.50"E	20.45'
L2	S121.8.50"E	24.34'
L3	N119.7.50"E	22.87'
L4	N25.59.42"E	24.57'
L8	N00.04.35"E	1.91'

CURVE TABLE					
CURVE	CENTRAL ANGLE	RADIUS	LENGTH	CHORD BEARING	CHORD
C3	90.000.00"	10.00'	15.71'	S64.81.58"E	14.14'
C4	90.000.00"	10.00'	15.71'	N25.81.10"E	14.14'
C5	44.530.45"	50.00'	38.44'	N82.71.58"E	37.50'
C6	10.948.24"	30.00'	14.47'	N44.74.04"E	30.00'
C7	18.01.22"	50.00'	13.98'	N81.71.09"E	13.94'
C8	34.548.28"	50.00'	30.43'	N69.11.48"E	30.02'
C9	12.424.24"	10.00'	15.68'	N88.52.41"E	88.67'
C10	92.244.41"	70.00'	14.03'	N69.18.48"E	12.91'
C11	76.26.27"	25.00'	30.81'	S35.22.48"E	28.90'
C12	76.26.27"	25.00'	81.62'	S35.22.48"E	57.79'
C13	76.26.27"	92.00'	92.00'	S35.22.48"E	86.69'
C14	31.233.02"	75.00'	41.08'	S45.59.31"E	40.57'
C15	39.13.25"	75.00'	51.34'	S19.81.17"E	50.35'
C21	295.274.91"	50.00'	22.25'	N00.53.17"E	78.38'
C30	180.000.00"	3.00'	9.42'	S70.01.01"E	6.00'
C32	180.000.00"	3.00'	9.42'	N70.01.01"E	6.00'



PONKAN RESERVE

A PART OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 3 OF 3

PLAT
BOOK

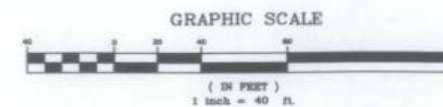
PAGE

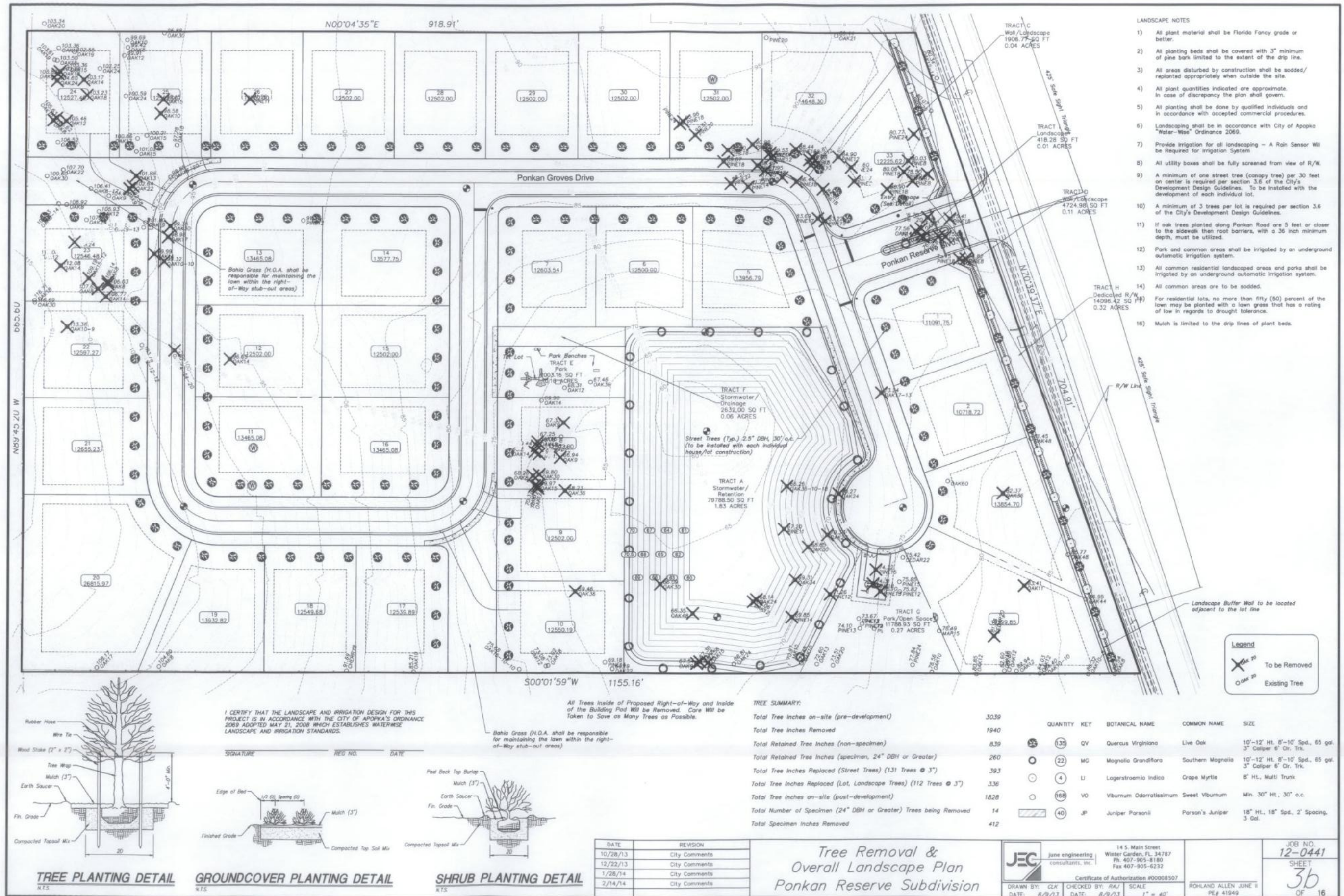
CURVE	CENTRAL ANGLE	RADIUS	LENGTH	CHORD BEARING	CHORD
C16	90°00'00"	10.00'	15.71'	S44°55'25"E	14.14'
C17	90°00'00"	10.00'	15.71'	S45°04'35"W	14.14'
C18	90°00'00"	25.00'	39.27'	N44°55'25"W	35.36'
C19	90°00'00"	50.00'	78.54'	N44°55'25"W	70.71'
C20	90°00'00"	10.00'	15.71'	S45°04'35"W	14.14'
C21	90°00'00"	25.00'	39.27'	N45°04'35"E	35.36'
C22	90°00'00"	50.00'	78.54'	N45°04'35"E	70.71'
C23	90°00'00"	75.00'	117.81'	N45°04'35"E	106.07'
C24	21°58'09"	75.00'	28.26'	N11°01'09"E	28.86'
C25	49°54'41"	75.00'	85.53'	N47°00'04"E	63.22'
C26	18°07'10"	75.00'	23.72'	N81°00'59"E	23.62'
C27	90°00'00"	10.00'	15.71'	S45°04'35"W	14.14'
C28	90°00'00"	50.00'	78.54'	S44°55'25"E	70.71'
C29	90°00'00"	25.00'	39.27'	S44°55'25"E	35.36'

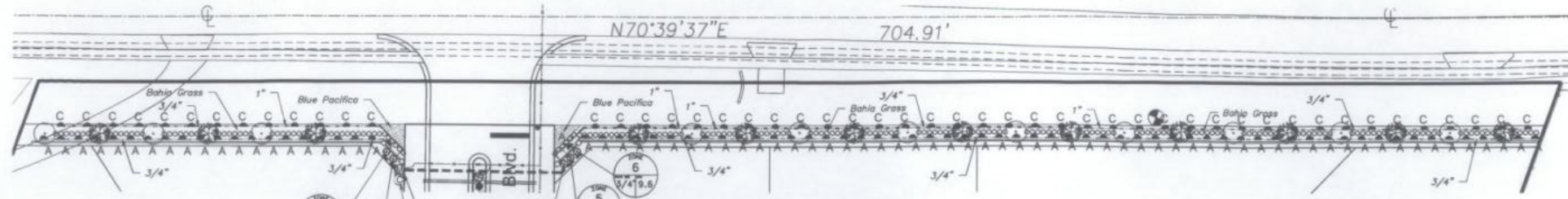
LEGEND	
Δ	CENTRAL ANGLE
R	RADIUS LENGTH
L	ARC LENGTH
T	TANGENT LENGTH
CB	CHORD BEARING
CH	CHORD LENGTH
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVE
POC	POINT OF COMPOUND CURVE
RP	RADIUS POINT
P.I.	POINT OF INTERSECTION
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
N.R.	NOT RADIAL
O.R.	OFFICIAL RECORDS BOOK
PG.	PAGE
P.B.	PLAT BOOK
C	CENTERLINE
L.B.	LICENSED BUSINESS
DE	DRAINAGE EASEMENT
UE	UTILITY EASEMENT
DUE	DRAINAGE & UTILITY EASEMENT
AL	ACCESS AND LANDSCAPE EASEMENT
LW	LANDSCAPE AND WALL EASEMENT
W.E.	WALL EASEMENT
R/W	RIGHT OF WAY
PCP	PERMANENT CONTROL POINT
PRM	PERMANENT REFERENCE MONUMENT
HOA	HOME OWNERS ASSOCIATION

BISHMAN
SURVEYING
AND
MAPPING, INC.

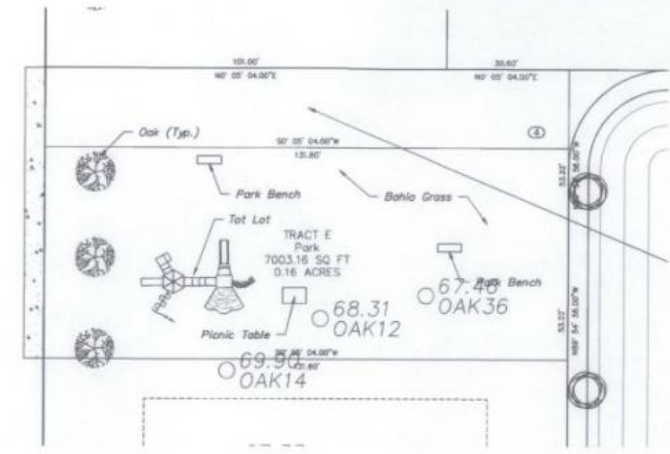
SET 4"x4" CONCRETE
MONUMENT "LB 7274"
20 S. MAIN STREET, SUITE 210
WINTER GARDEN, FL 34787
CERTIFICATE OF AUTHORIZATION
LB 7274
Phone No. 407.905.8677
Fax No. 407.905.8875
E-mail: www.bishmansurveying.com



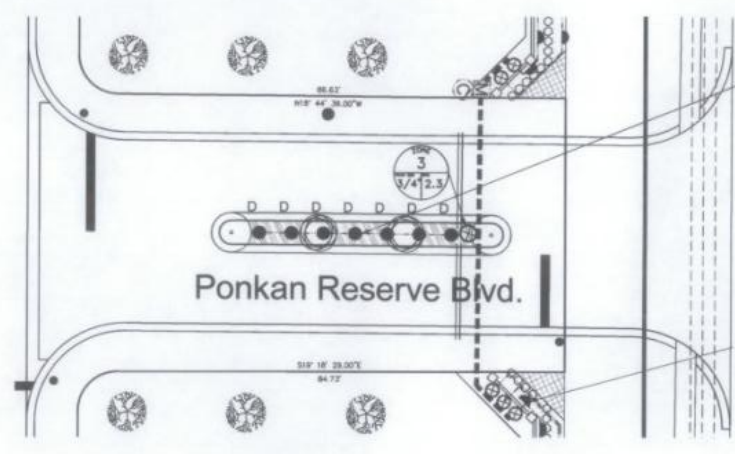




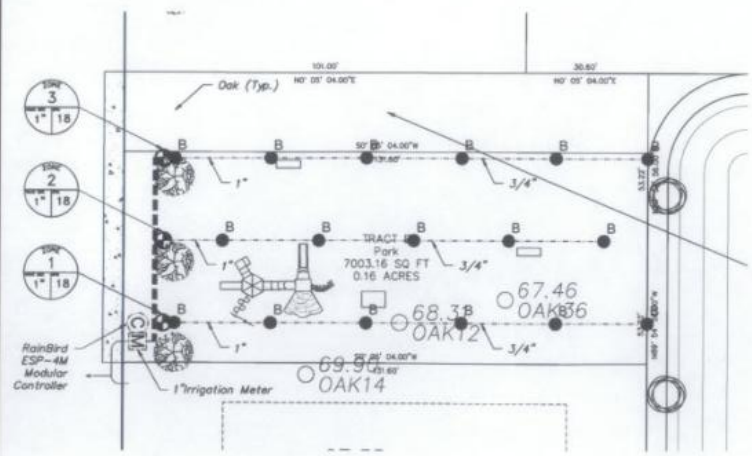
LANDSCAPE ALONG PONKAN ROAD



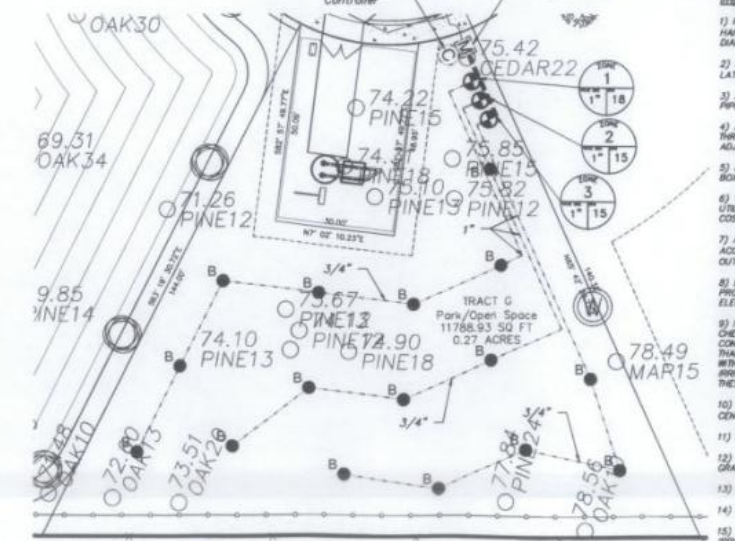
PARK LANDSCAPE PLAN



ENTRANCE PLAN



PARK IRRIGATION PLAN



PARK IRRIGATION PLAN

- Park Notes:**
1. Tot Lot equipment shall be installed prior to the C.O. of the 25th lot.
 2. Optional equipment may include Tot Lot, Swimming Pool, etc.
 3. Park shall be irrigated.
 4. Picnic Table, Park Benches and Bike Racks shall be constructed with Durable Materials and Require Low Maintenance.
 5. Parks will be adequately lit on automatic timers without projecting a glare on adjacent residential properties.

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

DATE	REVISION
10/26/13	City Comments
12/22/13	City Comments
1/28/14	City Comments
2/14/14	City Comments

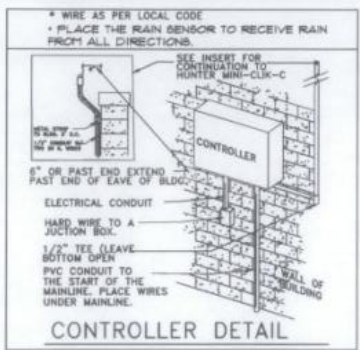
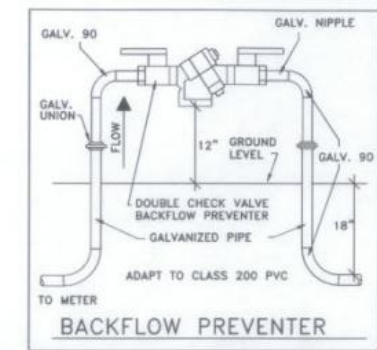
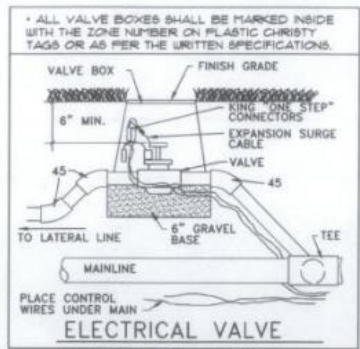
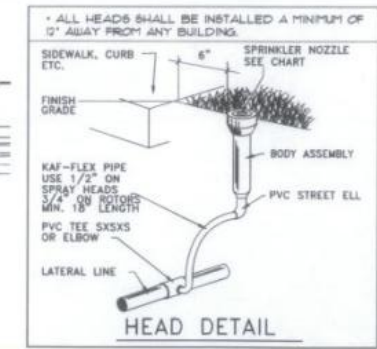
Irrigation Legend

---	3/4" XBS Flex Tubing
---	PVC Lateral Line - Size as Shown
---	2" PVC Main Line
●	Nozzle Location - See Chart for Specifications
M	1" Irrigation Meter
C	RainBird ESP Controller (Rain Sensor at Ea. Controller)
B	Backflow Preventer
+	Rain Bird PGA Series Valve (Size Shown on Zone Label) Installed in Ametek 10" Round Valve Box
+	Rain Bird DV Series Valve (Size Shown on Zone Label) Installed in Ametek 10" Round Valve Box (Pressure Regulating Valve)

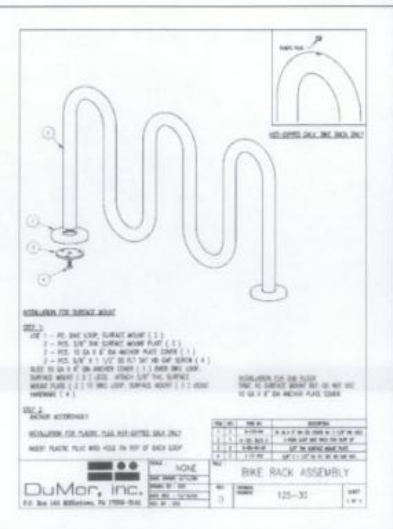
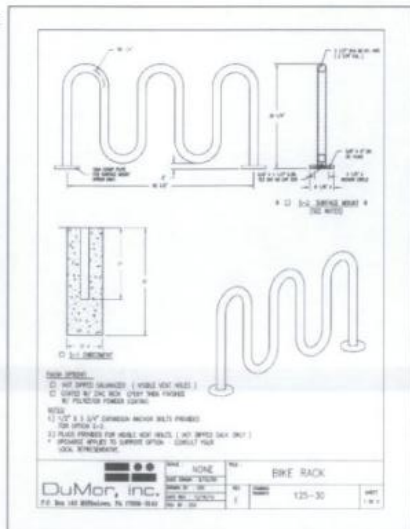
NOZZLE CHART

Symbol	Description	Pressure	Flow	Radius
A	Rain Bird SQ-HLF (Low Volume)	20 psi	0.17 gpm	4 Ft
B	Rain Bird 15F	20 psi	3.0 gpm	12 Ft
C	Rain Bird 15H	20 psi	1.5 gpm	12 Ft
D	Rain Bird SQ-F (Low Volume)	20 psi	0.33 gpm	4 Ft

- Irrigation Notes:**
- 1) REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
 - 2) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
 - 3) ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE POLYETHYLENE PIPE.
 - 4) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & BLDG. WALLS. WHISTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
 - 5) ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES. THE VALVE BOXES SHALL BE PURPLE WHEN USING RE-USE WATER.
 - 6) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
 - 7) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP. (OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS)
 - 8) ELECTRICAL SERVICE TO LOCATION OF THE CONTROLLER, WELL OR PUMP SHALL BE PROVIDED TO A JUNCTION BOX OR DISCONNECT AT THE EQUIPMENT LOCATION BY THE ELECTRICAL CONTRACTOR OR BY OWNER WHEN IT IS NOT PART OF THE BID PACKAGE.
 - 9) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOIL IN THESE AREAS.
 - 10) 48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 (SUNSHINE STATE ONE CALL CENTER)
 - 11) IRRIGATION RISERS ARE NOT PERMITTED.
 - 12) ALL GRASS AREAS SHALL BE TRUCK IRRIGATED FOR THE FIRST 30 DAYS OR UNTIL GRASS HAS BEEN ESTABLISHED.
 - 13) ALL AREAS EXCEPT FOR RETENTION PONDS NEED IRRIGATION INSTALLED.
 - 14) ALL PLANT BEDS AND TURF AREAS NEED TO BE ON SEPARATE ZONES.
 - 15) LOW VOLUME IRRIGATION NEEDS TO BE USED FOR PLANT BEDS, SHRUBS AND TREE IRRIGATION.



- RE-USE WATER REQUIREMENTS**
- 1) ALL PIPE SHALL BE THE PURPLE REUSE TYPE. ALL MAINLINE SHALL HAVE MAGNETIC MARKER TAPE PLACED IN THE TRENCH 6" ABOVE PIPE.
 - 2) ALL SPRINKLER HEADS SHALL HAVE PURPLE INDICATORS TO ALERT THE PRESENCE OF RE-USE.
 - 3) WATER, ALL MANUAL AND ELECTRIC VALVES SHALL HAVE PURPLE INDICATORS TO ALERT THE PRESENCE OF RE-USE WATER.
 - 4) ALL VALVE BOXES SHALL HAVE PURPLE LIDS TO INDICATE THE PRESENCE OF RE-USE WATER.
 - 5) ALL EQUIPMENT SHALL BE INSTALLED AS PER ALL LOCAL, COUNTY, STATE, AND FEDERAL CODES.
 - 6) PROVIDE AND INSTALL ALL REQUIRED REUSE SIGNS. ALL CROSSINGS OF IRRIGATION PIPING AND POTABLEWATER LINES SHALL HAVE THE VERTICAL SEPARATION OF 6 INCHES MINIMUM AND PREFERABLY 12 INCHES.
 - 7) CLEARANCE VISUALLY VERIFIED AND THIS VERIFICATION MUST BE SHOWN ON THE AS-BUILT DRAWINGS BY DOCUMENTING THE VERTICAL MEASUREMENT SEPARATING THE PIPES. THE VERTICAL SEPARATION BETWEEN THE POTABLE AND RE-USE WATER LINES SHALL BE A MINIMUM OF 18". THIS SEPARATION SHALL BE VERIFIED AND DOCUMENTED IN A SET OF AS-BUILT DRAWINGS AS PER SPECIFICATIONS. THE HORIZONTAL SEPARATION SHALL BE 5' CENTER TO CENTER AND 3' OUTSIDE TO OUTSIDE IF VERTICAL MINIMUM OF 18" IS NOT MET. REFER TO THE SPECIFIC CODE IF THESE SEPARATIONS CAN NOT BE MET.



Landscape & Irrigation Plan
Ponkan Reserve Subdivision

JEC june engineering consultants, inc.
132 W. Plant Street, Suite 200
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232
Certificate of Authorization #00008507
DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 40'
DATE: 8/9/13 DATE: 8/9/13
ROHLAND ALLEN JUNE # PE# 41949

JOB NO. 12-0441
SHEET 3C OF 16