

APOPKA DEVELOPMENT REVIEW COMMITTEE AGENDA

March 6, 2024 9:00 AM

Apopka City Hall Council Chambers

SITE PLAN:

CONSTRUCTION SITE PLAN

1. Apopka Multi-Family Project - Construction Site Plan (CSP), 4th Submittal

DISCUSSION

ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

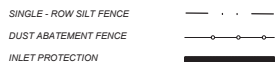
EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
2. THE LANDSCAPER IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
5. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
6. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
8. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
9. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
10. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL, REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (F.D.E.R.) CHAPTER 6.
11. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
12. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
13. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
14. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
15. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
16. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
17. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
18. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS, AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
19. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES, RELATIVE TO COMPLIANCE OF SURROUNDING EROSION AND SEDIMENTATION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.

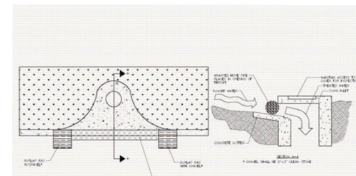
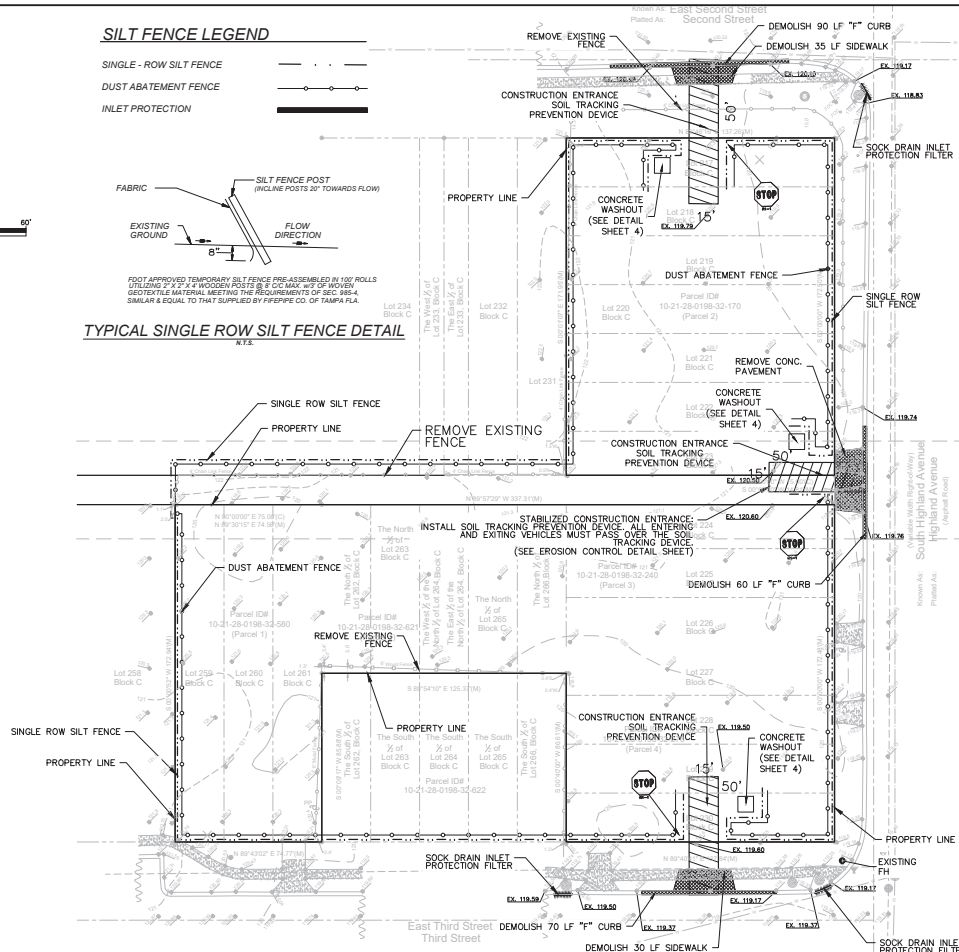
CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AS FOLLOWS:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF ITS USE, IT SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT.
4. ANY SEDIMENT DEPOSITS LEFT IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE FINISHED GRADE, PREPARED AND SEEDED.
5. CONTRACTOR TO PROVIDE WATER TRUCK ON-SITE IN LIEU OF DUST ABATEMENT FENCE.

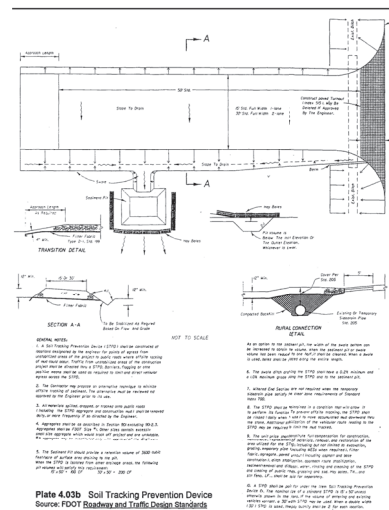
SILT FENCE LEGEND



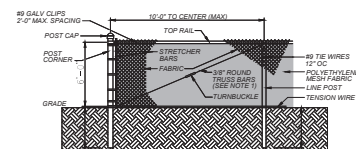
TYPICAL SINGLE ROW SILT FENCE DETAIL



SOCK DRAIN INLET SEDIMENT FILTER



SOIL TRACKING PREVENTION DEVICE



DUST ABATEMENT FENCE DETAIL



**DAVE SCHMITT
ENGINEERING, INC.**
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SUITE 241
ORLANDO, FL 32828
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DAVE M. SCHMITT
FLORIDA REG. NUMBER
468274

EROSION CONTROL & DEMO PLAN
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1"=30'
SHEET: 03 OF 15

STORM WATER POLLUTION PREVENTION PLAN

EROSION AND SEDIMENT CONTROL NOTES

1 THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAY ALIGNMENT AND GRADE IN ALL DRAINAGE AREAS. SEE ATTACHED DRAINAGE PLAN FOR DRAINAGE AREAS.

DRAINAGE AND SEDIMENT CONTROL NOTES

2 TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY UNDER AGENCY WRITTEN AUTHORIZATION.

3 ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINED TO: TO UNDERCUT FOUNDATIONS OR ACCOUNTS.

4 CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF

8. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 50-PER CENT OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS REQUIRED, IT SHALL BE LAPPED TOGETHER BY AT LEAST 6 INCHES.

9. FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED IN D-903. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.

- ⁷ IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- ⁸ SYNTHETIC BALES SHALL BE EITHER WIRE-BOUND OR STRUNG-TOGETHER WITH TWINE, BUNDLES ORIENTED ALONG THE SIDES RATHER THAN OVER AND UNDER THE BALES.
- ⁹ SYNTHETIC BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.

10. THE FILTER BARRIER SHALL BE EXTENDED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. AFTER THE SYNTHETIC BALES ARE STAGED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
11. EACH SYNTHETIC BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBAR DRIVEN THROUGH THE BALE.
12. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SYNTHETIC BALE ENDS AND UNDERCUTTING BENEATH BALES.
13. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SYNTHETIC BALS

14. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SYNTHETIC BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDING.

OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

17. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

18. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, SLOPES, ROADSIDE AND EROSION.

19. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

20. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

21. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST PRACTICES

22. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6.

WATER QUALITY/DEGRADATION: SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.

24. ALL DISTURBED AREAS SHALL BE GRASSSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.

25. SOIL SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

26. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND

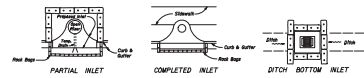
27. DRAINAGE PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.

27. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER

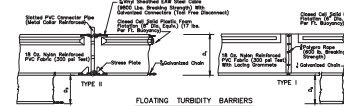
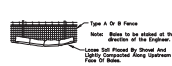
MANAGEMENT OF TRAILER INCIDENTS, REACTIVE TO CORROSION OF
SPREADER FOR ENCLOSURE AND SEGMENTATION CONTROL. THE COST OF
THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.

NOTE

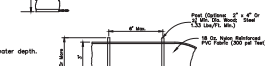
WHERE FOOT SPECS AND INDEXES ARE REFERENCED, PLEASE REFER TO THE 2015 ROADWAY & TRAFFIC DESIGN STANDARDS, AND 2015 FDOT STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION.



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

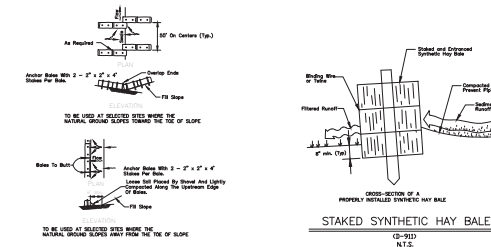


FLOATING TURBIDITY BARRIERS



STAKED TURBIDITY BARRIER

Note:
Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractor's option unless otherwise specified in the plans; however, payment will be under the contract lump sum price established in the bid proposal for Erosion and Sediment Control Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

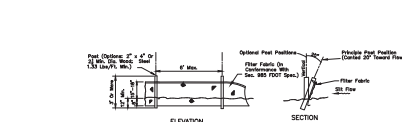


STAKED SYNTHETIC HAY BALE

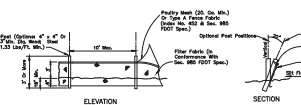
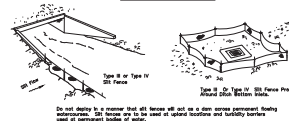
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SYNTHETIC HAY BALE PLACEMENT

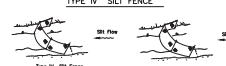
N.T.



TYPE III SILT FENCE



TYPE III SILT FENCE



Note: Spacing for Type III & Type IV

SILT FENCE APPLICATIONS

SILT FENCE TYPE III & IV

NTS

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

EROSION CONTROL DETAILS

APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1"=NONE'
SHEET: 04 OF 15

STORM WATER POLLUTION PREVENTION PLAN

OWNER'S REQUIREMENTS

CONTRACTOR'S REQUIREMENTS:

MAINT./INSP. PROCEDURES CONT'D

[illegible][illegible][illegible][illegible][illegible][illegible]

CONTRACTOR'S CERTIFICATION

MAINTENANCE/INSPECTION PROCEDURES

[illegible]

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

SWPPP
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: NONE
SHEET: 05 OF 15

NOTES

GENERAL:

PROJECT SHALL COMPLY WITH THE RESIDENTIAL DESIGN STANDARDS SET FORTH BY CITY OF APOPKA, FLORIDA.

LANDSCAPING & IRRIGATION:

ALL LANDSCAPING AND IRRIGATION SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF APOPKA LAND DEVELOPMENT REGULATIONS.

SIGNAGE:

BILLBOARDS AND POLE SIGNS SHALL BE PROHIBITED. GROUND AND FASCIA SIGNS SHALL COMPLY WITH ALL CITY REGULATION.

ANY EASEMENT SHOWN AS PROPOSED WILL BE RECORDED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY.

STORMWATER MANAGEMENT

OWNERSHIP AND MAINTENANCE OF STORM WATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER'S ASSOCIATION.

THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO MEET CITY OF APOPKA CODES AND ST. JOHNS RIVER FLORIDA WATER MANAGEMENT DISTRICT REQUIREMENTS. BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP NO. 12095C0120H EFFECTIVE SEPTEMBER 24, 2021 PROPERTY IS WITHIN ZONE "X".

SANITARY LIFT STATION
OWNERSHIP AND MAINTENANCE OF THE SANITARY LIFT STATIONS SHALL BE THE RESPONSIBILITY OF CITY OF APOPKA UTILITY DEPARTMENT.

SOILS



SOIL SYMBOL	SOIL DESCRIPTION
19	HONTON MUCK, FREQUENTLY PONDED, 0 TO 1 PERCENT SLOPES
55	ZOLFO-URBAN LAND COMPLEX

PHASING

PROJECT WILL BE CONSTRUCTED IN ONE (1) PHASE.

FIRE

FIRE DEPARTMENT ACCESS AND WATER SUPPLY SHALL COMPLY WITH NFPA 1, 7TH EDITION, AND FLORIDA FIRE PROTECTION CODE (FFPC) 7TH EDITION.

UTILITY NOTES:

1. THE SIZE, LOCATION AND POINTS OF CONNECTION FOR PROPOSED UTILITIES ARE

SHOWN ON THESE PLANS.

2. FIRE HYDRANTS TO BE INSTALLED AS SHOWN ON THESE PLANS. CALCULATIONS SHALL MEET THE

REQUIREMENTS OF ANNEX H & I OF NFPA 1, 2012 EDITION AND COORDINATED WITH CITY OF APOPKA FIRE AND RESCUE.

3. FIRE HYDRANTS SHALL MEET CITY OF APOPKA UTILITY STANDARDS.

4. THE DEVELOPER SHALL OBTAIN WATER, REUSE WATER, AND WASTEWATER SERVICE

FROM CITY OF APOPKA WATER AUTHORITY.

5. DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ONTO THE SITE,

ACCESS ROADS AND A SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER

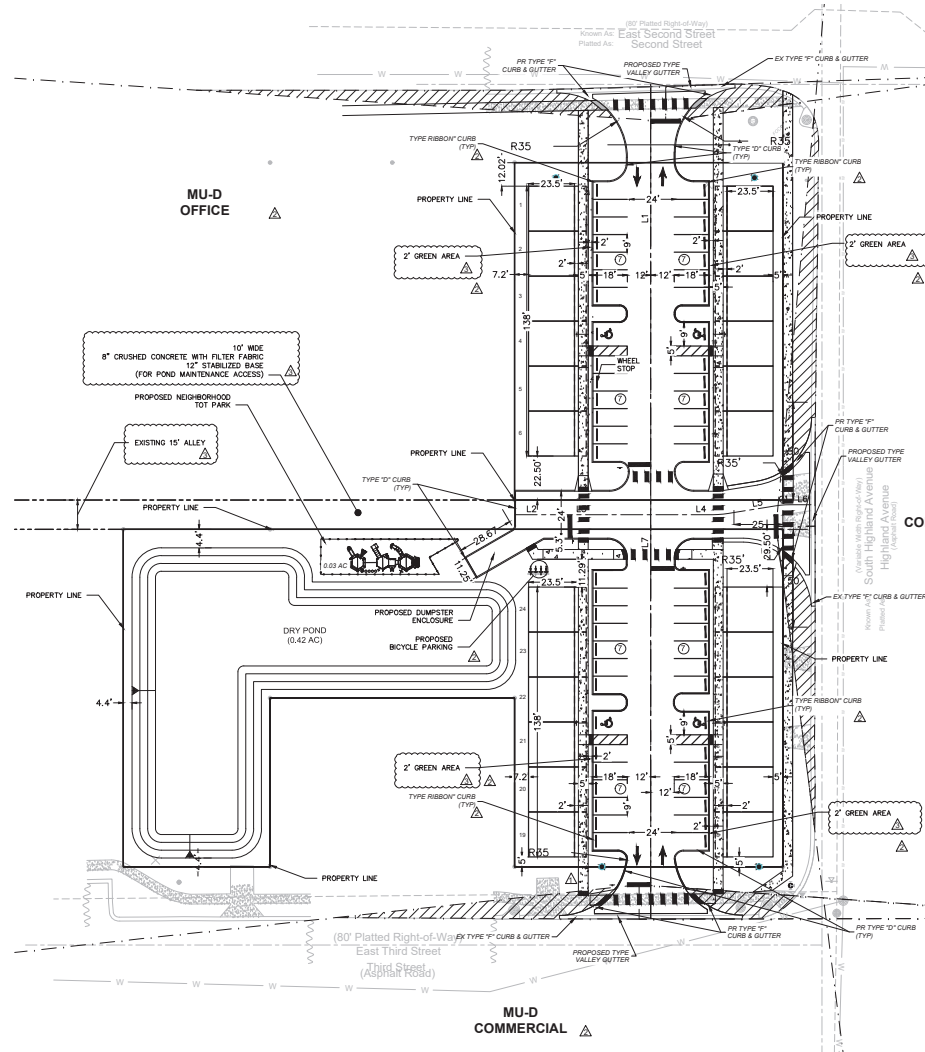
ACCEPTABLE TO THE CITY OF APOPKA FIRE DEPARTMENT SHALL BE PROVIDED

AND MAINTAINED, PER NFPA 1, 2012 EDITION (FFPC) 7TH EDITION.

6. PRIOR TO CONSTRUCTION, THE DEVELOPER SHALL SUBMIT CALCULATIONS SHALL BE

SUBMITTED TO CITY OF APOPKA SHOWING THAT THE PROPOSED WATER AND WASTEWATER,

SYSTEMS HAVE BEEN SIZED TO SUPPORT THIS PROJECT.



SETBACKS

REQUIRED:
FRONT: N/A
SIDE: 5'
CORNER: NOT APPLICABLE
REAR: 20'

SITE DATA

EXISTING ZONING	MU-D
F.L.U.	
GROSS AREA	
1 ST FLOOR 541 SF	1.64 AC
2 ND FLOOR 471 SF	24 UNITS
TOTAL 1,012 SF	

PARKING SPACES	
REQUIRED: (2 SPACES/UNIT)	
2 x 24'	48 SPACES

PROPOSED:	
REGULAR	
ADA MU	32 SPACES
TOTAL PARKING SPACES	48 SPACES

DENSITY:	
MAX.	5 UNITS / AC
PROPOSED:	14.63 UNITS / AC

TOTAL PROJECT AREAS

OFF-SITE PERVIOUS AREA:	0.00 AC
OFF-SITE IMPERVIOUS AREA:	0.22 AC
TOTAL OFF-SITE AREA:	0.22 AC

IMPERVIOUS AREA:	0.92 AC	56.13%
PERVIOUS AREA:	0.72 AC	43.87%
TOTAL GROSS AREA:	1.64 AC	100.00%

OPEN SPACE:	
REQUIRED:	20% (0.33 AC)
PROPOSED:	44% (0.72 AC)

BUILDING HEIGHT (TOP OF PARAPET)	
PROPOSED:	2 STORIES (24 LF)



DAVE SCHMITT
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12301 LAKE UNDERHILL ROAD
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ORLANDO, FL 32828
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Certification of Authorization #27471

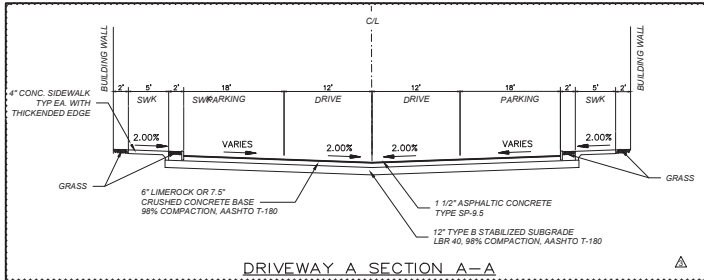
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
02-09-24	JT	REV PER CITY COMMENTS			
09-19-23	JT	REV PER WMD AND CITY COMMENTS			
08-08-23	JT	REV PER CITY COMMENTS			

DAVE M. SCHMITT
FLORIDA REG. NUMBER
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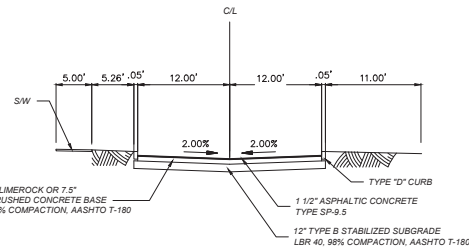
OVERALL SITE PLAN
AOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1"=30'
SHEET: 06 OF 15

F:\CADD\Planets\Final\08 GRADING & DRAINAGE PLAN.dwg 2/12/2024 4:37:30 PM



DRIVEWAY A SECTION A-A



DRIVEWAY B SECTION B-B

DRAINAGE STRUCTURE DATA

D-1
MODIFIED "D" BOX
N: 1538871.38
E: 613333.88
INV. EL. = 114.98

D-2
N: 1538847.9674
E: 613334.2896
TYPE "P71" MANHOLE
T.E. 120.60
INV. 115.06 (S)
INV. 115.06 (E)

D-3
N: 1538847.9596
E: 613471.8684
TYPE "C" INLET
T.E. 120.57
INV. 115.35 (W)
INV. 115.35 (E)

D-4
N: 1538847.6599
E: 613562.5422
TYPE "C" INLET
T.E. 120.57
INV. 115.54 (N)
INV. 115.54 (S)

D-5
N: 1538751.9570
E: 613562.4028
TYPE "C" INLET
T.E. 120.57
INV. 115.86 (N)

D-6
N: 1538998.3252
E: 613562.1041
TYPE "C" INLET
T.E. 120.57
INV. 115.86 (S)

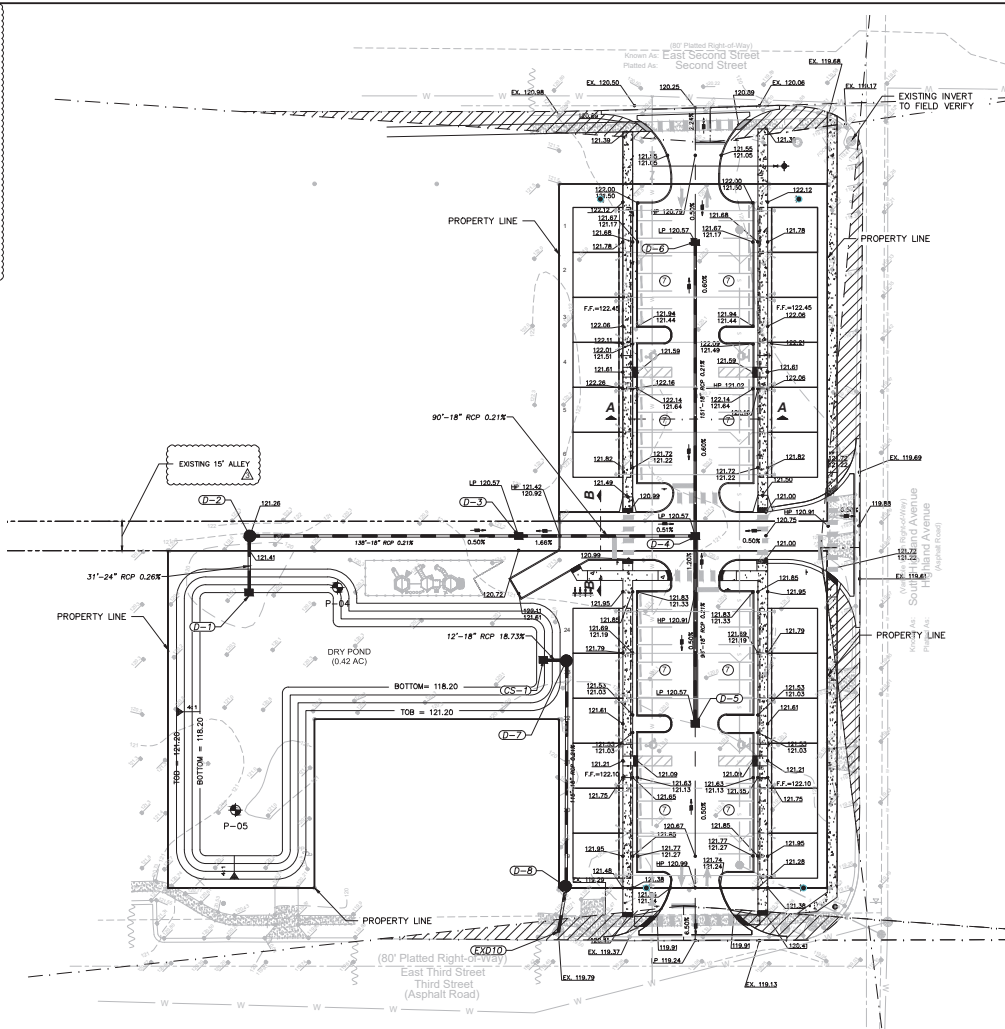
CS-1
N: 1538784.6056
E: 613484.3732
TYPE "D" MANHOLE
T.E. 120.70
INV. 118.20 (E)

D-7
N: 1538784.1056
E: 613496.1114
TYPE "P71" MANHOLE
T.E. 120.72
INV. 116.00 (W)
INV. 114.83 (S)

D-8
N: 1538668.8173
E: 613495.6497
TYPE "P71" MANHOLE
T.E. 119.70
INV. 114.59 (N)
INV. 114.59 (S)

EXD10
N: 1538645.5944
E: 613492.2027
EX TYPE "P71" MANHOLE
T.E. 119.70
INV. 114.54 (N)

TOP BE FIELD VERIFIER



APPROXIMATED STANDARD PENETRATION
TEST BORING LOCATION ACCORDING TO
GEOTECHNICAL EXPLORATION REPORT
PERFORMED BY UNIVERSAL ENGINEERING
SCIENCES, LLC ORLANDO, FL
0130.230032.0000 REPORT N° 190553
02/20/2023

REVISIONS			
DATE	BY	DESCRIPTION	
02-09-24	JT	REV PER CITY COMMENTS	
09-19-23	JT	REV PER WMD AND CITY COMMENTS	
08-08-23	JT	REV PER CITY COMMENTS	

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

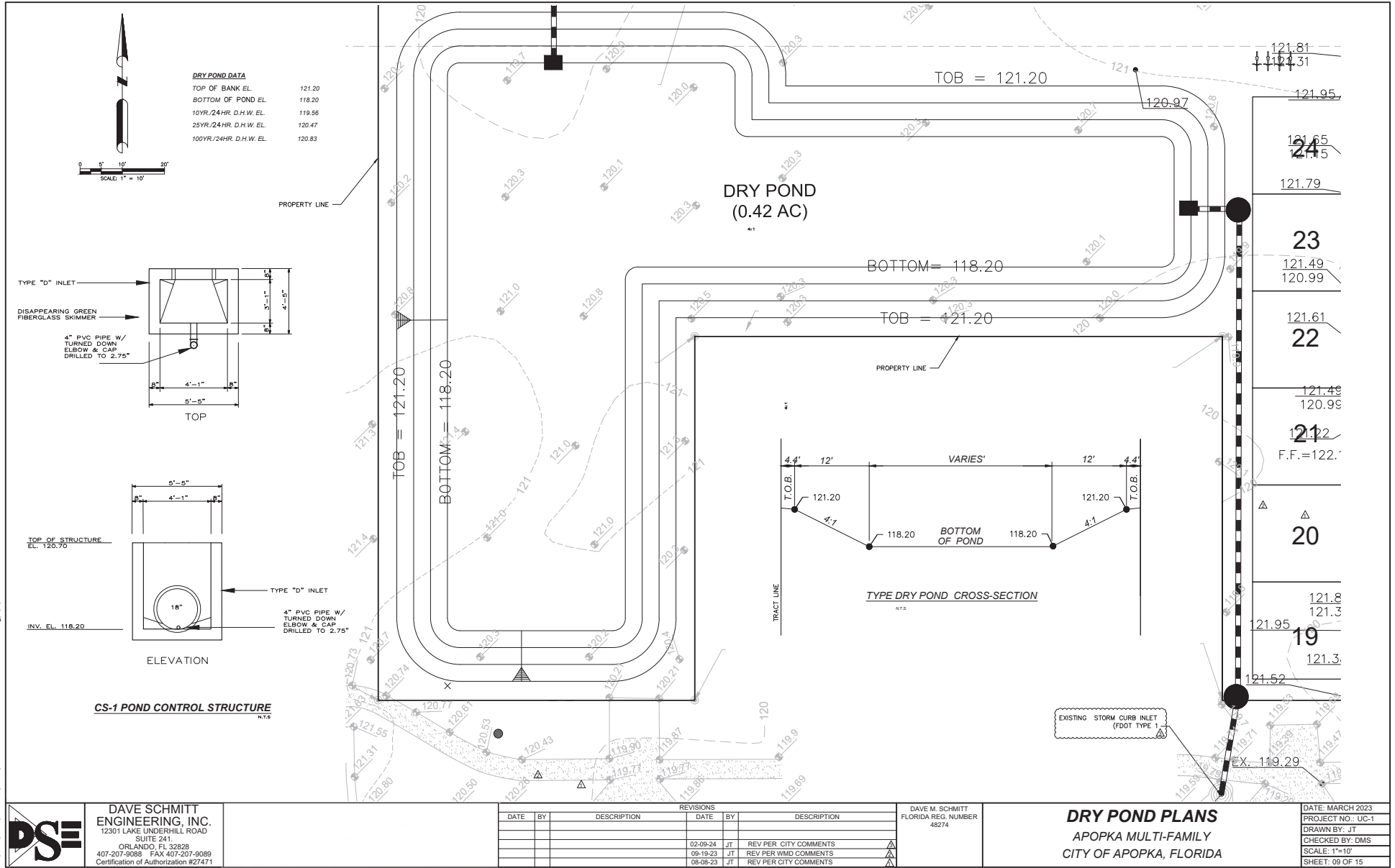
GRADING & DRAINAGE PLAN
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1"=30'
SHEET: 08 OF 15

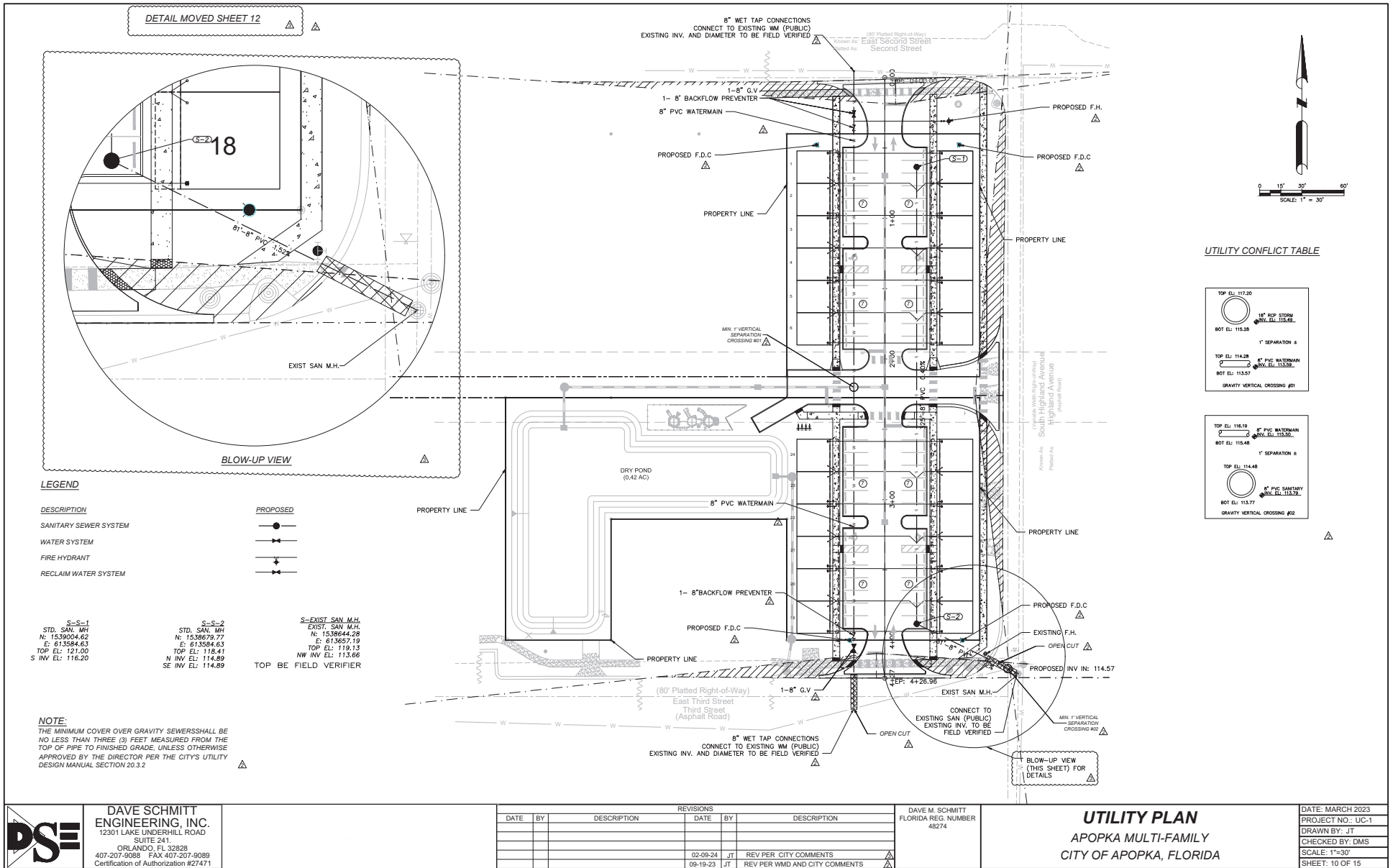


DAVE SCHMITT
ENGINEERING, INC.
12301 LAKE UNDERHILL ROAD
SUITE 241
ORLANDO, FL 32828
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

F:\C1\CAD\Planets\Final\09 DRY POND & WET POND PLANS.dwg,2/9/2024 6:07:30 PM



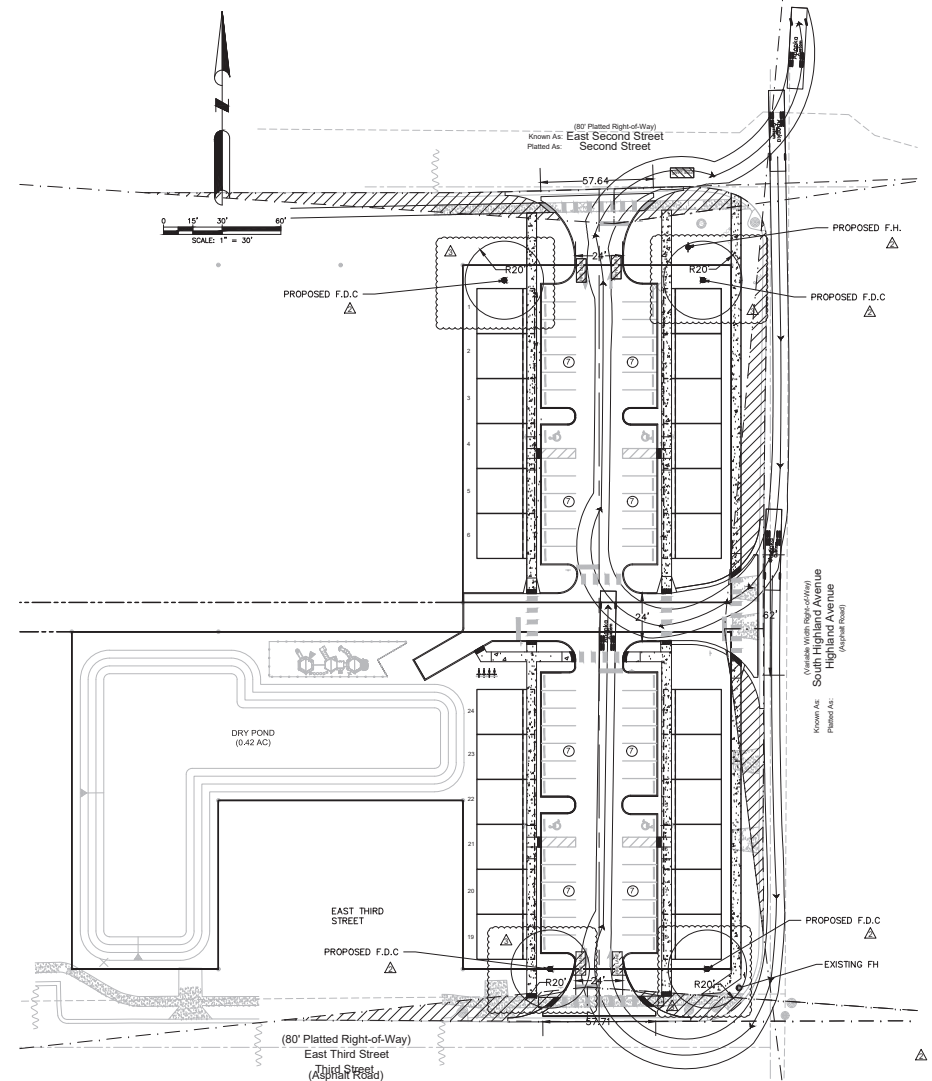
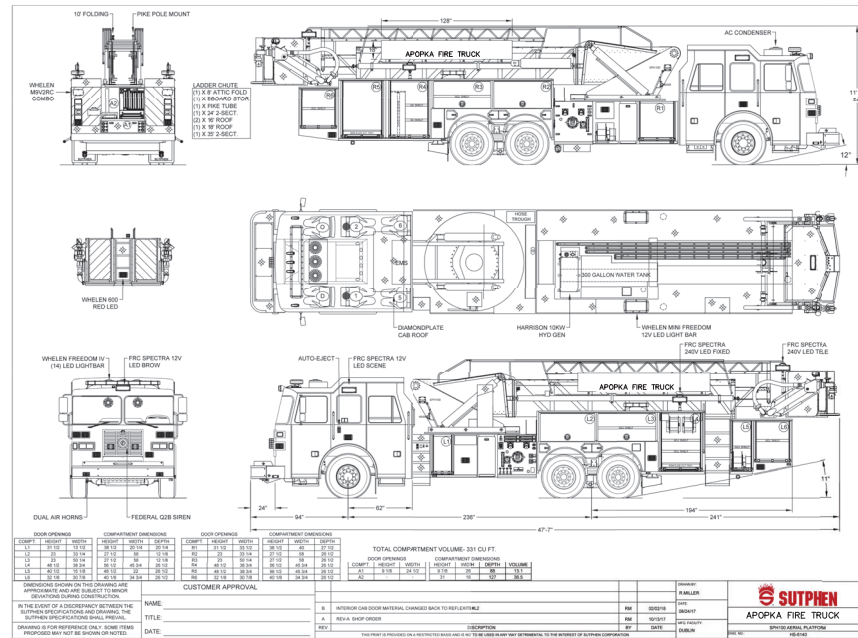
F:\C\1\CAD\Planets\Final\10 UTILITY PLAN.dwg, 2/9/2024 5:17:41 PM



1. FIRE DEPARTMENT ACCESS AND WATER SUPPLY SHALL COMPLY WITH NFPA 1 (2021 EDITION) AND FFPC (7TH EDITION).
2. THE NUMBER AND PLACEMENT OF REQUIRED FIRE HYDRANTS SHALL BE IN ACCORDANCE WITH NFPA 1 (2021 EDITION) AND FFPC (7TH EDITION).
3. ALL ROADWAYS AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE THE BUILDING CONSTRUCTION MAY BEGIN.
4. FIRE HYDRANTS SHALL BE MARKED WITH BLUE ROAD REFLECTOR.
5. BUILDING WILL BE REQUIRED TO HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM.
6. BUILDING MUST BE MONITORED BY AN AUTOMATIC FIRE ALARM SYSTEM.
7. A CONTROL BOX MUST BE PROVIDED AT THE END OF EACH BUILDING.
8. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND PERMITTED BY A REGISTERED FIRE SPRINKLER CONTRACTOR.

Fire Flow						
Construction Type: Type NFPA V (111), Protected Combustible						
NODE	Area (sq. ft.)	Fire Flow * (gpm)	Flow Duration* (hours)	Sprinkler* Protected	Reduction*	Fire Flow* Required (gpm)
Lot 2 w/ Future Expansion	258,500	8000	4	Yes	75%	2000

(*) Based on Table I-3 Number and distribution of fire Hydrants, Annex I Fire Hydrants Locations and Distribution, NFPA 1



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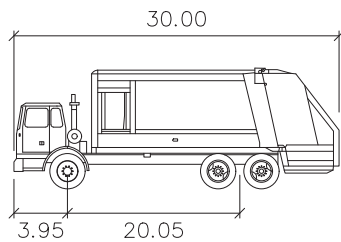
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
			02-09-24	JT	REV PER CITY COMMENTS
			09-19-23	JT	REV PER WMD AND CITY COMMENTS

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

FIRE TRUCK PLAN
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1"=30'
SHEET: 11 OF 15

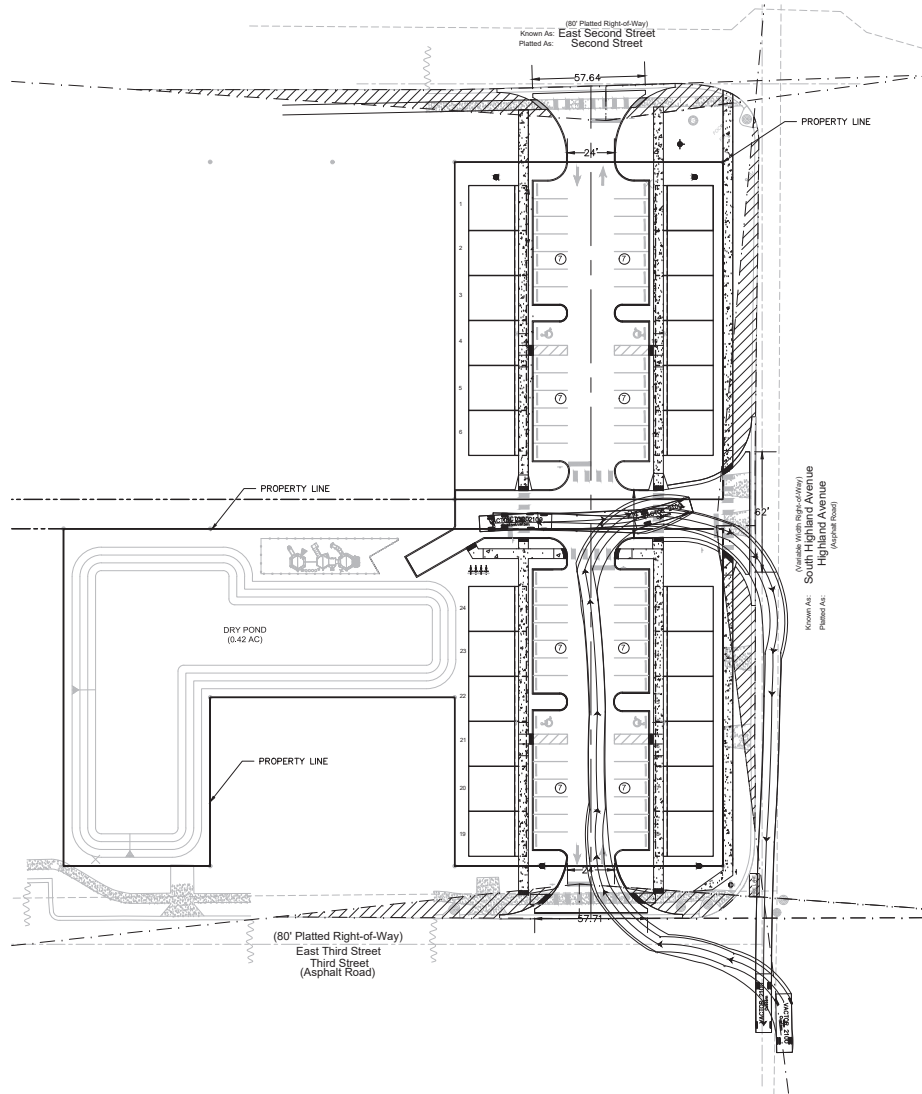
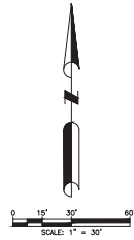
F:\UC1\CAD\Planets\Final\11A SANITATION TRUCK ROUTING PLAN.dwg,2/12/2024 5:21:55 PM



VACTOR 2100

feet

Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 27.4



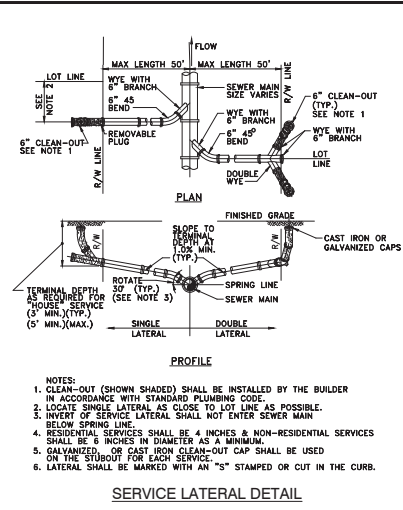
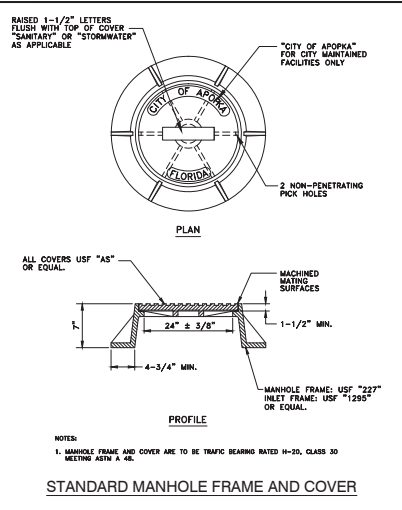
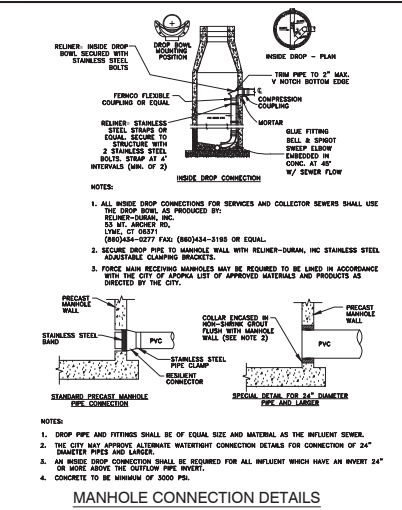
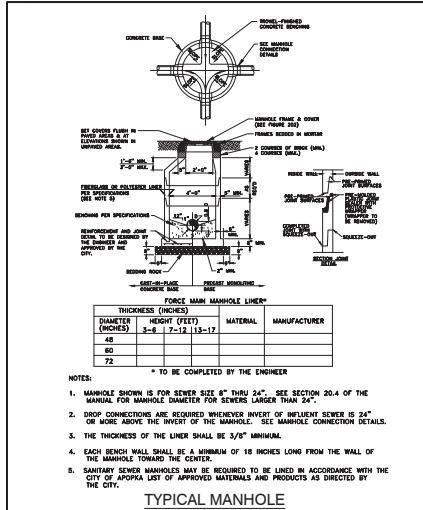
DAVE SCHMITT
ENGINEERING, INC.
12301 LAKE UNDERHILL ROAD
SUITE 241
ORLANDO, FL 32828
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

SANITATION TRUCK ROUTING PLAN
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1"=30'
SHEET: 11A OF 15



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2015

FIG. 200

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2015

FIG. 201

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

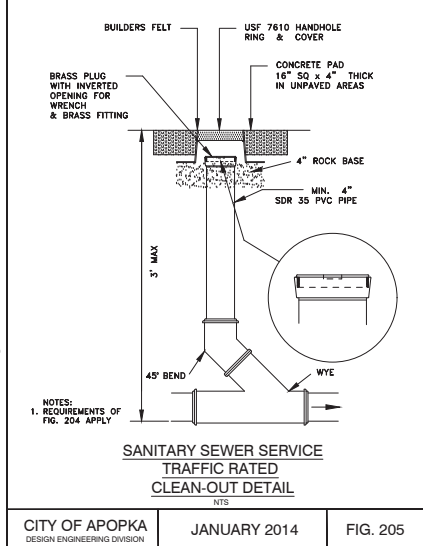
JANUARY 2014

FIG. 202

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 204



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 205



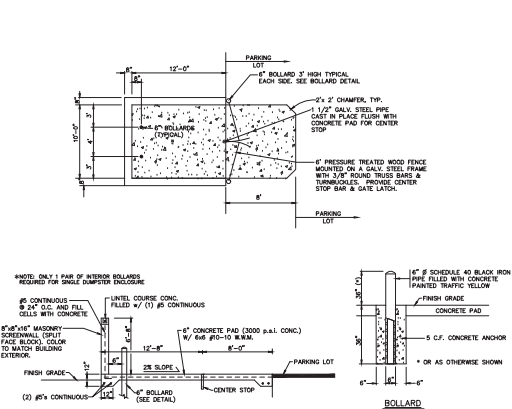
DAVE SCHMITT
ENGINEERING, INC.
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SUITE 241
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407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

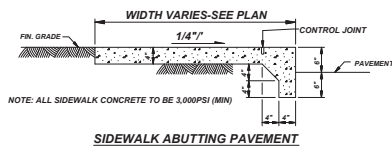
DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

UTILITY DETAILS-2
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

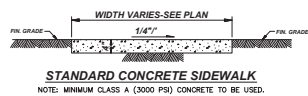
DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: NONE
SHEET: 13 OF 15



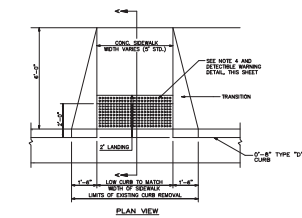
SINGLE DUMPSTER PAD & ENCLOSURE DETAIL



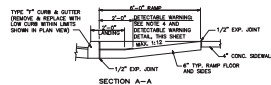
SIDEWALK ABUTTING PAVEMENT



STANDARD CONCRETE SIDEWALK
NOTE: MINIMUM CLASS A (3000 PSI) CONCRETE TO BE USED.



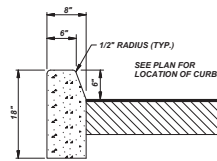
PL



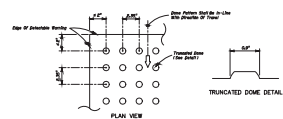
SECTION

- NOTES:
1. EXISTING CURB SHALL BE COMPLETELY REMOVED & REPLACED WITHIN LIMITS SHOWN.
 2. LOW CURB & TRANSITION MAY BE FORMED AT THE TIME OF CURB CONSTRUCTION.
 3. CONSTRUCT WITH CLASS A (3000 PSI) CONCRETE.
 4. CONTRACTOR SHALL CONSTRUCT DETECTABLE "CAST IN PLACE" WARNING SURFACES PER THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) SECTION 4.09.2.
 5. RAMPS SHALL COMPLY WITH FOOT NOEX 304.

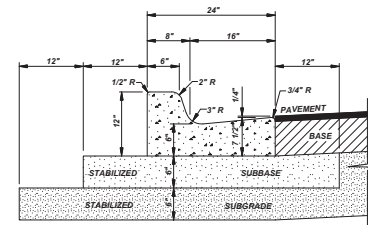
HANDICAP RAMP



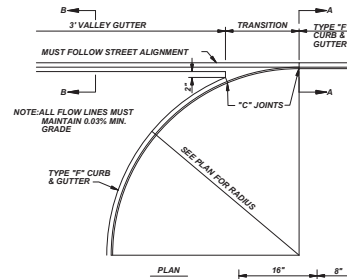
TYPE "D" CURB



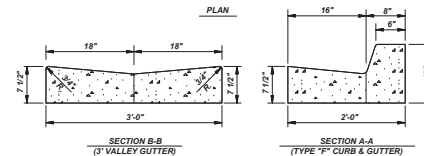
CURB RAMP DETECTABLE WARNING DETAIL



TYPE "F" CURB & GUTTER DETAIL



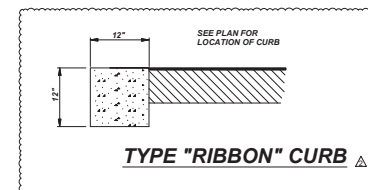
PLAN



SECTION B-B
(3' VALLEY GUTTER)

SECTION A-A
(TYPE "F" CURB & GUTTER)

3' VALLEY GUTTER & TRANSITION DETAIL



TYPE "RIBBON" CURB

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
			08-19-23	JT	REV PER WMD AND CITY COMMENTS

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FLORIDA REG. NUMBER
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PAVING & GRADING DETAILS
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: NONE
SHEET: 14 OF 15

F:\UC1\CAD\PlanSet\Final\15 SIGNAGE & STRIPING PLAN.dwg, 2/12/2024 4:43:55 PM

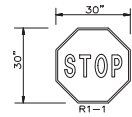
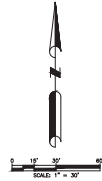
NOTES:

1. ALL PAVEMENT MARKINGS PLACED IN THE RIGHT-OF-WAY SHALL

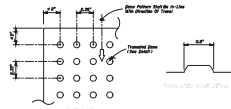
BE THERMOPLASTIC AND WILL BE INSTALLED IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS PER INDEX 711-001.

2. FOR SIGN DETAILS, REFER TO THE "STANDARD HIGHWAY SIGNS"

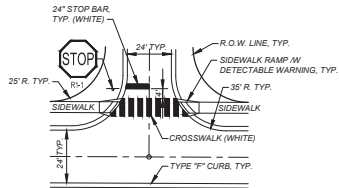
PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2009 WITH REVISIONS 1 & 2, AND THE FDOT 2018 DESIGN STANDARDS BOOKLET.



TYPICAL STOP SIGN



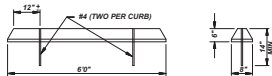
CURB RAMP DETECTABLE WARNING



**TYPICAL INTERSECTION
SIGNING & STRIPING DETAIL**



**NO PARKING FIRE LANE
STRIPING DETAIL**



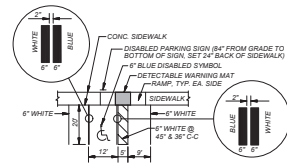
CONCRETE WHEEL STOP



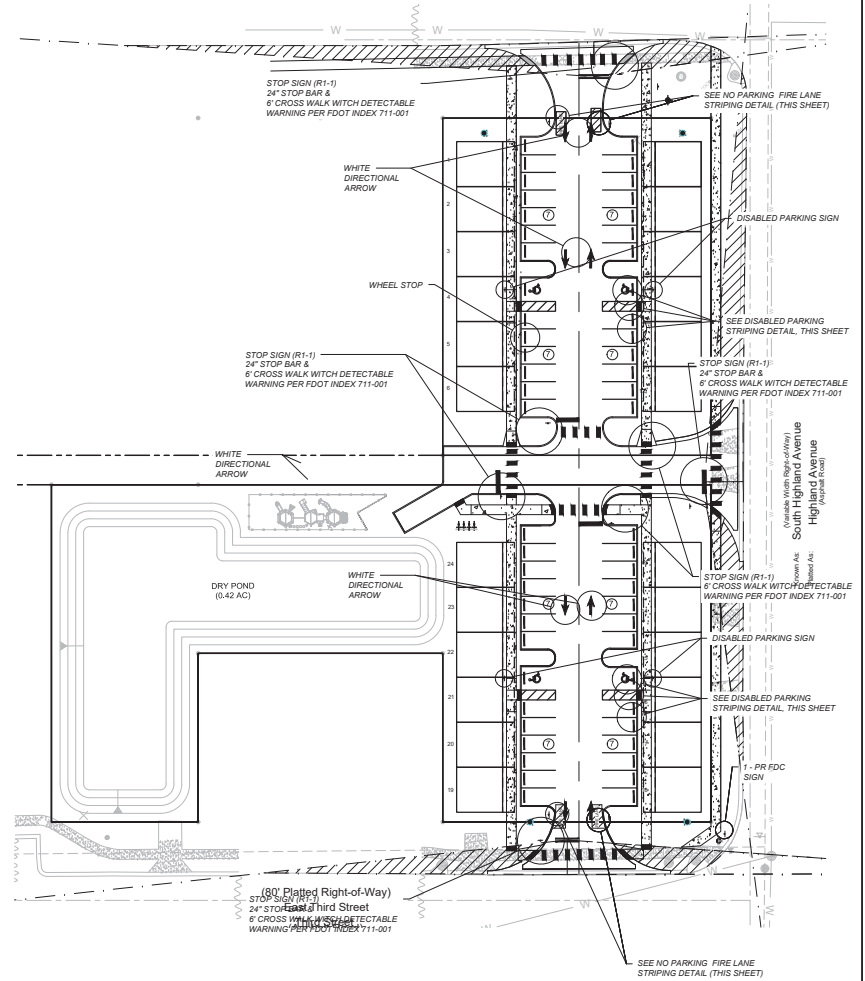
**DISABLED
PARKING SIGN**



**INTERNATIONAL
DISABLED SYMBOL**



DISABLED PARKING & STRIPING DETAIL



DAVE SCHMITT
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12301 Lake Underhill Road Suite 241
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Certification of Authorization #27471

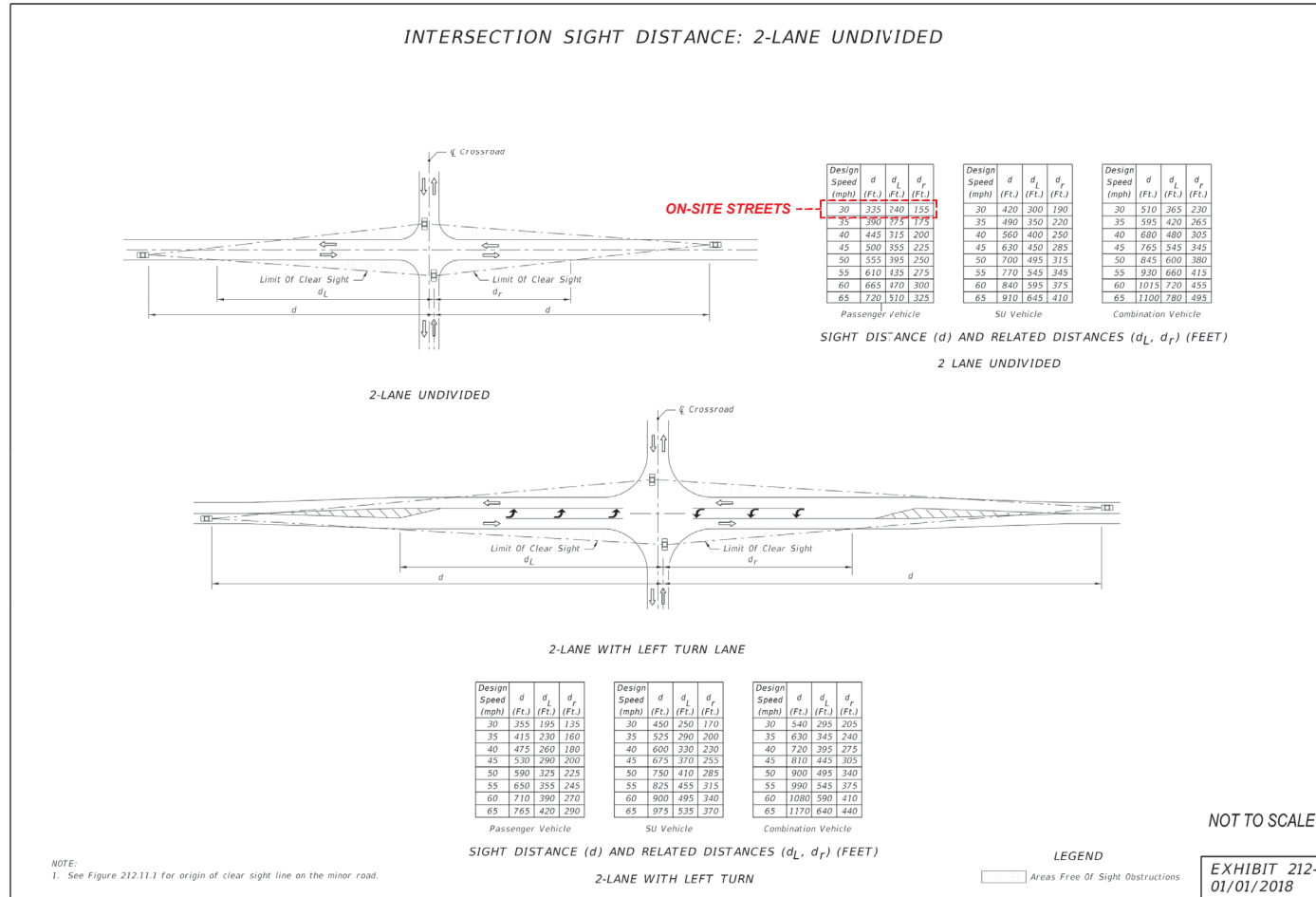
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

SIGNAGE & STRIPING PLAN
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1"=30'
SHEET: 15 OF 15

F:\UC1\CAD\Plans\set(Final)\5A FDOT SIGHT TRIANGLES DETAIL.dwg, 2/9/2024 4:34:48 PM



**DAVE SCHMITT
ENGINEERING, INC.**
12301 Lake Underhill Road Suite 241
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407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

FDOT SIGHT TRIANGLES DETAIL
APOPKA MULTI-FAMILY
CITY OF APOPKA, FLORIDA

DATE: MARCH 2023
PROJECT NO.: UC-1
DRAWN BY: JT
CHECKED BY: DMS
SCALE: 1" = 60'
SHEET: 15A OF 15

Boundary Survey

Legal Description:

Parcel 1: Lots 259, 260, and 261, and the North half of Lots 262 and 263, and the West half of the North half of Lot 264, Revised Plat of a Portion of Block "C" Apopka, Florida, according to the plat thereof as recorded in Plat Book F, Page 101, Public Records of Orange County, Florida.

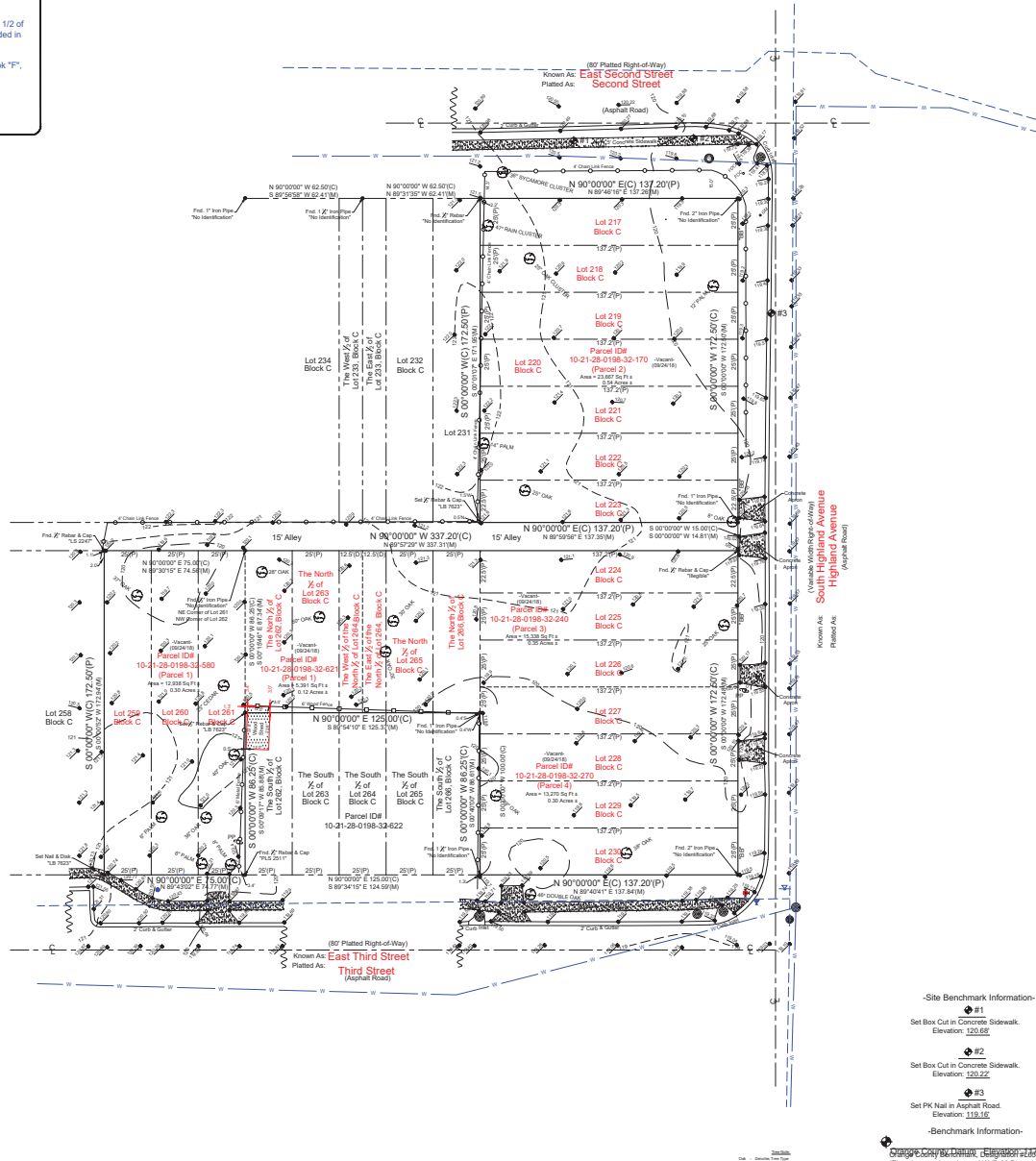
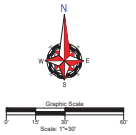
Parcel 2: Lots 217, 218, 219, 220, 221, 222, and 223, Revised Plat of a Portion of Block "C" Apopka, Florida, according to the Plat thereof as recorded in Plat Book F, at Page 101, of the Public Records of Orange County, Florida.

Parcel 3: Lots 224, 225, and 226, and the North 1/2 of Lots 265 and 266 and the East 1/2 of the North 1/2 of Lot 264, Revised Plat of a Portion of Block "C" Apopka, Florida, according to the Plat thereof as recorded in Plat Book F, at Page 101, of the Public Records of Orange County, Florida.

Parcel 4: Lots 227, 228, 229, and 230, Revised Plat of a Portion of Block "C" Apopka, Florida, Plat Book "F", Page 101, of the Public Records of Orange County, Florida.

Flood Disclaimer:
By performing a search with the local governing municipality or www.fema.gov, the property appears to be located in zone X.
This Property was found in City of Apopka, community number 120180, dated 9/25/2009.

CERTIFIED TO:
JACK SPEARS



-Site Benchmark Information-

#1
Set Box Cut in Concrete Sidewalk.
Elevation: 120.66

#2
Set Box Cut in Concrete Sidewalk.
Elevation: 120.22

#3
Set PK Nail in Asphalt Road.
Elevation: 119.16

-Benchmark Information-

Orange County Datum (Elevations on NAVD 83 Datum)

Storm Line
Sanitary Line

NOTE: APPROXIMATE LOCATION
UNDERGROUND UTILITIES FROM
CITY OF APOPKA UTILITY MAP

Added Approximate Storm & Sanitary Lines - TCK

Storm Line: 10-21-28-0198-32-240 (Parcel 1)

Sanitary Line: 10-21-28-0198-32-240 (Parcel 1)

Storm Line: 10-21-28-0198-32-240 (Parcel 1)

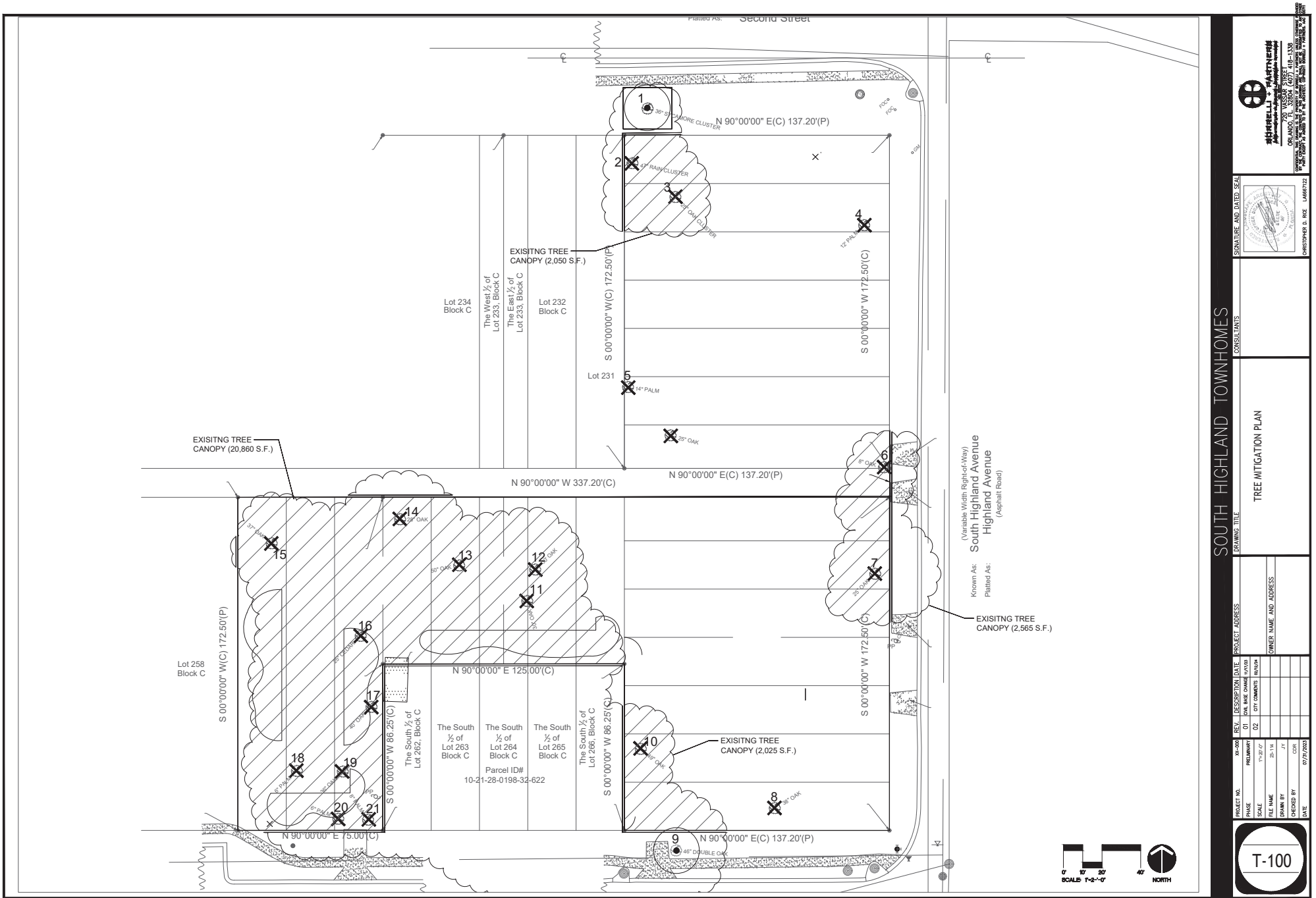
Sanitary Line: 10-21-28-0198-32-240 (Parcel 1)

Storm Line: 10-21-28-0198-32-240 (Parcel 1)

Sanitary Line: 10-21-28-0198-32-240 (Parcel 1)

ALL BEARINGS SHOWN HEREON ARE ASSUMED
TO BE TRUE UNLESS OTHERWISE NOTED.
THE SURVEYOR'S OFFICE DOES NOT WARRANT THE
ACCURACY OF THE DATA PROVIDED BY THE CLIENT.
THE SURVEYOR'S OFFICE DOES NOT WARRANT THE
ACCURACY OF THE DATA PROVIDED BY THE CLIENT.
THE SURVEYOR'S OFFICE DOES NOT WARRANT THE
ACCURACY OF THE DATA PROVIDED BY THE CLIENT.

Fretland & Associates Surveying, Inc.
800 University Circle Suite 1000
Lake Mary, Florida 32746
Phone: 407.678.3366 Fax: 407.320.8160



SOUTH HIGHLAND TOWNHOMES

CONSULTANTS		PROJECT ADDRESS		CORNER NAME AND ADDRESS	
TREE MITIGATION PLAN		DATE		DATE	
REVISIONS		DATE		DATE	
SCALE		DATE		DATE	
FILE NAME		DATE		DATE	
DRAWN BY		DATE		DATE	
CHECKED BY		DATE		DATE	
DATE		DATE		DATE	

#	TREE TYPE	SIZE	REMOVED INCHES	SAVED INCHES	MITIGATION TREE QTY	NOTES
1	SYCAMORE CLUSTER**	36"	-	36"	-	IN R.O.W.
2	RAIN CLUSTER**	47"	47"	-	0"	INVASIVE
3	OAK CLUSTER	25"	25"	-	25"	HEALTHY
4	PALM	12"	12"	-	-	N/A
5	PALM	14"	14"	-	-	N/A
6	OAK	8"	8"	-	8"	HEALTHY
7	OAK	25"	25"	-	25"	HEALTHY
8	OAK	38"	38"	-	38"	HEALTHY
9	DOUBLE OAK**	46"	-	46"	-	IN R.O.W.
10	OAK	49"	49"	-	49"	HEALTHY
11	OAK	30"	30"	-	30"	HEALTHY
12	OAK	30"	30"	-	30"	HEALTHY
13	OAK	50"	50"	-	50"	HEALTHY
14	OAK	28"	28"	-	28"	HEALTHY
15	OAK	37"	37"	-	37"	HEALTHY
16	CEDAR	25"	25"	-	25"	HEALTHY
17	OAK	40"	40"	-	40"	HEALTHY
18	PALM	6"	6"	-	-	N/A
19	OAK	36"	36"	-	36"	HEALTHY
20	PALM	6"	6"	-	-	N/A
21	PALM	8"	8"	-	-	N/A
	TOTAL	596"	467"	82"	421"	

TREE TYPE	REMOVED INCHES	SAVED INCHES	MITIGATION TREE QTY
NON-SPECIMEN (NO PALMS)	33"	0"	33"
SPECIMEN TREES	388"	388"	388"
TOTAL MITIGATION REQUIRED			421"

PROPOSED TREES

CANOPY TREES PROVIDED 3" D.B.H. / 4" CAL. MINIMUM	QUANTITY	MITIGATION INCHES
GRAPE MYRTLE - 3" CAL.	8	24"
LIVE OAK - 4" CAL.	5	20"
SWEET GUM - 4" CAL.	5	20"
BALD CYPRESS - 4" CAL.	7	28"
BALD CYPRESS - 3" CAL.	18	54"
WALTER'S VIBURNUM - 3" CAL.	1	3"
SABAL PALM - 8" CAL.	9	72"
TOTAL REPLACEMENT TREES PLANTED	53	221"

TREE REPLACEMENT CALCULATIONS

TOTAL ACTUAL REPLACEMENT

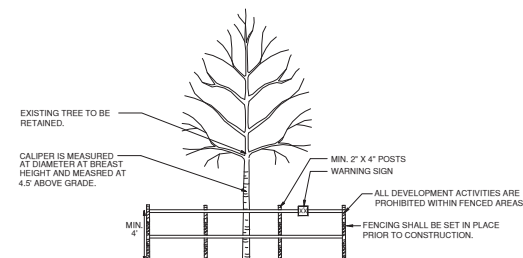
TOTAL QTY CANOPY TREE
REQUIRING REPLACEMENT 421"

TOTAL REPLACEMENT TREES
TREES PLANTED 221"

TOTAL QTY REMAINING
REQUIRING REPLACEMENT 200"

OWNER TO PAY \$3,000.00 TO THE CITY OF APOPKA PRIOR
TO COMMENCEMENT OF ANY SITE WORK.

TREE PROTECTION DETAIL



- NOTES:
- DURING CONSTRUCTION, THE LANDOWNER OR DEVELOPER SHALL BE RESPONSIBLE FOR THE ERECTION OF ANY AND ALL BARRIERS NECESSARY TO PROTECT TREES WITHIN A TREE PROTECTION AREA OR OTHER EXISTING VEGETATION TO BE RETAINED FROM DAMAGE BOTH DURING AND AFTER CONSTRUCTION.
 - NOTHING SHALL PREVENT THE USE OF ALTERNATIVE TREE PROTECTION MEASURES, AS APPROVED BY THE DIRECTOR.
 - ALL FENCING REQUIRED BY THIS SECTION SHALL BE A MINIMUM FOUR FEET HIGH AND BE MADE OF DURABLE CONSTRUCTION. POSTS SHALL BE LOCATED NO MORE THAN TEN FEET ON-CENTER.
 - SIGNS SHALL BE INSTALLED ON THE TREE PROTECTION FENCE VISIBLE ON ALL SIDES OF THE FENCED-IN AREA AT A RATE OF AT LEAST ONE FOR EVERY 150 LINEAR FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET AND SHALL CONTAIN THE FOLLOWING LANGUAGE: "TREE PROTECTION AREA: KEEP OUT."
 - ALL TREE PROTECTION MEASURES SHALL BE INSPECTED AND APPROVED BY THE DIRECTOR PRIOR TO START OF ANY LAND DISTURBING ACTIVITIES. FAILURE TO HAVE TREE PROTECTION MEASURES IN PLACE PRIOR TO LAND DISTURBANCE (OTHER THAN SURVEYING) IS A VIOLATION OF THIS LDC.
 - NO CONSTRUCTION, GRADING, EQUIPMENT, OR MATERIAL STORAGE, OR ANY OTHER ACTIVITY SHALL BE ALLOWED WITHIN THE FENCED AREA. FENCING SHALL BE MAINTAINED UNTIL AFTER THE FINAL SITE INSPECTION.

EXISTING TREE CANOPY RETENTION

SITE AREA	73,143 SF
EXISTING TREE CANOPY COVER	27,500 SF
EXISTING TREE CANOPY COVER AS A PERCENTAGE OF TOTAL	37.5%
MINIMUM REQUIRED TREE CANOPY RETENTION AS A PERCENTAGE	5% + 17.5% X 0.05 = 5.875%
TREE CANOPY COVER RETENTION	900 SF
TREE CANOPY COVER RETENTION AS A PERCENTAGE	3.27%

NOTE: REFER TO MUNICODICE TABLE 5.3.7.B.2.C.
2. EXISTING ZONING IS MU-D DISTRICT.

SOUTH HIGHLAND TOWNHOMES

CONSULTANTS

TREE MITIGATION CALCULATIONS

DRAWING TITLE

PROJECT ADDRESS

CORNER NAME AND ADDRESS

PROJECT NO. 100-000

PHASE 01

SCALE 1" = 20' 0"

FILE NAME 20-000

DRAWN BY J.T.

CHECKED BY

DATE 07/27/2024

REV. DESCRIPTION DATE

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