



APOPKA DEVELOPMENT REVIEW COMMITTEE AGENDA

October 18, 2023 9:00 AM

Apopka City Hall Council Chambers

SPECIAL EVENTS

FUTURE LAND USE AMENDMENT

REZONING

1. Plymouth Sorrento Apartments - Planned Development (PD), Master Plan and Development Agreement (DA), 2nd Submittal

SITE PLAN:

MAJOR DEVELOPMENT PLAN

CONSTRUCTION SITE PLAN

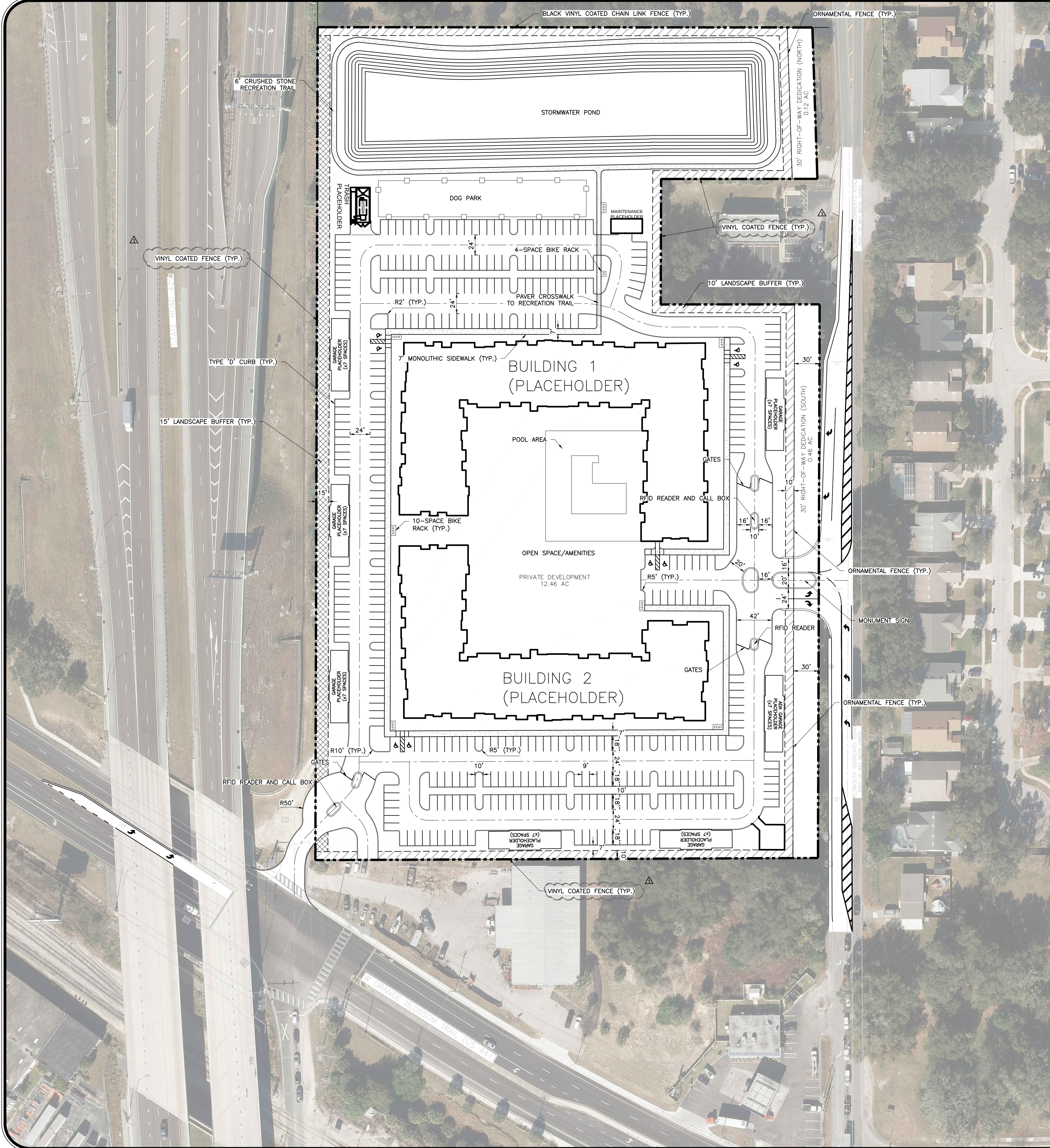
1. Ale House Apopka - Construction Site Plans (CSP), 2nd Submittal
2. Northstar Logistics Center II - Construction Site Plan (CSP), 1st Submittal

DISCUSSION

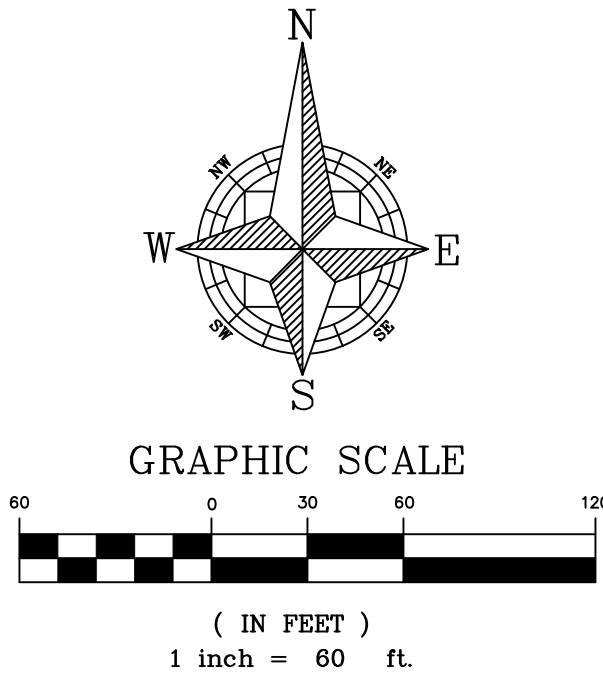
ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.



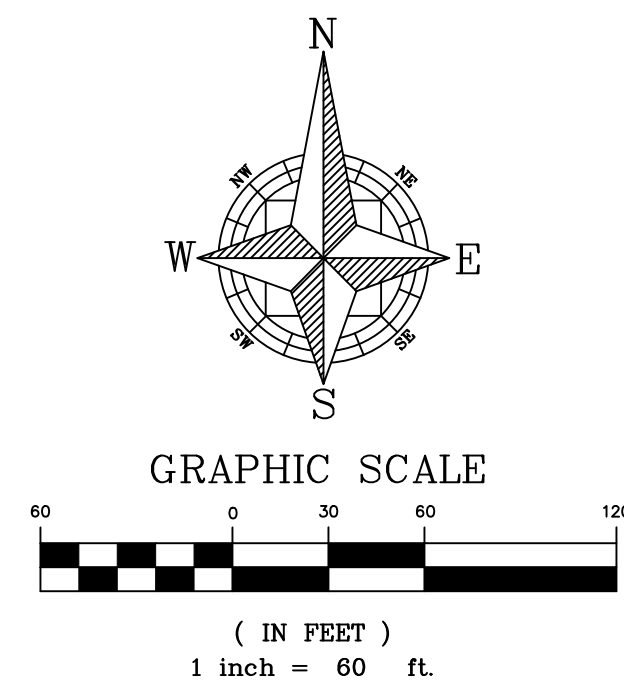
LEGEND	
	PROPERTY BOUNDARY
	10' LANDSCAPE BUFFER
	15' LANDSCAPE BUFFER



SITE DATA:

- OCPA - PARCEL ID #: 06-21-28-7172-08-040, 06-21-28-7172-08-050
 - PROPERTY ADDRESS: 750 & 922 PLYMOUTH SORRENTO ROAD APOPKA, FLORIDA 34712
 - TOTAL PROPERTY AREA: 13.04 AC
 - RIGHT-OF-WAY DEDICATION: 0.58 AC
 - DEVELOPABLE AREA: 12.46 AC
 - FEMA FIRM MAP FLOOD ZONE: X
FIRM PANEL #12095C010H DATED SEPTEMBER, 24, 2021.
 - EXISTING FUTURE LAND USE: AG, COMM
 - PROPOSED FUTURE LAND USE: HDR-25
 - ADJACENT FUTURE LAND USE:
NORTH R (COUNTY)
SOUTH C (COUNTY), PD (COUNTY)
EAST RL (COUNTY)
WEST COMM (CITY), MU (CITY)
 - EXISTING ZONING: T, C-C
 - PROPOSED ZONING: PD
 - ADJACENT ZONING:
NORTH A-1 (COUNTY)
SOUTH RSTD CD-2 (COUNTY), PD (COUNTY)
EAST RTF (CITY)
WEST MU-ES-GT (CITY)
 - DEVELOPMENT PROGRAM: 242 UNITS
 - ALLOWED DENSITY (HDR-25): 25.00 DU/AC
 - PROPOSED DENSITY: 18.56 DU/AC
 - MAXIMUM BUILDING HEIGHT*: 49 ft.
- *BUILDING HEIGHT IS MEASURED AS THE VERTICAL DISTANCE FROM FINISHED GRADE TO THE MEAN HEIGHT LEVEL BETWEEN THE EAVES PER THE CITY OF APOPKA LAND DEVELOPMENT CODE SECTION 10.2.1.
- MINIMUM LIVING AREA:
1 BEDROOM 690 SF
2 BEDROOM 1,110 SF
3 BEDROOM 1,400 SF
 - PARKING SPACES REQUIRED: 533 SPACES
- PER SECTION 5.1.6. OF THE CITY OF APOPKA 2019 LAND DEVELOPMENT CODE.
(242 DWELLING UNITS x 2 RESIDENT SPACES PER UNIT = 484 SPACES)
(484 RESIDENT SPACES x 0.1 VISITOR SPACE PER RESIDENT SPACE = 49 SPACES)
- PARKING SPACES PROPOSED:
9' X 18' STANDARD SPACES 367
12' X 18' ADA SPACES 48
GARAGE SPACES 48
ADA GARAGE SPACES 48
TOTAL 424 (1.75 SPACES/DU)**
- **REFER TO ALTERNATIVE PARKING ANALYSIS BY TRAFFIC & MOBILITY CONSULTANTS, LLC.
- BICYCLE PARKING REQUIRED:
SHORT TERM (1 PER 20 UNITS) 13 SPACES
LONG TERM (1 PER 4 UNITS) 61 SPACES
TOTAL 74 SPACES
 - BICYCLE PARKING PROPOSED:
1x 4-SPACE BIKE RACK 4 SPACES
7x 10-SPACE BIKE RACK 70 SPACES
TOTAL 74 SPACES
 - SETBACKS:
FRONT CODE 25 ft. PROPOSED 100 ft.**
REAR CODE 25 ft. PROPOSED 100 ft.
SIDE CODE 15 ft. PROPOSED 45 ft.
STRUCTURES**** CORNER 25 ft. N/A
- ***MINIMUM FRONT SETBACK MEASURED FROM EDGE OF BUILDING TO WESTERN BOUNDARY OF DEDICATED RIGHT-OF-WAY.
- ****ACCESSORY STRUCTURES SHALL HAVE A MINIMUM SEPARATION OF 10'.
- OPEN SPACE REQUIRED: 30% (3.91 AC)
 - OPEN SPACE PROPOSED:
LANDSCAPE BUFFERS: ±0.65 AC
POOL/AMENITY: ±1.40 AC
DOG PARK/TRAIL: ±0.79 AC
STORMWATER POND (75%): ±1.29 AC
TOTAL: ±4.13 AC (±43.4%)
 - PROPOSED AMENITIES:
ON-SITE LEASING OFFICE
CLUBROOM
RESORT-STYLE SALTWATER POOL
AMENITY DECK
POOL CABANA/PAVILION
RECREATION LAWN
CONFERENCE ROOM
CO-WORKING SPACE
FITNESS CENTER
YOGA LAWN
DOG PARK
PET SPA
OUTDOOR GRILLS
WALKING TRAIL
 - GREEN BUILDING STANDARDS:
-ELEVATE NEW AND/OR EXISTING STRUCTURES MORE THAN 3 FEET ABOVE BASE FLOOD ELEVATION 4.00+ pt.

CIVIL ENGINEERING I LAND PLANNING		PD MASTER PLAN		DRAWN: A. FRANCIS		DESIGNED: S. SIERRA-GIL		CHECKED: L. CLASSON		DATE: 10/4/23	
APPIAN ENGINEERING LLC.		PLYMOUTH SORRENTO APARTMENTS		PROJECT: OER-001		SHEET: 1		DATE: 10/4/23		NOT FOR CONSTRUCTION	
APPIANL.COM • 407.960.5868		CITY OF APOPKA, FLORIDA		10/4/23		ADDITION OF DEVELOPMENT AGREEMENT		10/4/23		5/23	



TRAFFIC CONTROL & SIGNAGE

- 1 DIRECTIONAL ARROW (11 C4) (TYP.)
- 2 HANDICAP PAVEMENT SYMBOLS (12 C4) (TYP.)
- 3 HANDICAP SIGN (13 C4)
- 4 24" WIDE WHITE STOP BAR (TYP.)
- 5 PAVEMENT STRIPING (4" WHITE) (TYP.)
- 6 4" DOUBLE YELLOW LINE
- 7 12" WIDE WHITE CROSSWALK STRIPING
- 8 30" STOP SIGN (R1-1)
- 9 MONUMENT SIGNAGE
- 10 TO-GO SIGNAGE
- 11 COMPACT VEHICLES ONLY SIGNAGE/STRIPING

- ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.

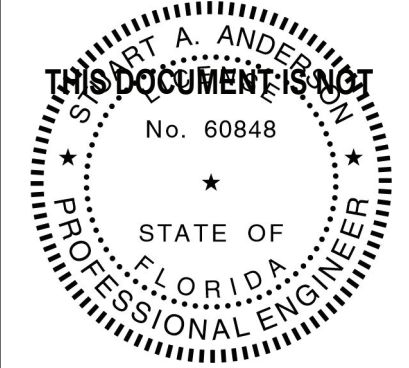
- WORK DONE WITHIN SR500 R.O.W. SUBJECT TO FDOT REVIEW AND APPROVAL.

SITE NOTES

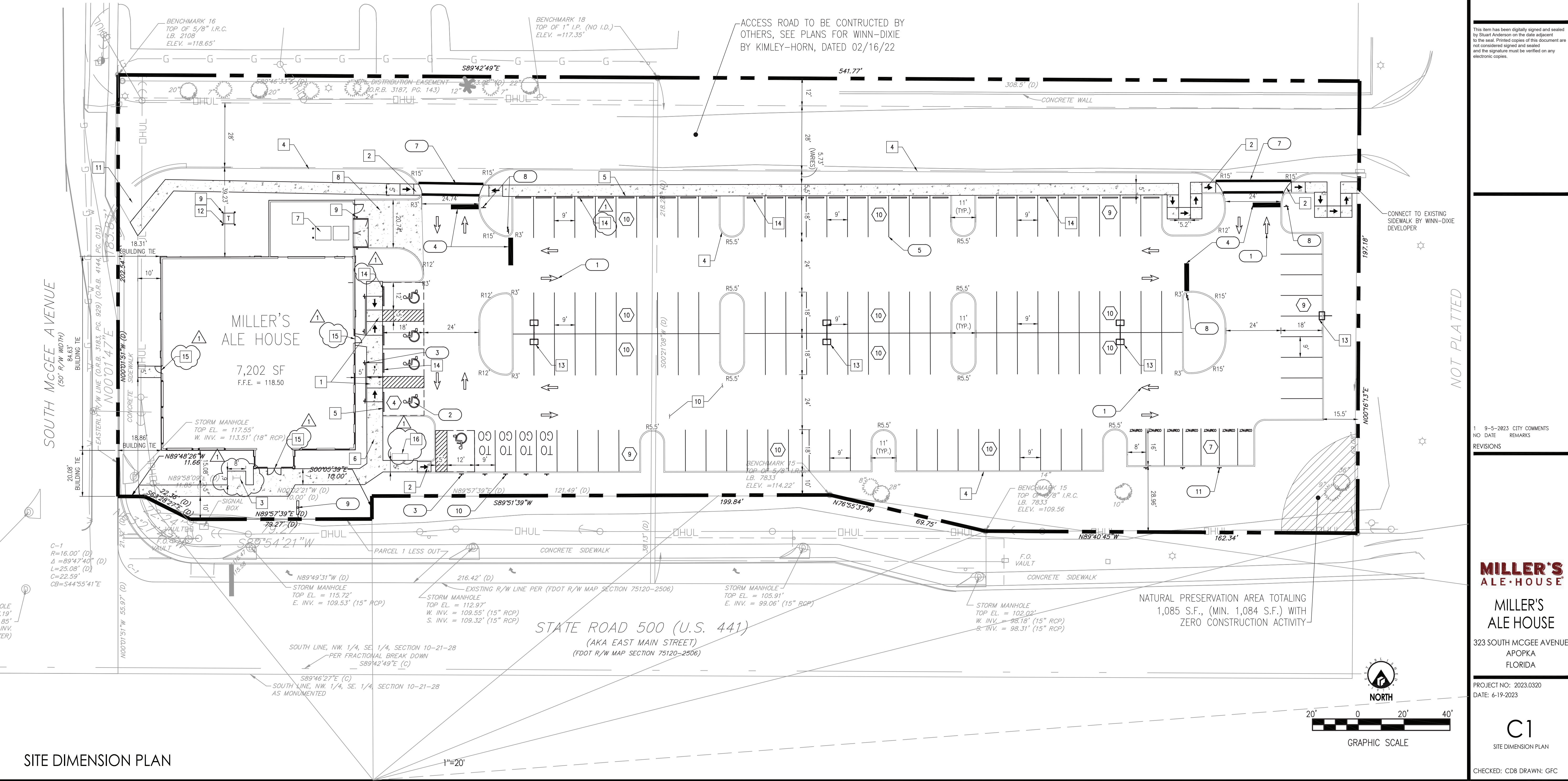
- 1 HANDICAP RAMP (16 C4)
- 2 ADA ACCESSIBLE SIDEWALK RAMP (14 C4)
- 3 BIKE RACK (9 C4)
- 4 6" CURB (5 C4) (TYP.)
- 5 MONOLITHIC CURB AND SIDEWALK (6 C4)
- 6 CONCRETE SIDEWALK (7 C4)
- 7 DUMPSTER ENCLOSURE (SEE ARCH. PLANS)
- 8 CONCRETE APRON (8 C4)
- 9 BOLLARD (4 C4)
- 10 ASPHALT PAVEMENT (10 C4)
- 11 PROPOSED FIRE HYDRANT (402 C4.1)
- 12 TRANSFORMER PAD
- 13 LIGHT POLE
- 14 WHEEL STOP
- 15 BUILDING ENTRANCE
- 16 BIKE LOCKER (2 BIKES, CYCLESAFE ECOPARK OR EQ.)

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

SEAL:



This item has been digitally signed and sealed by Stuart Anderson on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



1 9-5-2023 CITY COMMENTS
NO DATE REMARKS

REVISIONS

MILLER'S
ALE HOUSE

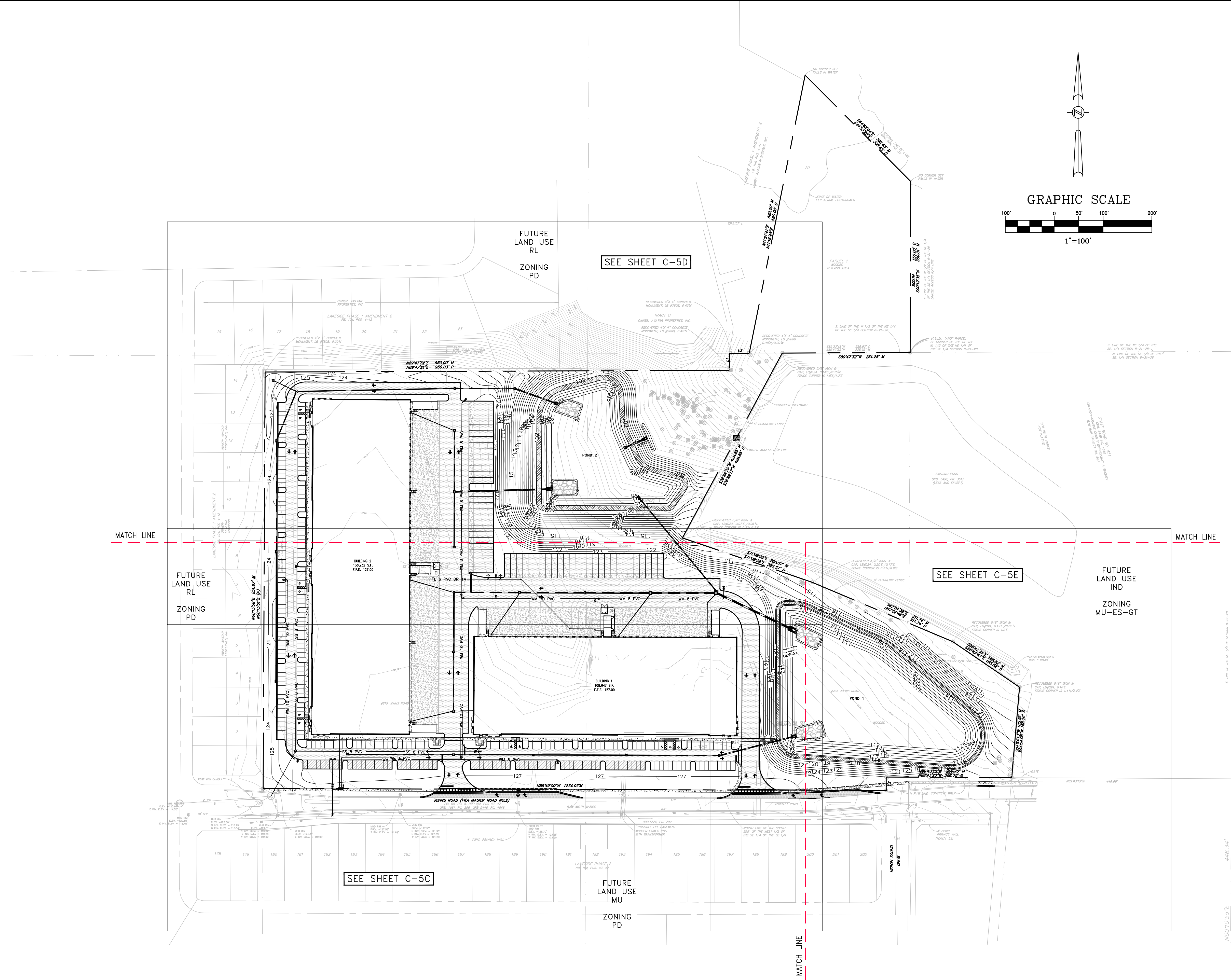
MILLER'S
ALE HOUSE

323 SOUTH MCGEE AVENUE
APOKA
FLORIDA

PROJECT NO: 2023.0320
DATE: 6-19-2023

C1
SITE DIMENSION PLAN

CHECKED: CDB DRAWN: GFC



DATE	REVISIONS			BY	CHECKED

CONSTRUCTION PLAN
NORTHSTAR LOGISTICS CENTER II
JOHNS ROAD, APOPKA, FLORIDA

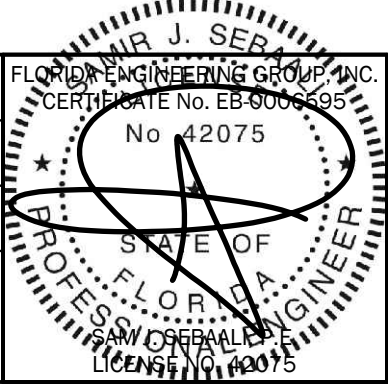


5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

OVERALL SITE PLAN

DESIGNED BY SJS	DRAWN BY ET	CHECKED BY SJS	APPROVED BY SJS
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PROJECT NO. 21-171
SCALE 1"=100'
DATE SEPTEMBER 12, 2023
SHEET NO. C-5A
SHEET 9 OF 37



9/13/2023

THIS ITEM, INCLUDING ANY BOUND SHEETS, HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAM J. SEBALLI, P.E. ON A SEPTEMBER 12, 2023 USING A DIGITAL SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.