

APOPKA DEVELOPMENT REVIEW COMMITTEE AGENDA

June 12, 2024 9:00 AM

Apopka City Hall Council Chambers

SPECIAL EVENTS

VARIANCE

1. VAR-24-3, 5260 Mount Plymouth Road - Variance (VAR), 1st Submittal
Owner(s): Elvia Galvan
Applicant(s): Excel Engineering Consultants, LLC - Julian R. Coto
Location: 5260 Mt. Plymouth Road
Proposed Use: Single Family Residence
Project Manager: Jun Sohn
Presented by: Jun Sohn, Planner
2. VAR-24-4, 5276 Mount Plymouth Road - Variance (VAR), 1st Submittal
Owner(s): Elvia Galvan
Applicant(s): Excel Engineering Consultants, LLC - Julian R. Coto
Location: 5276 Mount Plymouth Road
Proposed Use: Single Family Residence
Project Manager: Jun Sohn
Presented by: Jun Sohn, Planner

ANNEXATION

1. AN-24-2, 5188 Plymouth Sorrento Road - Annexation (Annex), 1st Submittal
Owner(s): David Cipollone
Applicant(s): Michael Rankin
Location: 5188 Plymouth Sorrento Road
Proposed Use: Sports Tavern
Project Manager: Bobby Howell
Presented by: Bobby Howell, Planning Manager
2. AN-24-5, 3595 West Kelly Park Road - Annexation (ANNEX), 1st Submittal
Owner(s): Effie Road Holdings LLC
Applicant(s): Nicole Sealy
Location: 3595 West Kelly Park Road
Proposed Use: Commercial
Project Manager: Jun Sohn
Presented by: Jun Sohn, Planner

FUTURE LAND USE AMENDMENT

1. FLU-24-9, 5188 Plymouth Sorrento Road - Small Scale Future Land Use (SSFLU), 1st Submittal

REZONING

1. FLU-24-9, 5188 Plymouth Sorrento Road - KPI Rezoning/Master Plan, 1st Submittal

SITE PLAN:

CONSTRUCTION SITE PLAN

1. SP-24-46, Crossroads at Kelly Park, KPR Improvements - Construction Site Plans (CSP), 1st Submittal

DISCUSSION

ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

Boundary & Topographic Survey

Legal Description:

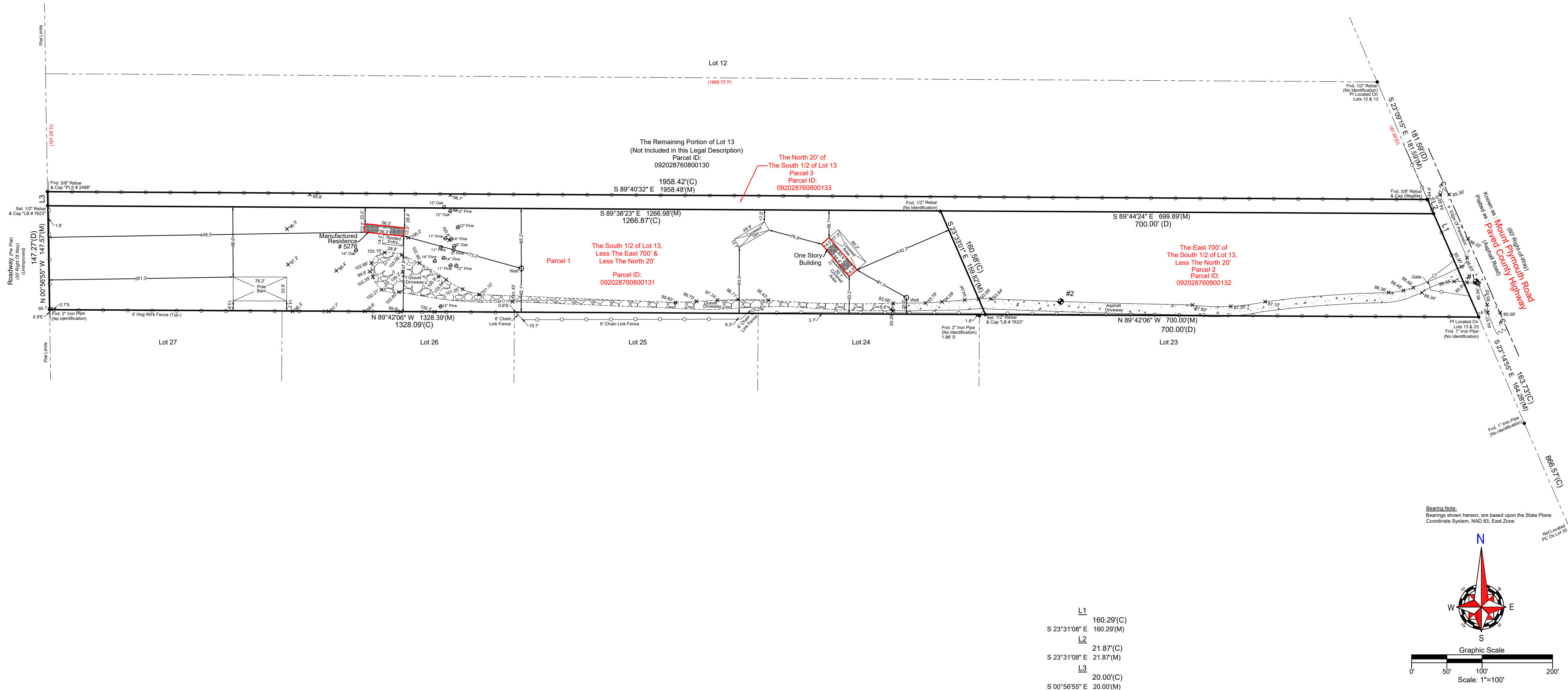
PARCEL 1:
THE SOUTH 1/2 OF LOT 13, LESS THE EAST 700 FEET THEREOF AND LESS THE NORTH 20 FEET THEREOF, ROCK SPRINGS SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK Q, PAGE(S) 118, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FL PARCEL I.D. NO. 09-20-28-7608-00131

PARCEL 2:
THE EAST 700 FEET OF THE SOUTH 1/2 OF LOT 13, LESS THE NORTH 20 FEET THEREOF, ROCK SPRINGS SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK Q, PAGE(S) 118, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FL PARCEL I.D. NO. 09-20-28-7608-00132

PARCEL 3:
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FLOOD DISCLAIMER:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN ORANGE COUNTY, COMMUNITY NUMBER 120180, DATED 09/24/2021.

CERTIFIED TO:
ELVIA GALVAN

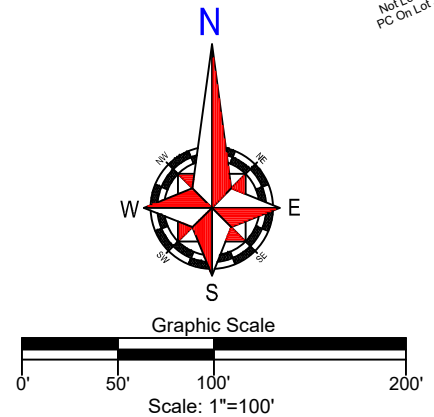


-Benchmark Information-
Florida Department of Transportation Datum
(Elevations are based upon North American Vertical Datum 1988)

-Site Benchmark Information-
#1
Set Nail & Disk (LB 7623) in Edge of Pavement
Elevation: 85.89'

#2
Set Nail & Disk (LB 7623) in Edge of Pavement
Elevation: 92.35'

Field Date: 03/28/23	Date Completed: 04/06/23	Notes:	
Drawn By: PK	File Number: IS-116357	>Survey is Based upon the Legal Description Supplied by Client.	
-Legend-		>Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.	
C - Calculated	PC - Point of Curvature	>Subject to any Easements and/or Restrictions of Record.	
6 - Centerline	Pp - Page	>Bearing Basis shown hereon, is Assumed and Based upon the Line Denoted with a 'B'.	
CB - Concrete Block	PI - Point of Intersection	>Building Ties are NOT to be used to reconstruct Property Lines.	
CM - Concrete Monument	P.O.B. - Point of Beginning	>Fence Ownership is NOT determined.	
Conc. - Concrete	P.O.L. - Point on Line	>Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.	
D - Description	PP - Power Pole	>Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.	
DE - Drainage Easement	PRM - Permanent Reference Monument	>Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY Rights or Benefits to Anyone Other than those Certified.	
ESTM - Easement	PT - Point of Tangency	>Flood Zone Determination Shown Hereon is Given as a Courtesy, and is Subject to Final Approval by F.E.M.A. This Determination may be affected by Flood Factors and/or other information NEITHER known by NOR given to this Surveying Company at the time of this Endeavor.	
F.E.M.A. - Federal Emergency Management Agency	R - Radius	Ireland & Associates Surveying Inc. and the signing surveyor assume NO Liability for the Accuracy of this Determination.	
FFE - Finished Floor Elevation	Rad. - Radial		
FP - Iron Pipe	R&C - Rebar & Cap		
L - Length (Arc)	Rec. - Recovered		
M - Measured	Rfd. - Roofed		
N&D - Nail & Disk	Set - Set 1/2" Rebar & Cap LB 7623		
N.R. - Non-Radial	Typ. - Typical		
ORB - Official Records Book	UE - Utility Easement		
P - Plat	WM - Water Meter		
P.B. - Plat Book	Δ - Delta (Central Angle)		
W - Wood Fence	○ - Chain Link Fence		



Revisions

Patrick K. Ireland, P.S. 116357, LB 7623
This Survey is intended for the use of Said Certified Parties.
This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.
800 Currency Circle, Suite 1020
Lake Mary, Florida 32746
www.irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165

Legal Description:

PARCEL 1:
THE SOUTH 1/2 OF LOT 13, LESS THE EAST 700 FEET THEREOF AND LESS THE NORTH 20 FEET THEREOF, ROCK SPRINGS SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK Q, PAGE(S) 118, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FL PARCEL I.D. NO. 09-20-28-7608-00131

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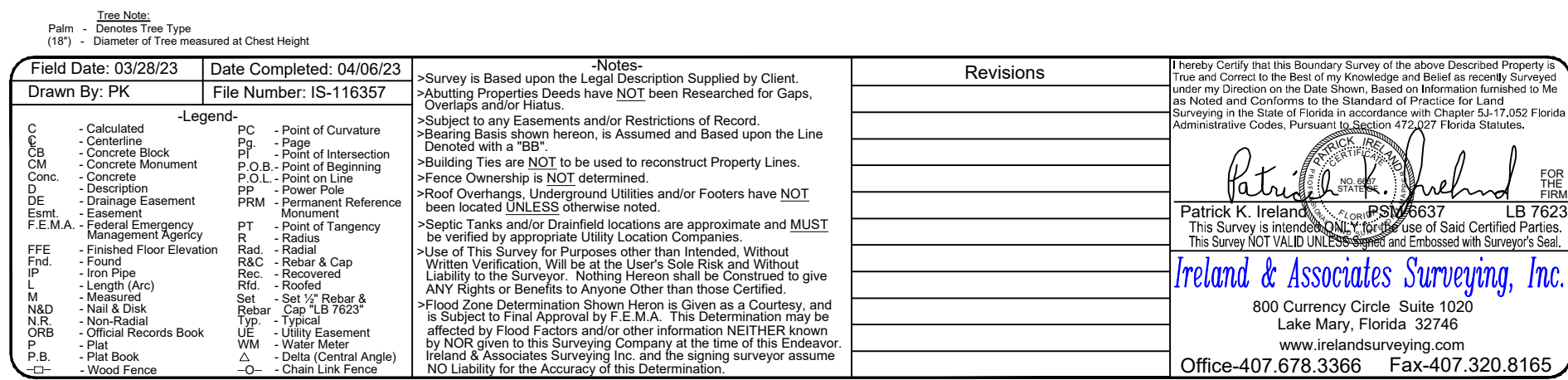
Bearing Note:
Bearings shown hereon, are based upon the State Plane
Coordinate System, NAD 83, East Zone

Not Labeled
PG On Lot

Graphic Scale

50' 100' 200'

Scale: 1"=100'



BOUNDARY SURVEY

DESCRIPTION: The North 150 feet of the East 150 feet of the South 1/4 of the Northeast 1/4 of the Southeast 1/4 of the Southeast 1/4 of Section 12, Township 20 South, Range 27 East, Less part within county road; being Tract No. 4 on Unrecorded Plat by W. P. Kelly, Surveyor. Alllying, being and situated in Orange County, Florida



PARCEL: 12-20-27-0000-00-029

PARCEL: 12-20-27-0000-00-040

N88°37'01"E 120.04'

RECOVERED
1/2" IRON PIPE
1.31' EAST

RECOVERED
1/2" IRON PIPE
4.66' EAST

N.E. 1/4 CORNER OF
SECTION 12-20-27
RECOVERED
1/2" IRON BAR

N00°09'59"E 150.05'

PARCEL:
12-20-27-0000-00-053

METAL WATER TANK

6" CHAIN LINK FENCE

SHED

SEPTIC LID

ONE STORY
CONCRETE
BLOCK BUILDING
#5118

CONCRETE
PARKING

ASPHALT
APRON

150.05'

S00°09'59"W

1974.30' (MEASURED)
1973.46' (CALCULATED)

PLYMOUTH SORRENTO ROAD

S00°09'59"W

S89°50'01"E
30.00'

S00°09'59"W
676.74' (MEASURED)
677.58' (CALCULATED)

S.E. CORNER OF
SECTION 12-20-27

NOTES:

- BEARINGS BASED ON THE WEST RIGHT OF WAY LINE OF PLMOUTH SORRENTO AS BEING S00°09'59"W.
- NO UNDERGROUND UTILITIES, UNDERGROUND FOUNDATIONS, OR UNDERGROUND SIGN BASES WERE LOCATED.

LEGEND

- UTILITY POLE
- OVERHEAD LINE
- LIGHT POLE
- ELECTRIC METER
- WATER METER
- WELL
- BOLLARD

James R. Shannon
Digitally signed by James R. Shannon
Date: 2022.11.17
4:53:42 -05'00'

JAMES R. SHANNON JR., P.L.S. #4671
NOT VALID WITHOUT THE SIGNATURE AND THE SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER

SHANNON SURVEYING, INC.
499 NORTH S.R. 434 - SUITE 2045
ALTAMONTE SPRINGS, FLORIDA, 32714
(407) 774-8372 LB # 6898

DATE OF SURVEY: 11/07/2022

FIELD BY: TK SCALE: 1" = 30'

FILE NUMBER: 12-20-27 5118 PLYMOUTH SORRENTO

PARCEL ID: 12-20-27-0000-00-088

LEGAL DESCRIPTION (PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 2061-6154286)

The land referred to herein below is situated in the County of ORANGE, State of Florida, and described as follows:

The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 12, Township 20 South, Range 27 East, Orange County, Florida, LESS the North 699.17 feet, LESS the West 30.00 feet, for road right of way, LESS the South 30.00 feet, for road right of way, ALSO LESS the East 3/4's of the South 1/4 thereof.

WE HAVE EXAMINED THE FURNISHED COMMITMENT TO INSURE TITLE, FILE NO.: 2061-6154286, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, EFFECTIVE DATE: AUGUST 04, 2022. INSTRUMENT 9 INCLUDED IN "SCHEDULE B, SECTION 2", OF THE COMMITMENT HAVE BEEN EXAMINED AND ARE REFLECTED HEREON TO THE EXTENT THEY AFFECT THE LANDS SURVEYED.

(9) Right-of-Way Agreement to County of Orange recorded in Book 1448, Page 23. AFFECTS, AS SHOWN HEREON.

PARCEL ID: 12-20-27-0000-00-015

LEGAL DESCRIPTION (PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 2061-6135856)

The land referred to herein below is situated in the County of ORANGE, State of Florida, and described as follows:

Tract 1: The North 349.25 feet of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 12, Township 20 South, Range 27 East, Orange County, Florida, less the West 30.00 feet thereof for road right-of-way.

Tract 2: The South 349.92 feet of the North 699.17 feet of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 12, Township 20 South, Range 27 East, Orange County, Florida, less the West 30.00 feet thereof for road right-of-way.

WE HAVE EXAMINED THE FURNISHED COMMITMENT TO INSURE TITLE, FILE NO.: 2061-6135856, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, EFFECTIVE DATE: JULY 22, 2022. INSTRUMENTS 9-11 INCLUDED IN "SCHEDULE B, SECTION 2", OF THE COMMITMENT HAVE BEEN EXAMINED AND ARE REFLECTED HEREON TO THE EXTENT THEY AFFECT THE LANDS SURVEYED.

(9) Notice of Future Assessment from the Orange County Commissioners to Danny Merritt regarding Effie Drive recorded

04/04/1994 in Book 4721, Page 543. - as to Tract 2

AFFECTS, NOT A SURVEY MATTER.

(10) Distribution Easement granted to Florida Power Corporation recorded 10/26/1999 in Book 5867, Page 3133. - as to Tract 1

AFFECTS, BASED ON FACILITIES.

(11) Distribution Easement granted to Florida Power Corporation recorded 10/26/1994 in Book 4812, Page 3336. - as to Tract 2

AFFECTS, BASED ON FACILITIES.

PARCEL ID: 12-20-27-0000-00-018

LEGAL DESCRIPTION (PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 2061-6107183)

The land referred to herein below is situated in the County of ORANGE, State of Florida, and described as follows:

The East 1/2 of the Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 12, Township 20 South, Range 27 East, Orange County, Florida.

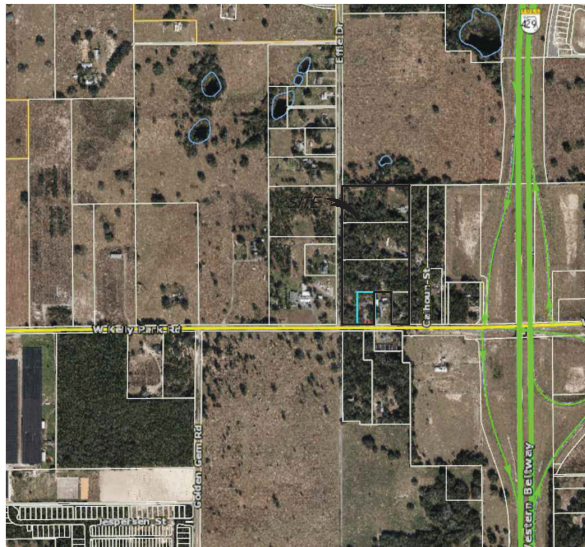
WE HAVE EXAMINED THE FURNISHED COMMITMENT TO INSURE TITLE, FILE NO.: 2061-6107183, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, EFFECTIVE DATE: JUNE 29, 2022. INSTRUMENTS INCLUDED IN "SCHEDULE B, SECTION 2", OF THE COMMITMENT HAVE BEEN EXAMINED AND ARE NOT SURVEY RELATED.

PARCEL ID: 12-20-27-0000-00-016

LEGAL DESCRIPTION (PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO.: 1323963)

The East 1/2 of the Southwest 1/4 of the Southwest 1/4 of the Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 12, Township 20 South, Range 27 East, Orange County, Florida, LESS the East 15 feet and LESS ROAD RIGHT-OF-WAY ON THE SOUTH.

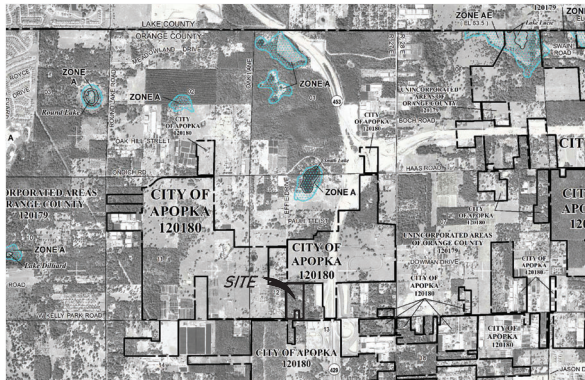
WE HAVE EXAMINED THE FURNISHED COMMITMENT TO INSURE TITLE, COMMITMENT NO.: 1323963, PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, EFFECTIVE DATE: SEPTEMBER 12, 2022. INSTRUMENTS INCLUDED IN "SCHEDULE B, SECTION 2", OF THE COMMITMENT HAVE BEEN EXAMINED AND ARE NOT SURVEY RELATED.



VICINITY MAP
NOT TO SCALE

SHEET LAYOUT:

SHEET 1 ALTA INFORMATION, LEGAL DESCRIPTION PER DEEDS OF RECORD AND SURVEYOR'S NOTES
SHEET 2 BOUNDARY SURVEY AND LEGEND



FIRM MAP 12095C0050H
NOT TO SCALE

LEGAL DESCRIPTION (PER DEEDS OF RECORD)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

TRACT 1: THE NORTH 349.25 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS THE WEST 30.00 FEET THEREOF FOR ROAD RIGHT-OF-WAY.

TRACT 2: THE SOUTH 349.92 FEET OF THE NORTH 699.17 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS THE WEST 30.00 FEET THEREOF FOR ROAD RIGHT-OF-WAY.

TOGETHER WITH:

THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS THE NORTH 699.17 FEET, LESS THE WEST 30.00 FEET, FOR ROAD RIGHT OF WAY, LESS THE SOUTH 30.00 FEET, FOR ROAD RIGHT OF WAY, ALSO LESS THE EAST 3/4'S OF THE SOUTH 1/4 THEREOF.

TOGETHER WITH:

THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

TOGETHER WITH:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST, LESS THE EAST 15 FEET AND LESS ROAD RIGHT-OF-WAY ON THE SOUTH, ORANGE COUNTY, FLORIDA.

THE ABOVE DESCRIBED TRACTS OF LAND LIE IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA AND CONTAIN 17.922 ACRES MORE OR LESS

SURVEYOR'S NOTES:

- (1) THIS MAP OF BOUNDARY SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER IDENTIFIED BELOW.
- (2) BEARINGS SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, NAD83, ZONE EAST, RELATIVE TO THE CALCULATED RIGHT-OF-WAY LINE OF EFFIE DRIVE, BEING NORTH 00°02'41" WEST.
- (3) THE LEGAL DESCRIPTION HEREON IS IN ACCORD WITH THE INSTRUMENT OF RECORD FURNISHED BY THE CLIENT.
- (4) UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNOBTAINED, ABOVE GROUND PERIMETER IMPROVEMENTS WERE NOT LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
- (5) THE LANDS SHOWN HEREON LIE IN ZONE "X", DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER: 12095C0050H. MAP REVISED: SEPTEMBER 24, 2021.
- (6) THE DELINEATION OF LANDS SHOWN HEREON IS AS PER THE CLIENT'S INSTRUCTIONS.
- (7) THE CLASSIFICATION USE OF THE LAND, PURSUANT TO THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.027, IS RESIDENTIAL. THE MINIMUM RELATIVE DISTANCE ACCURACY OF THIS MAP OF BOUNDARY SURVEY ACHIEVES OR EXCEEDS ONE FOOT IN 10,000 FEET.
- (8) ATTENTION IS DIRECTED TO THE FACT THAT THIS MAP MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.
- (9) SYMBOLS DEPICTED HEREON DO NOT REFLECT ACTUAL SIZE.
- (10) NO ZONING REPORT OR LETTER HAS BEEN PROVIDED TO THIS FIRM.

ALTA/NSPS CERTIFICATION: (2021)

FOR: MORRISON GROVES

FIRST AMERICAN TITLE INSURANCE COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
HILL WARD & HENDERSON, P.A.
NEXIA LAND VPI, LLC, A FLORIDA LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 13, AND 19 OF TABLE A THEREOF.



Digitally signed
by David A White
Date: 2022.10.11
17:36:13 -04'00'

DAVID A. WHITE, P.S.M.
FLORIDA REGISTRATION NO. 4044
PEC - SURVEYING AND MAPPING, LLC
CERTIFICATE OF AUTHORIZATION L.B. #7808
DATE OF FIELD SURVEY: 10-06-2022
DATE OF SIGNATURE: 10-11-2022

NOT VALID WITHOUT SHEETS 1 THROUGH 2

DATE	BY	REVISIONS

PEC | SURVEYING AND MAPPING, LLC
CERTIFICATE OF AUTHORIZATION NUMBER LB 7808
2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967
WWW.PECONLINE.COM dw@peconline.com

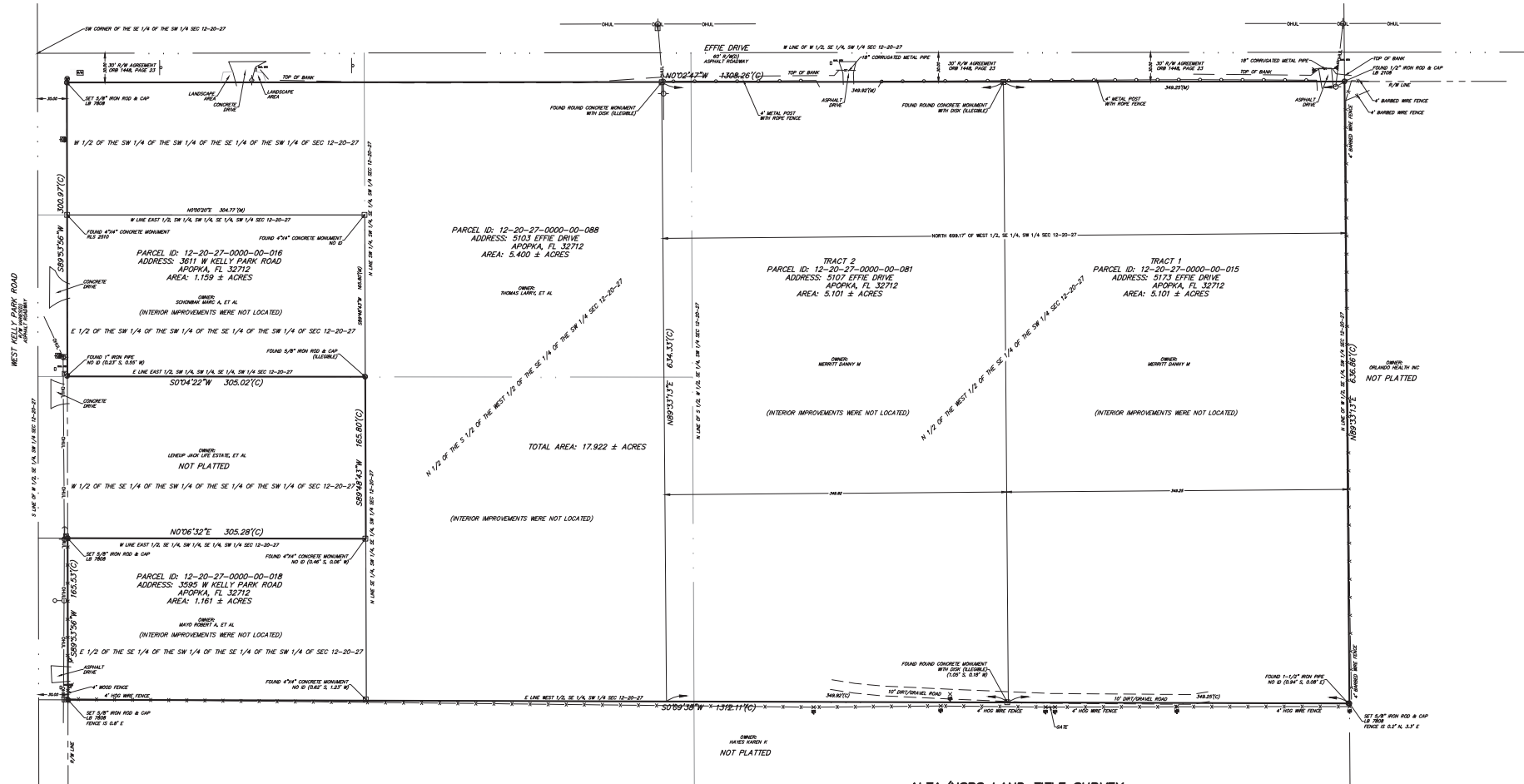
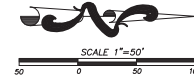
ALTA/NSPS LAND TITLE SURVEY

MAP OF BOUNDARY SURVEY
LOCATED IN
SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

SHEET 1 OF 2

JOB NO.:	22-087
DATE:	10-07-2022
DRAWN BY:	R.J.G.
CHECKED BY:	D.A.W.
F.B.:	2452
PAGE(S):	13-22

- LEGEND
- RECORD ROAD
 - LICENSED BUSINESS
 - FENCED
 - REGISTERED LAND SURVEYOR
 - SURVEYOR'S SEAL
 - CALCULATED
 - MEASURED
 - CORNER TELEPHONE BOX
 - ELECTRIC WIRE PULL BOX
 - FIBER OPTIC MARKER
 - DIRT ANCHOR
 - LIGHT POLE
 - MAIL BOX
 - REFLECTOR
 - GROUND VALVE
 - TELEPHONE BOX
 - DRAINAGE DITCH
 - WATER METER
 - WATER VALVE
 - WOOD POWER POLE
 - WOOD POWER POLE WITH LIGHT
 - OVERHEAD UTILITY LINE
 - UNDERGROUND STORM PNE



NOT VALID WITHOUT SHEETS 1 THROUGH 2

DATE	BY	REVISIONS

PEC | SURVEYING AND MAPPING, LLC
 CERTIFICATE OF AUTHORIZATION NUMBER LB 7808
 2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967
 WWW.PECONLINE.COM dw@peconline.com

ALTA/NSPS LAND TITLE SURVEY

MAP OF BOUNDARY SURVEY
 LOCATED IN
 SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST
 ORANGE COUNTY, FLORIDA

SHEET 2 OF 2

JOB NO.:	22-087
DATE:	10-07-2022
DRAWN BY:	R.J.G.
CHECKED BY:	D.A.W.
F.B.:	2452
PAGE(S):	13-22

03_122-087 Morrison Grimes 4 ALTA/NSPS 12-087 ALTA-CSD.dwg Oct 11, 2022 - 5:46pm

BOUNDARY SURVEY

DESCRIPTION: The North 150 feet of the East 150 feet of the South 1/4 of the Northeast 1/4 of the Southeast 1/4 of the Southeast 1/4 of Section 12, Township 20 South, Range 27 East, Less part within county road; being Tract No. 4 on Unrecorded Plat by W. P. Kelly, Surveyor. Alllying, being and situated in Orange County, Florida



PARCEL: 12-20-27-0000-00-029

PARCEL: 12-20-27-0000-00-040

N88°37'01"E 120.04'

RECOVERED
1/2" IRON PIPE
4.66' EAST

N.E. 1/4 CORNER OF
SECTION 12-20-27
RECOVERED
1/2" IRON BAR

RECOVERED
1/2" IRON PIPE
1.31' EAST

N00°09'59"E 150.05'

6' CHAIN LINK FENCE

METAL WATER TANK

PARCEL:
12-20-27-0000-00-053

6' CHAIN LINK FENCE

SHED

SEPTIC LID

ASPHALT
APRON

1974.30' (MEASURED)
1973.46' (CALCULATED)

S00°09'59"W

S00°09'59"W 150.05'

PLYMOUTH SORRENTO ROAD

ONE STORY
CONCRETE
BLOCK BUILDING
#5118

CONCRETE
PARKING

ASPHALT
APRON

FENCE 4.89'

SOUTHERLY

RECOVERED
1/2" IRON PIPE
1.11' EAST

S88°37'01"W 120.04'

RECOVERED
5/8" IRON
"LB 1221"
WITNESS
7.10' S &
1.00' W

S89°50'01"E 30.00'

S00°09'59"W
676.74' (MEASURED)
677.58' (CALCULATED)

S.E. CORNER OF
SECTION 12-20-27

NOTES:

- BEARINGS BASED ON THE WEST RIGHT OF WAY LINE OF PLMOUTH SORRENTO AS BEING S00°09'59"W.
- NO UNDERGROUND UTILITIES, UNDERGROUND FOUNDATIONS, OR UNDERGROUND SIGN BASES WERE LOCATED.

LEGEND

- UTILITY POLE
- OVERHEAD LINE
- LIGHT POLE
- ELECTRIC METER
- WATER METER
- WELL
- BOLLARD

James R. Shannon
Digitally signed by James R. Shannon
Date: 2022.11.17
4:53:42 -05'00'

JAMES R. SHANNON JR., P.L.S. #4671
NOT VALID WITHOUT THE SIGNATURE AND THE SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER

SHANNON SURVEYING, INC.
499 NORTH S.R. 434 - SUITE 2045
ALTAMONTE SPRINGS, FLORIDA, 32714
(407) 774-8372 LB # 6898

DATE OF SURVEY: 11/07/2022
FIELD BY: TK SCALE: 1" = 30'
FILE NUMBER: 12-20-27 5118 PLYMOUTH SORRENTO

BOUNDARY SURVEY

DESCRIPTION: The North 150 feet of the East 150 feet of the South 1/4 of the Northeast 1/4 of the Southeast 1/4 of the Southeast 1/4 of Section 12, Township 20 South, Range 27 East, Less part within county road; being Tract No. 4 on Unrecorded Plat by W. P. Kelly, Surveyor. Alllying, being and situated in Orange County, Florida



PARCEL: 12-20-27-0000-00-029

RECOVERED
1/2" IRON PIPE
1.31' EAST

PARCEL: 12-20-27-0000-00-040

N88°37'01"E 120.04'

RECOVERED
1/2" IRON PIPE
4.66' EAST

N.E. 1/4 CORNER OF
SECTION 12-20-27
RECOVERED
1/2" IRON BAR

N00°09'59"E 150.05'

6" CHAIN LINK FENCE

METAL WATER TANK

PARCEL:
12-20-27-0000-00-053

6" CHAIN LINK FENCE

SHED

SEPTIC LID

ASPHALT
APRON

1974.30' (MEASURED)
1973.46' (CALCULATED)

S00°09'59"W

150.05'

S00°09'59"W

S00°09'59"W

S00°09'59"W

S00°09'59"W

S00°09'59"W

S00°09'59"W

PLYMOUTH SORRENTO ROAD

ONE STORY
CONCRETE
BLOCK BUILDING
#5118

CONCRETE
PARKING

ASPHALT
APRON

FENCE 4.89'
SOUTHERLY

RECOVERED
1/2" IRON PIPE
1.11' EAST

S88°37'01"W 120.04'

PARCEL:
12-20-27-0000-00-103

RECOVERED
5/8" IRON
"LB 1221"
WITNESS
7.10' S &
1.00' W

S89°50'01"E
30.00'

676.74' (MEASURED)
677.58' (CALCULATED)

S.E. CORNER OF
SECTION 12-20-27

NOTES:

- BEARINGS BASED ON THE WEST RIGHT OF WAY LINE OF PLMOUTH SORRENTO AS BEING S00°09'59"W.
- NO UNDERGROUND UTILITIES, UNDERGROUND FOUNDATIONS, OR UNDERGROUND SIGN BASES WERE LOCATED.

LEGEND

- UTILITY POLE
- OVERHEAD LINE
- LIGHT POLE
- ELECTRIC METER
- WATER METER
- WELL
- BOLLARD

James R. Shannon
Digitally signed by James R. Shannon
Date: 2022.11.17
4:53:42 -05'00'

JAMES R. SHANNON JR., P.L.S. #4671
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FLORIDA LICENSED SURVEYOR AND MAPPER

SHANNON SURVEYING, INC.
499 NORTH S.R. 434 - SUITE 2045
ALTAMONTE SPRINGS, FLORIDA, 32714
(407) 774-8372 LB # 6898

DATE OF SURVEY: 11/07/2022

FIELD BY: TK SCALE: 1" = 30'

FILE NUMBER: 12-20-27 5118 PLYMOUTH SORRENTO

Construction Site Plans
for
Crossroads at Kelly Park
Kelly Park Road Improvements
City of Apopka, FL

Legal Description:

Existing City of Apopka Right of Way for West Kelly Park Road.

Sheet Index		Subm./Rev.
Sheet Id.	Sheet Title	- 1 2 3 4 5 6 7
CS.00	Cover Sheet	■
CD.01	Construction Notes	■
C1.00	Existing Conditions Plan	■
C1.10	Erosion Control Plan & Details	■
C2.00	Demolition Plan	■
C3.00	Typical Road Sections & Details	■
C4.00	Signage, Striping & Geometry Plan	■
CG.00	Grading & Utility Plan	■
CG.01	Intersection Grading Plan	■
CG.10	Grading Sections & Details	■
CG.02	FOOT Details	■
Survey Drawings		
1	Topographic Survey	■

Date

05/20/2024

Description

Submit to City of Apopka

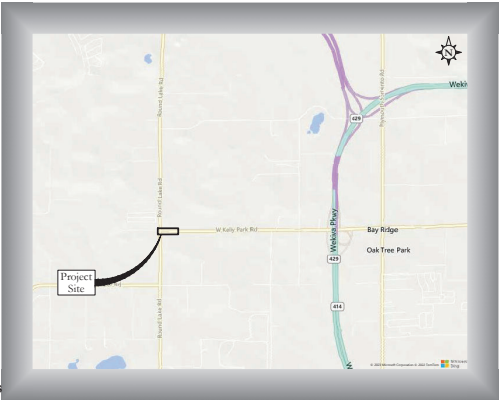
Owner/Developer/Applicant:
Kelly Park Land Investments, LLC
121 Snell Isle Blvd NE
St.Petersburg, FL 33704

Utility Providers

Electric: Duke Energy 452 E Crown Point Rd Winter Garden,FL 34787 407.629.1010	Telephone: AT&T 1227 S Division Ave Orlando, FL 34805 407.351.7100	Water, Sewer and Reuse: City of Apopka 748 E. Cleveland Street Apopka, FL 32703 407.703.1731
CATV: Spectrum 100 Gordon Street Sanford, FL 32771 321.805.3081	Gas: Lake Apopka Natural Gas 38 N Park Avenue Apopka, FL 32703 407.656.2734	Solid Waste, Fire and Police Protection: City of Apopka 748 E. Cleveland St Apopka, FL 32703 407.703.1731

Consultants

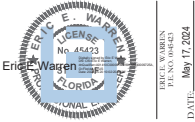
Civil Engineer: Poulos & Bennett, LLC 2602 E Livingston Street Orlando, FL 32803 407.487.2594	Surveyor: PEC Surveying and Mapping, LLC 2100 Alafaye Trail Oviedo, FL 32765 407.542.4967	Environmental: Bio-Tech Consulting Inc. 3025 East South Street Orlando, FL 32803 407.894.5969
Geotechnical Engineer: Universal Engineering Sciences 3532 Maggie Boulevard Orlando, FL 32811 407.423.0504	Landscape Architect: Bonnett Design Group, LLC 400 S Orlando Ave Suite 201 Maitland, FL 32751 407.622.1588	Transportation: TMC Traffic & Mobility Consultants 3101 Maguire Boulevard, Suite 265 Orlando, FL 32803 407.531.5332



Vicinity Map
Scale: 1" = 3,000'

PROJECT NARRATIVE:
LOCATED IN THE KELLY PARK TRANSITION DISTRICT AND VILLAGE CENTER DISTRICT, THE CROSSROADS AT KELLY PARK PROJECT PROVIDES A MIXTURE OF USES INCLUDING DETACHED SINGLE-FAMILY RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL. THIS CONSTRUCTION SITE PLAN SUBMITTAL PROPOSES TURN LANE IMPROVEMENTS AT THE INTERSECTION OF ROUND LAKE ROAD AND KELLY PARK ROAD.

- NOTES:
- CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE LATEST MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE FOR STREETS AND HIGHWAYS, FOOT GREEN BOOK, AND LOCAL REGULATIONS AND SPECIFICATIONS.
 - IF YOU REQUIRE FURTHER CLARIFICATION OF WHAT THIS DOCUMENT REPRESENTS, PLEASE CONTACT THE ADA COORDINATOR OF CITY OF APOPKA AT 407.703.1700

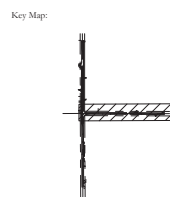


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2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567
P&B Job No.: 21-027B

Z:\2021\21-027 CALVIN - KELLY PARK PARCELS\21-027B\CAD\KELLY PARK ROAD\21027B-KPR-CN



Symbol	Description
	EXISTING ROW
	EXISTING CHAINLINK FENCE
	EXISTING ELECTRIC LINE
	EXISTING OVERHEAD WIRE
	EXISTING UTILITY POLE
	EXISTING MAILBOX
	EXISTING GUY ANCHOR
	EXISTING TELEPHONE RISER
	EXISTING WOOD FENCE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING RECLAIM WATER LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING SANITARY SEWER LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING CABLE TV BOX
	EXISTING FLOOD LIGHT
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING VALVE (AS NOTED)
	ELM TREE
	OAK TREE
	PINE TREE
	PALM TREE
	UNIDENTIFIED TREE

(6/20/2024) SUBMIT TO CITY OF APOKKA	
NO.	DATE DESCRIPTION
SUBMISSIONS/REVISIONS	
VERTICAL DATUM:	NAVD 83
JOB NO.:	21-0271
DESIGNED BY:	TY
DRAWN BY:	PTD
CHECKED BY:	EEV
APPROVED BY:	EEV
SCALE IN FEET:	1" = 20'

Project Name:

Crossroads at Kelly Park - Kelly Park Road Improvements

Jurisdiction:
CITY OF APOPKA, FL

Sheet Title:
**EXISTING
CONDITIONS
PLAN**

Sheet No.:

C1.00

Seal:

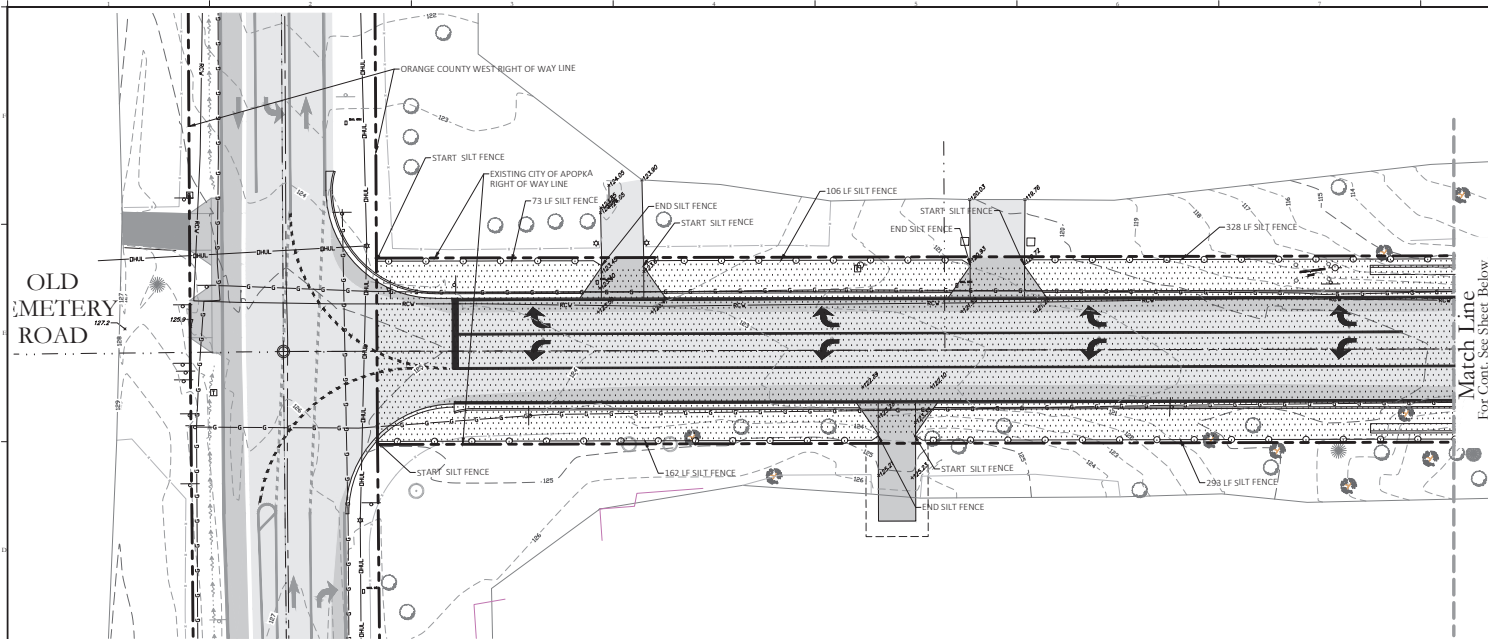


ERIC L. WARREN
P.E. NO. 00046421
May 17, 2024
DATE:

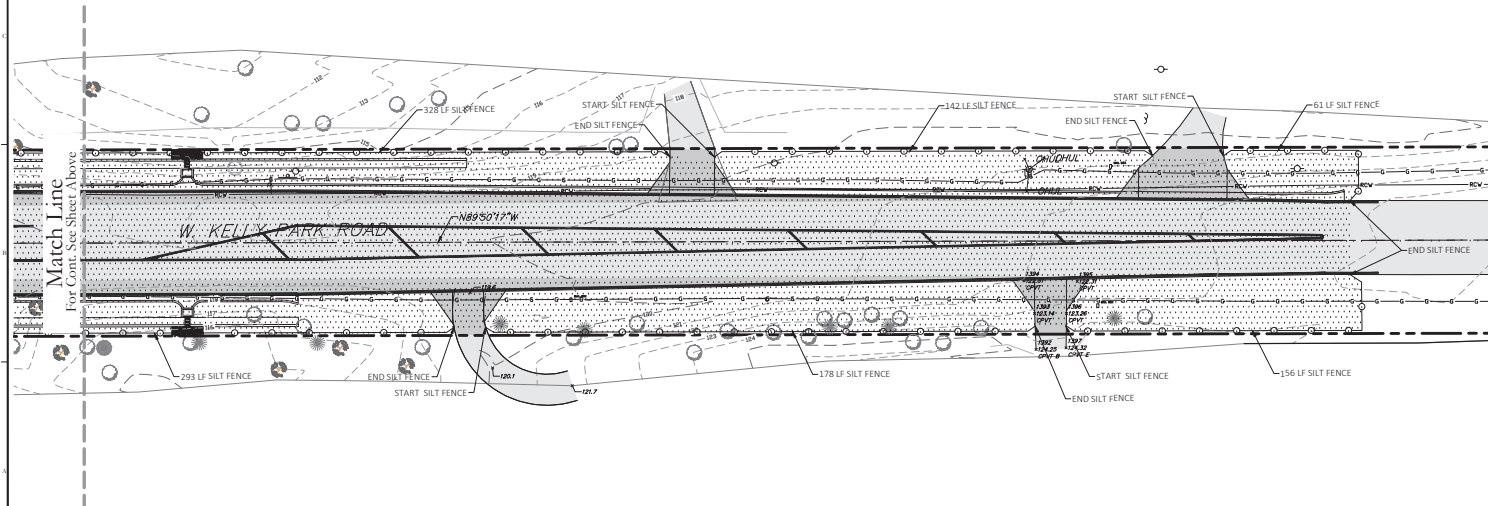
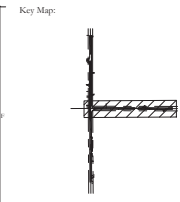
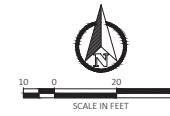
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POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
E-Box No. 28567



Erosion Legend	
Symbol	Description
	PROPERTY BOUNDARY
	SILT FENCE (SILT FENCE TO BE INSTALLED PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITIES)
	DOUBLE SILT FENCE (SILT FENCE TO BE INSTALLED PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITIES)
	MAJOR CONTOUR
	MINOR CONTOUR
	PROPOSED DISTURBED AREA
	CONSTRUCTION ENTRANCE
	INLET PROTECTION
	STORM PIPE
	STORM MANHOLE
	INLET
	MITERED END SECTION



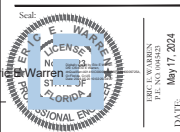
6/20/2024	SUBMIT TO CITY OF APOPKA
NO.	DESCRIPTION
DATE	SUBMISSION REVISIONS
VERTICAL DATUM	NAVD 88
JOB NO.	21-027B
DESIGNED BY:	TV
DRAWN BY:	PTN
CHECKED BY:	EEW
APPROVED BY:	EEW
SCALE IN FEET:	1" = 20'

Project Name:
**Crossroads at Kelly
 Park - Kelly Park
 Road Improvements**

Jurisdiction:
CITY OF APOPKA, FL

Sheet Title:
**EROSION CONTROL
 PLAN**

Sheet No:
C1.10

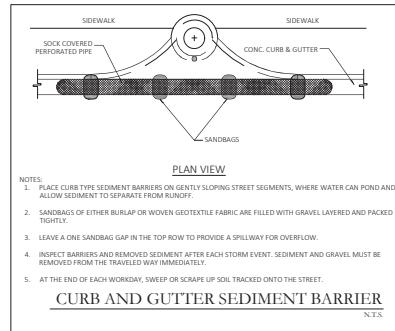
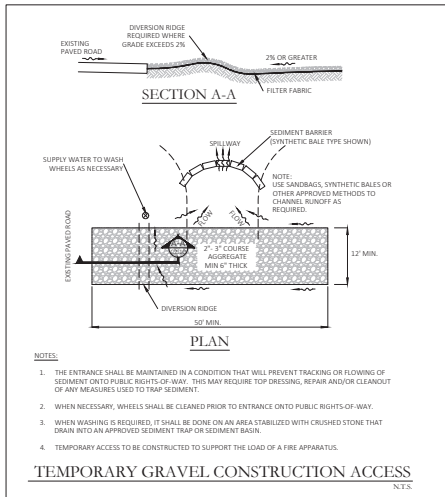
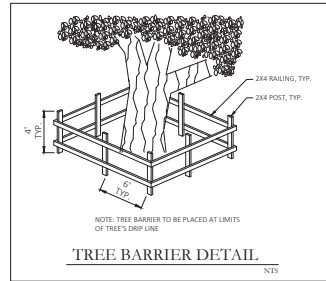
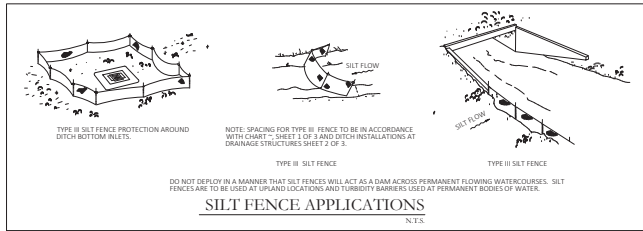
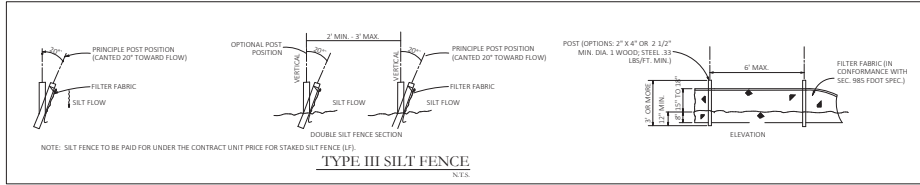


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Poulos & Bennett, LLC
 2602 E. Livingston St., Orlando, FL 32803
 Tel. 407.467.2504 www.poulosandbennett.com
 Eng. Bus. No. 28567

21-0021-01-1-027 DAWN - KELLY PARK PHASES 11-12-13 KELLY PARK ROAD 1210276-10R-EXP



EROSION CONTROL NOTES

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SLITING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING SURFACE WATERS, INCLUDING WETLANDS. SUCH MEASURES SHALL BE APPROVED BY THE PROJECT ENGINEER AND MAY INCLUDE, BUT NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES, SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS.
2. AT A MINIMUM, THE RETENTION/DETENTION STORAGE AREA MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE. WITHIN THE AREA TO BE SERVED BY THOSE FACILITIES TO PREVENT REDUCTION IN STORAGE VOLUME AND PERCOLATION RATES. ALL ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE STORAGE AREA PRIOR TO FINAL GRADING AND STABILIZATION.
3. IF DURING CONSTRUCTION, THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORILY, ALTERNATIVES AND ADDITIONAL METHODS OF PROTECTION SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH WMD AND COUNTY EROSION PROTECTION STANDARDS. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION CONTROL COSTS INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
4. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A DETAILED EROSION CONTROL PLAN TO COUNTY FOR REVIEW AND APPROVAL A MINIMUM OF 2 WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. THE EROSION CONTROL PLAN SHALL PROPOSE SILT SCREEN OR SYNTHETIC HAY BALES AND TURBIDITY BARRIERS, IN ACCORDANCE WITH THE CONSTRUCTION PLANS.
5. 2" STRIP OF SOD SHALL BE PLACED BEHIND BACK OF CURB.
6. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL GRADING. ALL TEMPORARY EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE COMPLETED AND ESTABLISHED. CONTRACTOR SHALL REFER TO COUNTY LOC. FOR PERMANENT EROSION CONTROL MEASURES REQUIRED BY COUNTY.
7. AT A MINIMUM SILT BARRIERS SHALL BE PLACED AS SHOWN ON THE CONSTRUCTION PLANS TO ENSURE AGAINST POLLUTING, SLITING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY, OR DISCHARGE OF MATERIAL OFFSITE OR TO EXISTING WETLANDS. IF DURING CONSTRUCTION, THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORILY, ALTERNATIVES AND ADDITIONAL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH COUNTY AND WMD EROSION PROTECTION STANDARDS.
8. CONTRACTOR IS RESPONSIBLE FOR PREPARING, OBTAINING THE STORMWATER NOI, AND ADHERING TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE FLORIDA STORMWATER, EROSION, AND SEDIMENTATION CONTROL INSPECTORS MANUAL PUBLISHED BY FDEP.
9. CONTRACTOR SHALL STAKE IN ALL SOD UNTIL SUCH TIME THAT GROUND IS STABILIZED IN ORDER TO PREVENT EROSION.
10. WORK SHALL BE DONE IN ACCORDANCE WITH EPA, FDEP, WMD, AND COUNTY BEST MANAGEMENT PRACTICES AND EROSION CONTROL SPECIFICATIONS.
11. THE CONTRACTOR MUST PERFORM ALL WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PLAN FOR THE PROJECT.
12. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION PROTECTION COSTS, INCLUDING ANY COST ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
13. NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE TO ANY ADJACENT WATERBODY OR STORMWATER COLLECTION FACILITY PER LOC.
14. ENTIRE SURFACE WATER IMPACT/WETLAND IMPACT AREA WILL BE DEWATERED AND ALL UNSUITABLE SUBSOILS SUCH AS MUCK, CLAY, AND/OR ROCK WILL BE EXCAVATED AND REMOVED BEFORE PLACING OF FILL.
15. ONLY SUITABLE MATERIALS AS APPROVED BY A PROFESSIONAL GEOTECHNICAL ENGINEER SHALL BE USED FOR THE WETLAND AND/OR SURFACE WATER FILL AND SHALL BE DONE IN LAYERS NOT EXCEEDING 12" IN THICKNESS AND COMPACTED TO A 95% MAX DENSITY PER AASHTO T-180.
16. THE CONTRACTOR SHALL EMPLOY DUST CONTROL MEASURES ACCORDING TO BEST MANAGEMENT PRACTICES, COUNTY SPECIFICATIONS, AND FDEP REGULATIONS.
17. THE CONTRACTOR SHALL REFER TO THE CONSTRUCTION DEWATERING OPERATIONS REPORT PREPARED BY GEOTECHNICAL ENGINEERS AND THE INCLUDED DEWATERING OPERATIONS PLAN (DWP-1) AND DEWATERING DETAILS & NOTES (DWP-2).
18. THE CONTRACTOR SHALL ENSURE ALL SOILS EXPOSED DURING SITE ALTERATION SHALL BE STABILIZED AND ENSURE RUNOFF AND SILTATION SHALL BE DIRECTED TO TEMPORARY SEDIMENT BASIN AND/OR SEDIMENT TRAPS IN SUCH A MANNER AS TO PREVENT OFF SITE IMPACTS PER COUNTY LOC.
19. CLEARING AND GRUBBING SHALL BE PERFORMED IN ACCORDANCE WITH COUNTY STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF FOOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE WITH ENVIRONMENTAL CONSULTANT TO ENSURE SUFFICIENT PROTECTION AND/OR MITIGATION IS IN PLACE FOR PROTECTED LANDS, FLORA, AND FAUNA.

NOTES PERMIT

IF NEEDED CONTRACTOR SHALL PREPARE AND SUBMIT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION THE "NOTICE OF INTENT" AND "NOTICE OF TERMINATION" FOR "STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES". PER FLORIDA ADMINISTRATIVE CODE 62-621.0004 IN ACCORDANCE WITH FDEP REQUIREMENTS, THE CONTRACTOR SHALL PREPARE AND SUBMIT WITH THE APPLICATION, AN APPROVED "STORMWATER POLLUTION PREVENTION PLAN" AND PERFORMANCE/ETP ALL INSPECTION AND RETAIN ALL INSPECTION REPORTS AND DOCUMENTATION ON FILE AS REQUIRED FOR FDEP REVIEW. ALL FEES SHALL BE PAID BY THE CONTRACTOR, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PENALTIES OR FINES FDEP MAY LEVY FOR FAILURE TO COMPLY WITH THE PERMITTING REQUIREMENTS.

DUST ABATEMENT NOTE

CONTRACTOR SHALL PROVIDE DUST CONTROL USING WATER TRUCKS FILLED WITH DEWATERED WATER AND USED AS NEEDED TO CONTROL DUST. THE WATERING TRUCK SHALL BE MAINTAINED ONSITE FOR IMMEDIATE DEPLOYMENT AT THE DISCRETION OF THE OPERATOR.

Key Map:



6/30/2024	SUBMIT TO CITY OF APOPKA
NO. DATE	REVISIONS
VERTICAL DATUM	SURVEYING REVISIONS
FOR NO.	NAVD 88
DESIGNED BY:	TV
DRAWN BY:	PTN
CHECKED BY:	FEW
APPROVED BY:	FEW
SCALE IN FEET:	1" = 2'

Project Name:
Crossroads at Kelly Park - Kelly Park Road Improvements

Jurisdiction:
CITY OF APOPKA, FL

Sheet Title:
EROSION CONTROL PLAN

Sheet No.:
C1.11

Scale:

DATE: May 17, 2024

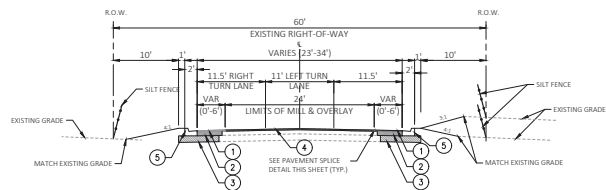
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POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.467.2254 www.poulosandbennett.com
Eng. Bus. No. 28567

Sunshine811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

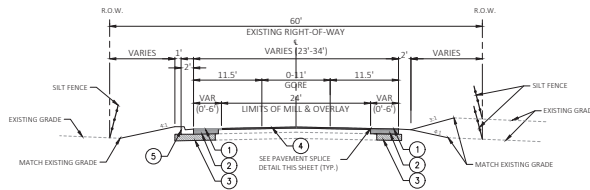
Z:\2021\21-027 DAWN - KELLY PARK PHASES 1 & 2\2106\KELLY PARK ROAD\210276-APR-2025



A Kelly Park Road Typical Turn Lanes Detail

STA 10+55.34 THRU 13+50.00

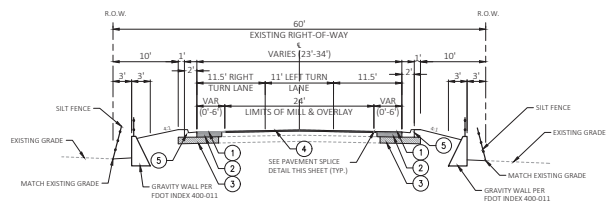
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E Kelly Park Road Typical Widening Transition Detail

STA 15+00.00 THRU 17+76.38

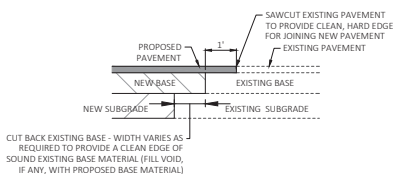
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B Kelly Park Road Typical Turn Lanes Detail

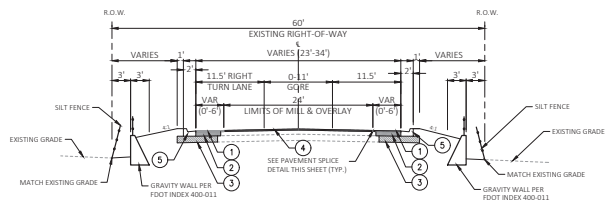
STA 13+50.00 THRU 13+55.34

N.T.S.



TYPICAL PAVEMENT SPICE DETAIL

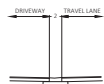
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C Kelly Park Road Typical Widening Transition Detail

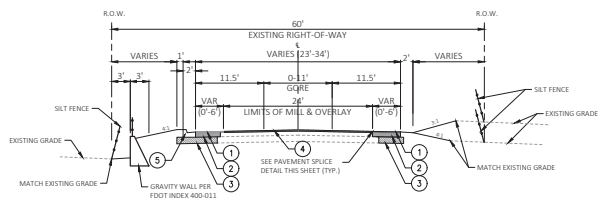
STA 13+95.34 THRU 14+45.68

N.T.S.



Typical Driveway W / Drop Curb Detail

N.T.S.



D Kelly Park Road Typical Widening Transition Detail

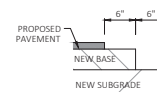
STA 14+45.68 THRU 15+00.00

N.T.S.

Pavement Legend	
Symbol Id.	Description
1	2.25" (IN.) TYPE SP-12.5 ASPHALT (TRAFFIC C) ADD 1.25" (IN.) TYPE FC-9.5 ASPHALT (SEE NOTE 1).
2	10" (IN.) LIMEROCK BASE COMPACTED TO A MIN. DENSITY OF 98% OF MODIFIED PROCTOR DRY DENSITY A MIN. LBR OF 100. THE LIMEROCK MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS.
3	12" (IN.) COMPACTED SUBGRADE TO 98% MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) VALUE. THE UPPER 6" (IN.) OF SUBGRADE SHALL BE STABILIZED TO A MIN. LBR OF 40 AS SPECIFIED BY FOOT AND FCB OF 50 PSI.
4	MILL EXISTING PAVEMENT 1.25" (IN.) & RESURFACE WITH 1.25" (IN.) FC-9.5 ASPHALT TYPE C (SEE NOTE 1). ALONG WITH SLOPE CORRECTION.
5	TYPE 'I' CONC. CURB

NOTES

1. ASPHALT MIX WILL REQUIRE A MAX DESIGN APPROVAL BY THE CITY OF APOPKA.
2. THE ABOVE PAVEMENT THICKNESS IS THE MINIMUM REQUIRED THICKNESS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT WHERE TESTING RESULTS DO NOT MEET THE MINIMUM REQUIRED THICKNESS.
3. SEE UNIVERSAL ENGINEERING SCIENCES REPORT NO. 19-090903 DATED JUNE 4, 2020 FOR PAVEMENT RECOMMENDATION.



TYPICAL EDGE OF PAVEMENT DETAIL

N.T.S.

Key Map:

(6/20/2024) SUBMIT TO CITY OF APOPKA

NO. DATE DESCRIPTION

SUBMISSIONS REVISIONS

VERTICAL DATUM NAVD 88

FOR NO. 21-027B

DESIGNED BY: TV

DRAWN BY: PTN

CHECKED BY: EEW

APPROVED BY: EEW

SCALE IN FEET: NTS

Project Name:

Crossroads at Kelly
Park - Kelly Park
Road Improvements

Jurisdiction:

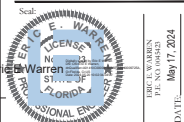
CITY OF APOPKA, FL

Sheet Title:

TYPICAL
ROAD SECTIONS
& DETAILS

Sheet No:

C3.00

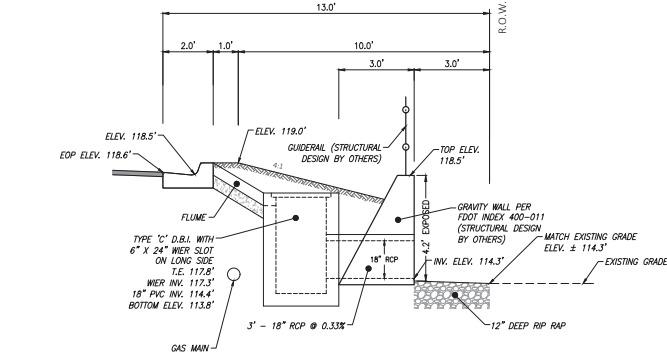


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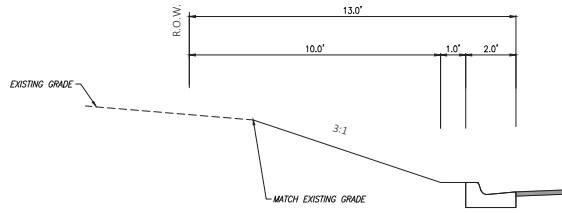
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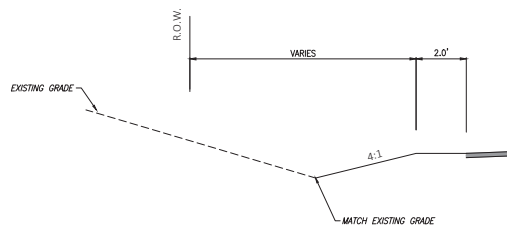
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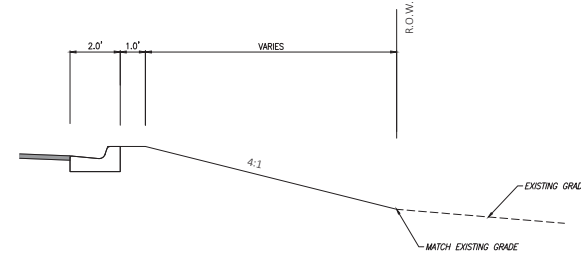
SECTION F-F



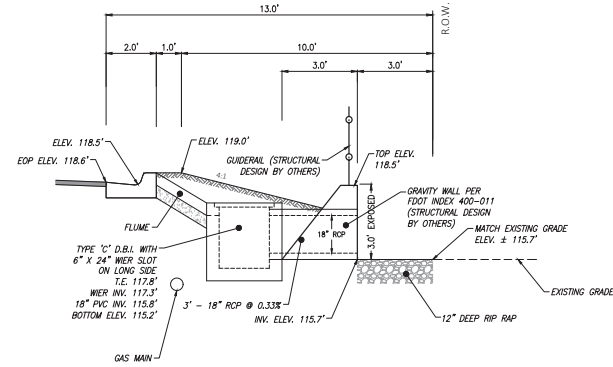
SECTION H-H



SECTION J-J



SECTION G-G



SECTION I-I

Key Map:



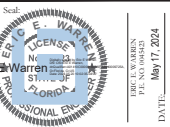
16/20/2024	SUBMIT TO CITY OF APOPKA
NO.	DATE
SUBMISSIONS	REVISIONS
VERTICAL DATUM	NAVD 88
FOR NO.	21-027B
DESIGNED BY:	TV
DRAWN BY:	PTN
CHECKED BY:	FEW
APPROVED BY:	FEW
SCALE IN FEET	NTS

Project Name:
**Crossroads at Kelly
Park - Kelly Park
Road Improvements**

Jurisdiction:
CITY OF APOPKA, FL

Sheet Title:
**TYPICAL
ROAD SECTIONS
& DETAILS**

Sheet No:
C3.01

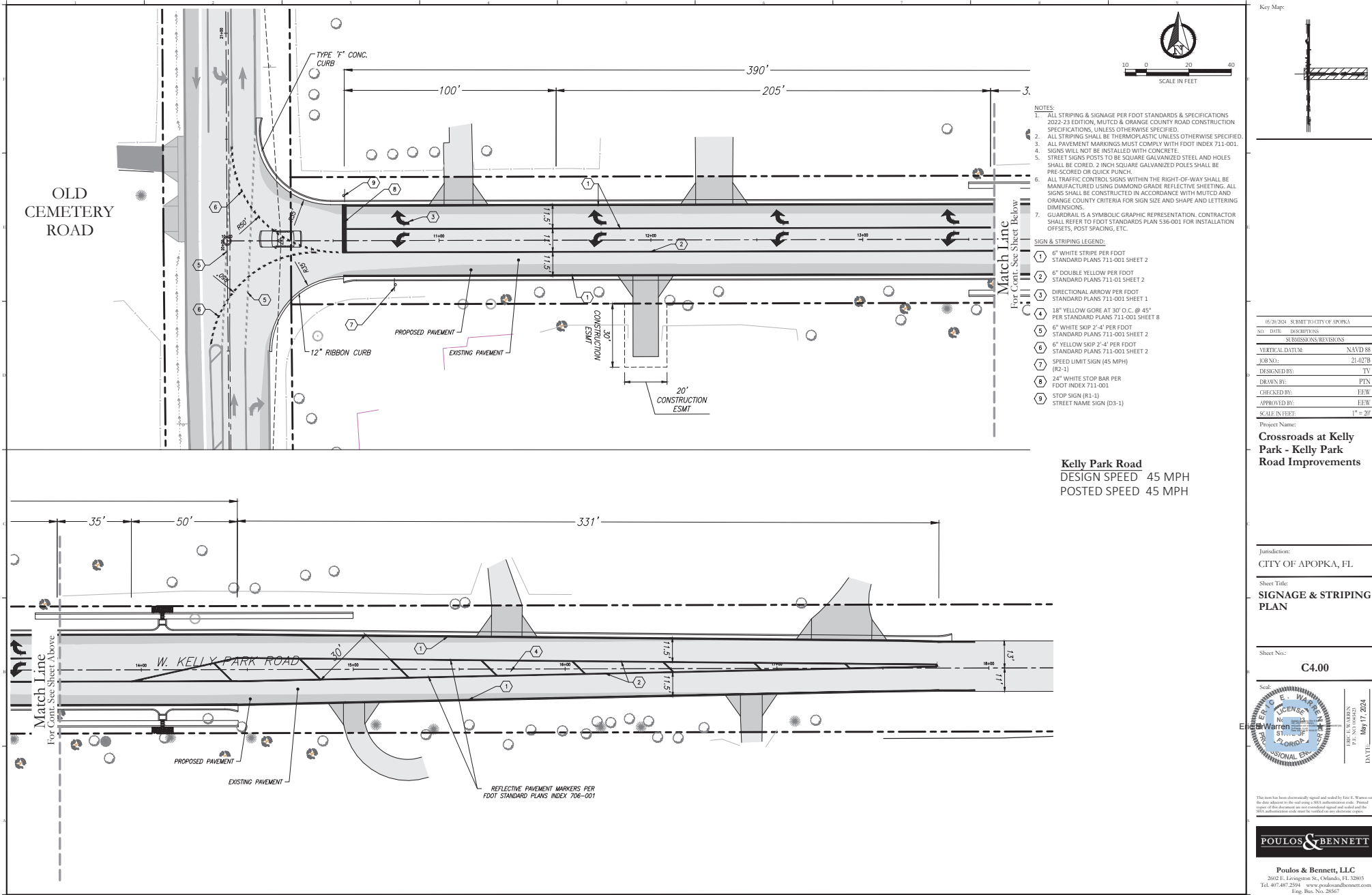


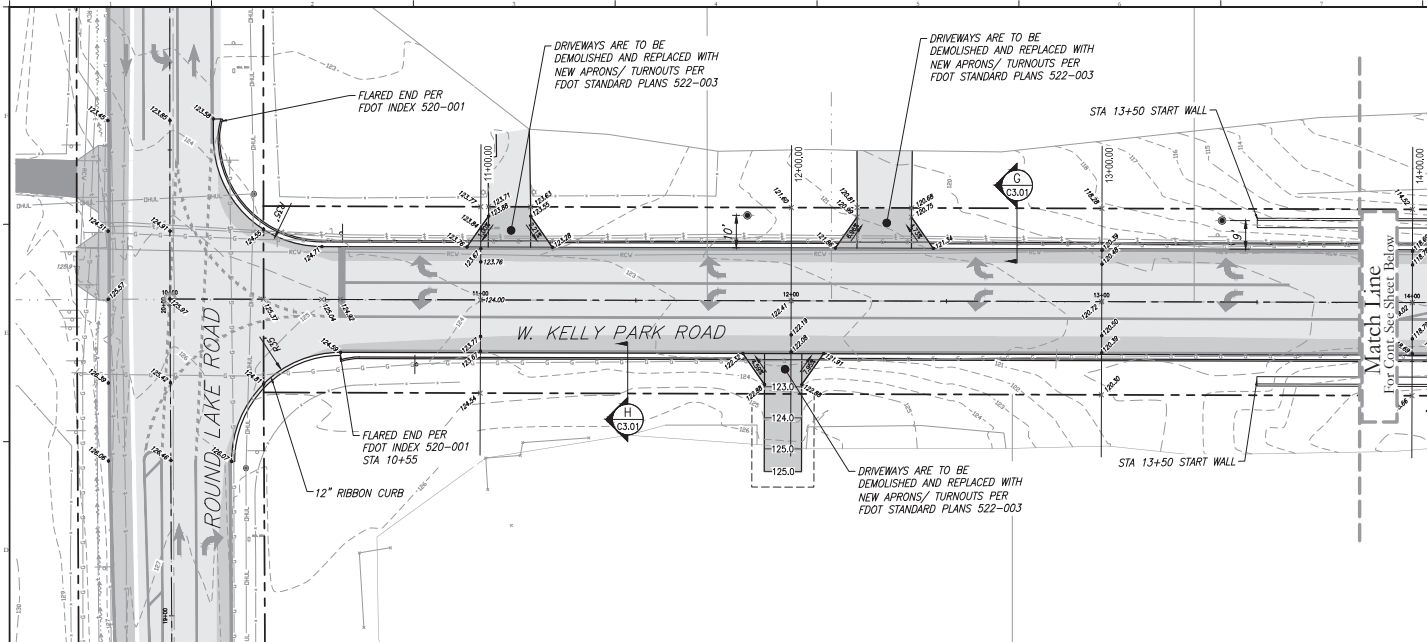
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21-0011-1-1-227 DAWN - KELLY PARK PHASE 1S (1-1-227) KELLY PARK ROAD (1-1-227) 498-538





MAINTENANCE OF TRAFFIC DURING CONSTRUCTION PLAN

CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS. WHERE A TRAFFIC MAINTENANCE PLAN IS REQUIRED, THE CONTRACTOR SHALL HAVE THE PLAN PREPARED BY AN FDOT CERTIFIED DESIGNER AND SUBMIT THE PLAN FOR APPROVAL.

GENERAL NOTES

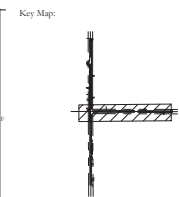
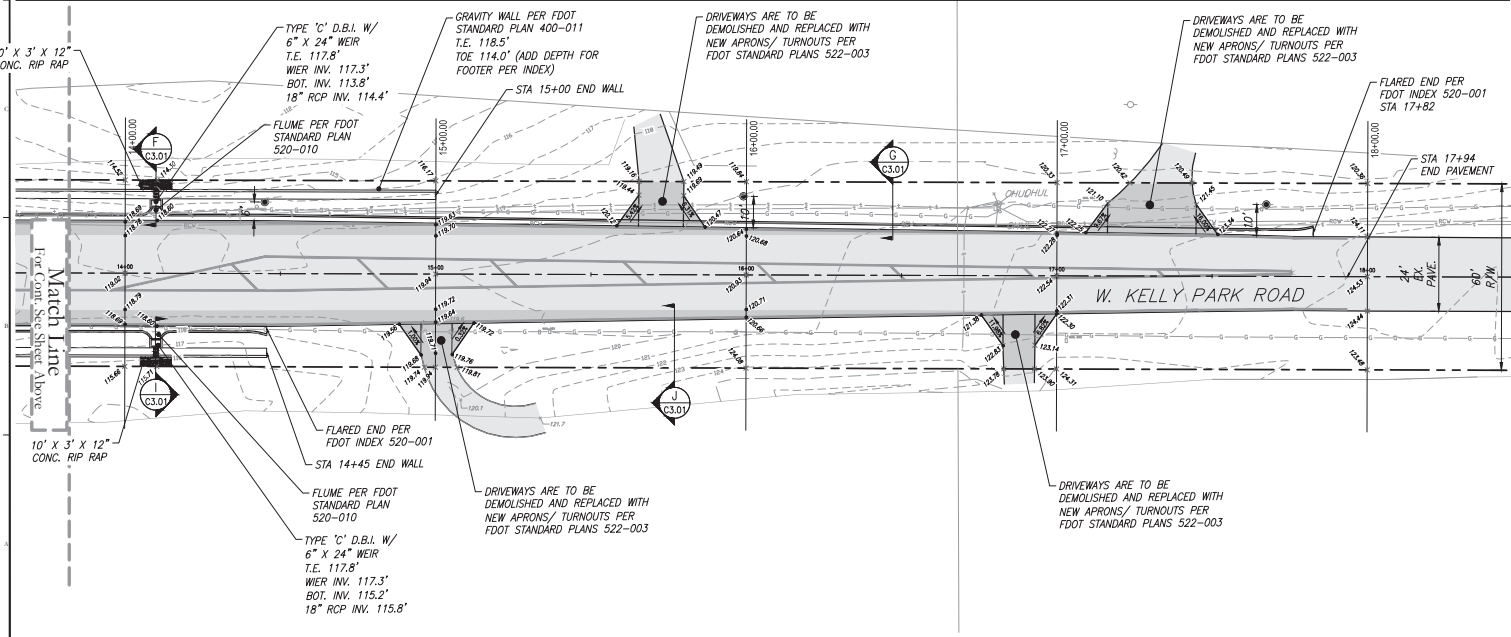
1. ALL DISTURBED AREAS SHALL BE SODDED.
2. ALL WORK SHALL BE PERFORMED WITH PROPER SHORING, BARRICADES, AND MAINTENANCE OF TRAFFIC SIGNAGE IN ACCORDANCE WITH MUTCD, OSHA LAWS AND REGULATIONS, AND FDOT HIGHWAY SAFETY PLAN.
3. AT THE END OF EACH DAY, THE RIGHT OF WAY (INCLUDING ALL TRAVEL LANES) SHALL BE RESTORED FOR SAFE VEHICULAR TRAFFIC. NO DROP-OFF CONDITIONS SHALL REMAIN. NO MATERIALS, EQUIPMENT, ETC. SHALL BE STORED WITHIN THE RIGHT OF WAY WHILE THE WORK ZONE IS INACTIVE.

OVERLAY WITH SLOPE CORRECTION NOTES

1. CONTRACTOR SHALL PROFILE ROAD PRIOR TO ANY MILLING OPERATIONS.
2. CONTRACTOR SHALL PROVIDE 1" OF MILLING AS NEEDED FOR SLOPE CORRECTION.
3. CONTRACTOR SHALL PROVIDE 1-1/2" OF RESURFACING WHERE NEEDED.
4. CONTRACTOR SHALL PROVIDE BUILDUP OR EDGE MILLING AS NECESSARY TO PROVIDE CONSISTENT 2% CROSS SLOPE.

Kelly Park Road
DESIGN SPEED 45 MPH
POSTED SPEED 45 MPH

Legend	
Symbol	Description
---	EXISTING ROW
-X-	EXISTING CHAINLINK FENCE
-E-	EXISTING ELECTRIC LINE
-OHL-	EXISTING OVERHEAD WIRE
-UP-	EXISTING UTILITY POLE
[MB]	EXISTING MAILBOX
[GA]	EXISTING GUY ANCHOR
[TR]	EXISTING TELEPHONE RISER
[WF]	EXISTING WOOD FENCE
[GL]	EXISTING GAS LINE
[WL]	EXISTING WATER LINE
[RWL]	EXISTING RECLAIM WATER LINE
[UUTL]	EXISTING UNDERGROUND TELEPHONE LINE
[SSS]	EXISTING SANITARY SEWER LINE
[FOC]	EXISTING FIBER OPTIC CABLE
[CTB]	EXISTING CABLE TV BOX
[FL]	EXISTING FLOOD LIGHT
[S]	EXISTING SIGN
[SM]	EXISTING SANITARY MANHOLE
[V]	EXISTING VALVE (AS NOTED)
[ET]	ELM TREE
[OT]	OAK TREE
[PT]	PINE TREE
[PAL]	PALM TREE
[UT]	UNIDENTIFIED TREE
[LSC]	LIMITS OF OVERLAY WITH SLOPE CORRECTION
[PS]	EXISTING PAVEMENT/SIDEWALK
[P]	PROPOSED PAVEMENT
[SG 104.00]	PROPOSED SPOT GRADE
[SG 103.00]	EXISTING SPOT GRADE



05/20/2024 SUBMIT TO CITY OF APOPKA

NO. DATE DESCRIPTION

21-027B SUBMITTALS/REVISIONS

VERTICAL DATUM NAVD 88

JOB NO. 21-027B

DESIGNED BY: TV

DRAWN BY: PTN

CHECKED BY: FEW

APPROVED BY: FEW

SCALE IN FEET: 1" = 20'

Project Name:

Crossroads at Kelly Park - Kelly Park Road Improvements

Jurisdiction:

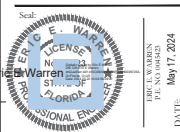
CITY OF APOPKA, FL

Sheet Title:

GRADING & UTILITY PLAN

Sheet No:

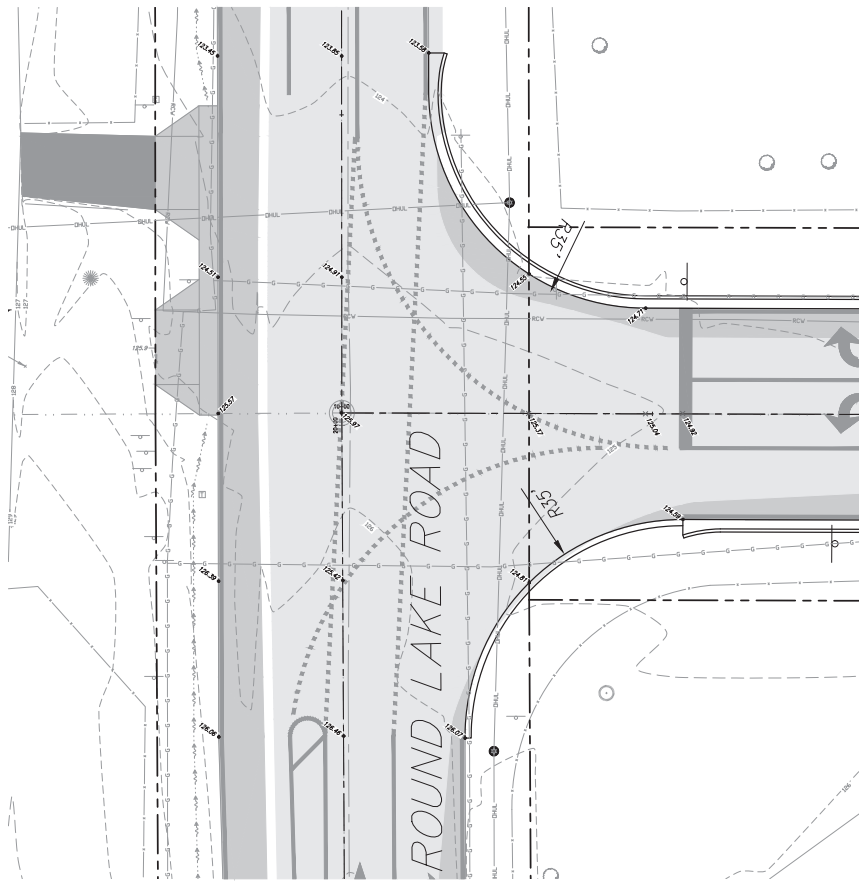
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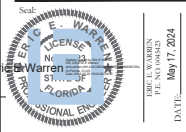


05/20/2024 SUBMIT TO CITY OF APOPKA	
NO.	DATE DESCRIPTIONS
SUBMISSIONS/REVISIONS	
VERTICAL DATUM	NAVD 88
JOB NO.:	21-027B
DESIGNED BY:	TV
DRAWN BY:	PTN
CHECKED BY:	EEW
APPROVED BY:	EEW
SCALE IN FEET:	1" = 10'

**Crossroads at Kelly
Park - Kelly Park
Road Improvements**

Jurisdiction:
CITY OF APOPKA, FL

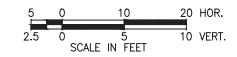
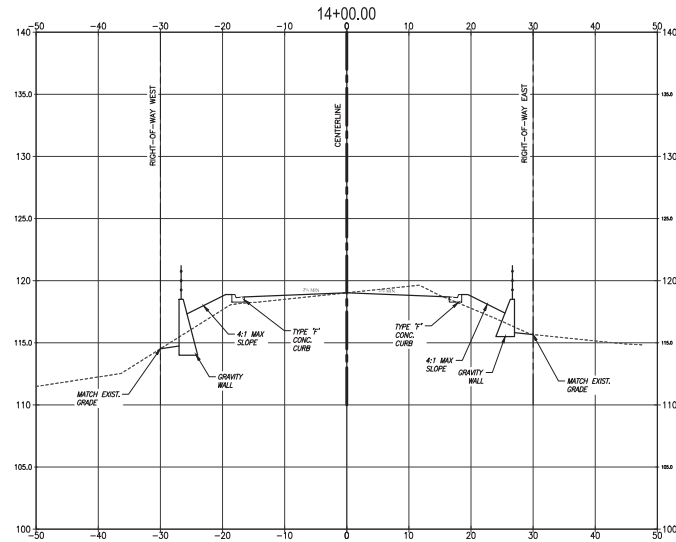
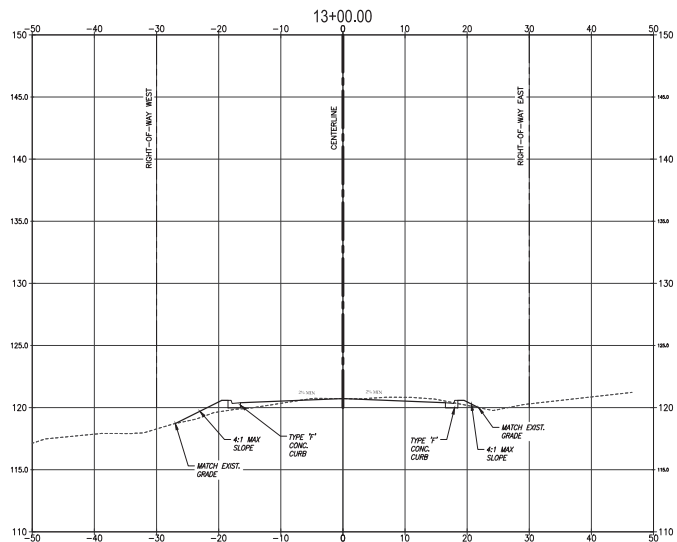
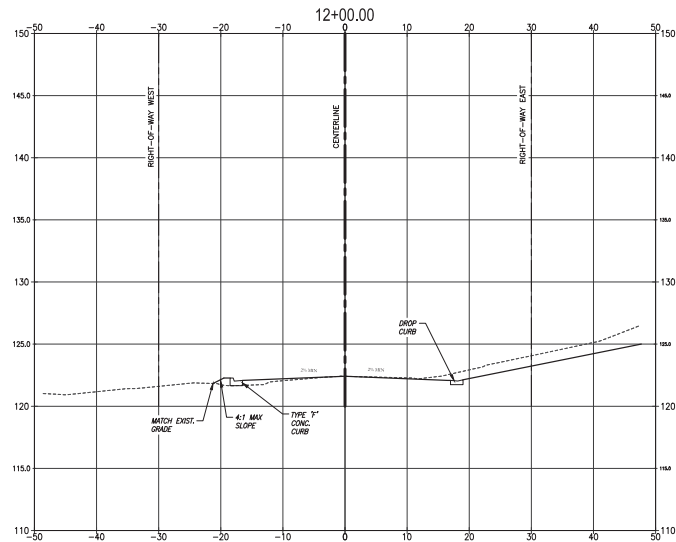
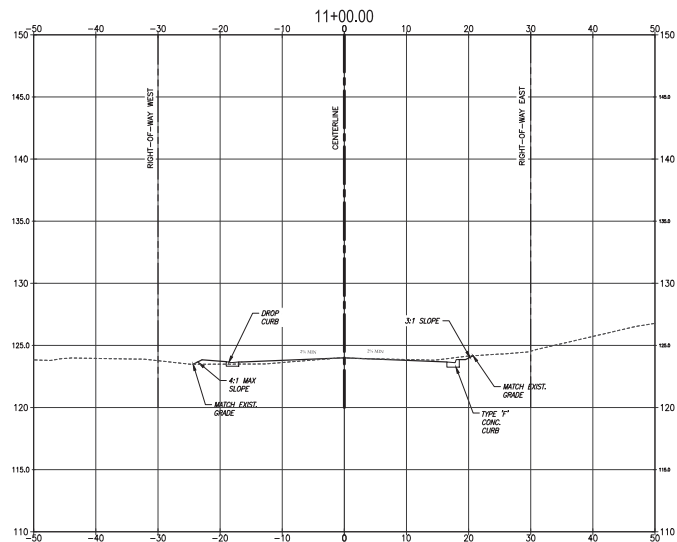
Sheet Title:
**INTERSECTION
GRADING PLAN**

Sheet No.: **C8.01**

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NO.	DATE	DESCRIPTIONS	
SUBMISSIONS/REVISIONS			
VERTICAL DATUM:		NAVD 88	
JOB NO.:		21-027B	
DESIGNED BY:		TV	
DRAWN BY:		PTN	
CHECKED BY:		EEW	
APPROVED BY:		EEW	
SCALE IN FEET:		1" = 10'	

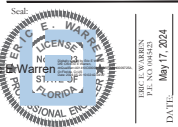
Crossroads at Kelly Park - Kelly Park Road Improvements

Jurisdiction:
CITY OF APOPKA, FL

Sheet Title:
**GRADING
SECTIONS &
DETAILS**

Sheet No.:

C8.10

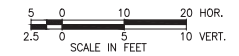
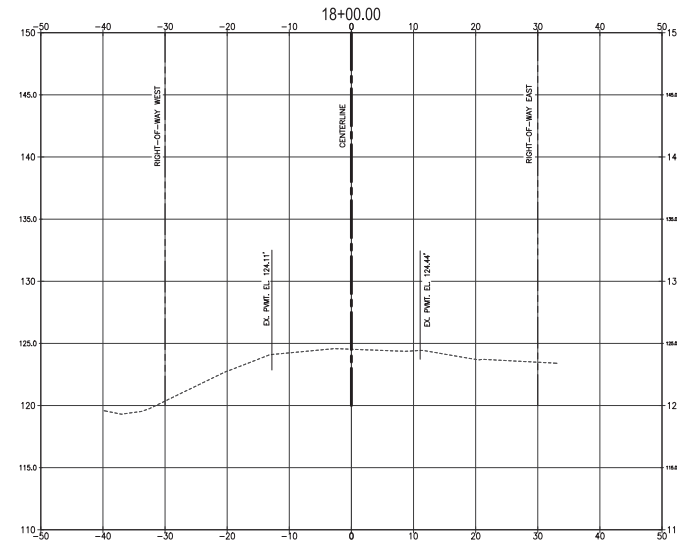
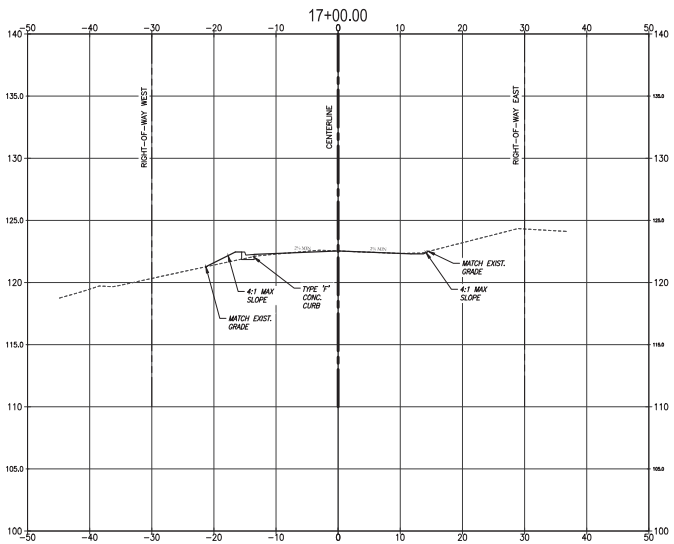
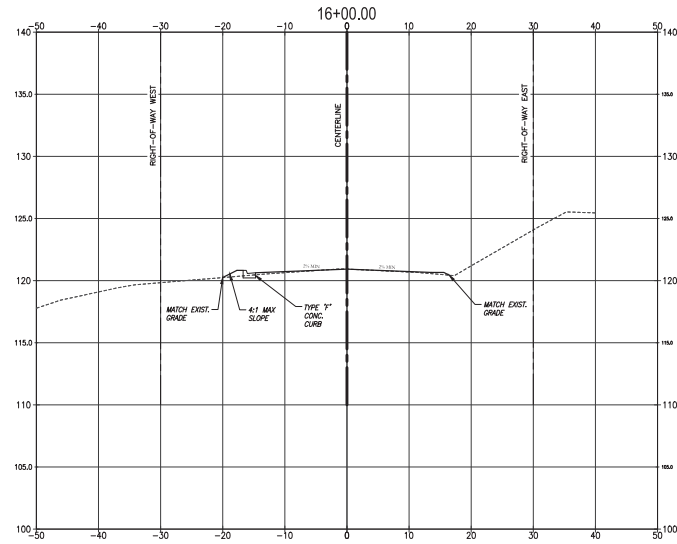
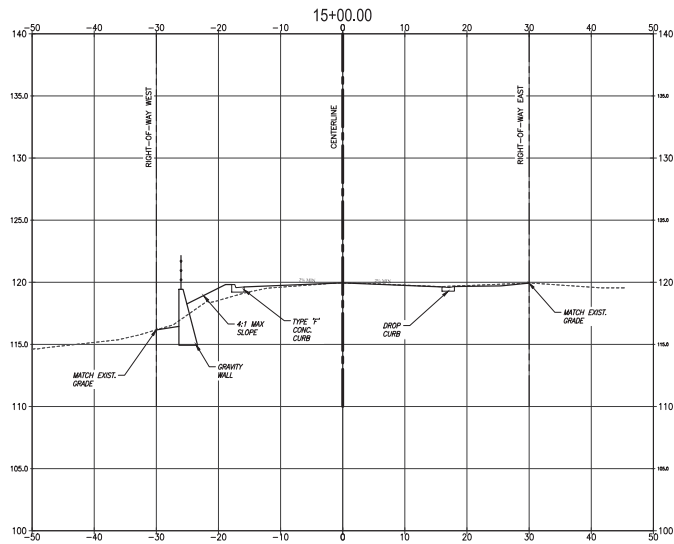


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Z:\2021\21-027 DAWN - KELLY PARK PHASES\1-1-2021\KELLY PARK ROAD\10278-RR-02



Key Map:



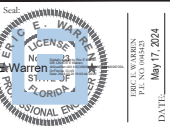
05/20/2024	SUBMIT TO CITY OF APOPKA
NO.	DATE
DESCRIPTION	REVISIONS
VERTICAL DATUM	NAVD 88
FOR NO.	21-027B
DESIGNED BY	TV
DRAWN BY	PTN
CHECKED BY	EEW
APPROVED BY	EEW
SCALE IN FEET	1" = 10'

Project Name:
**Crossroads at Kelly
Park - Kelly Park
Road Improvements**

Jurisdiction:
CITY OF APOPKA, FL

Sheet Title:
**GRADING
SECTIONS &
DETAILS**

Sheet No:
C8.11

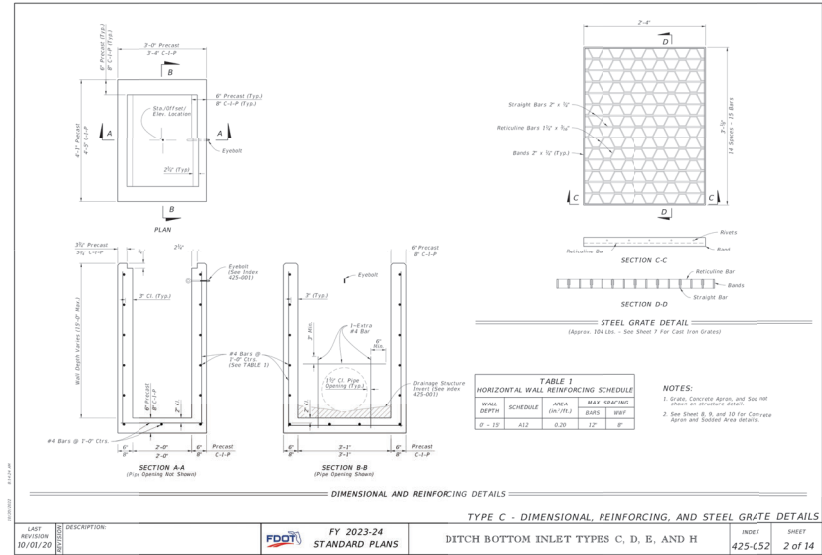
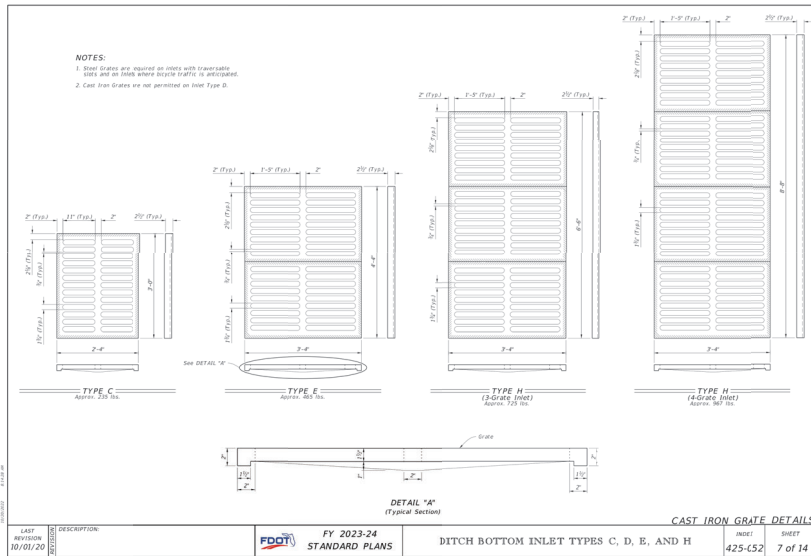
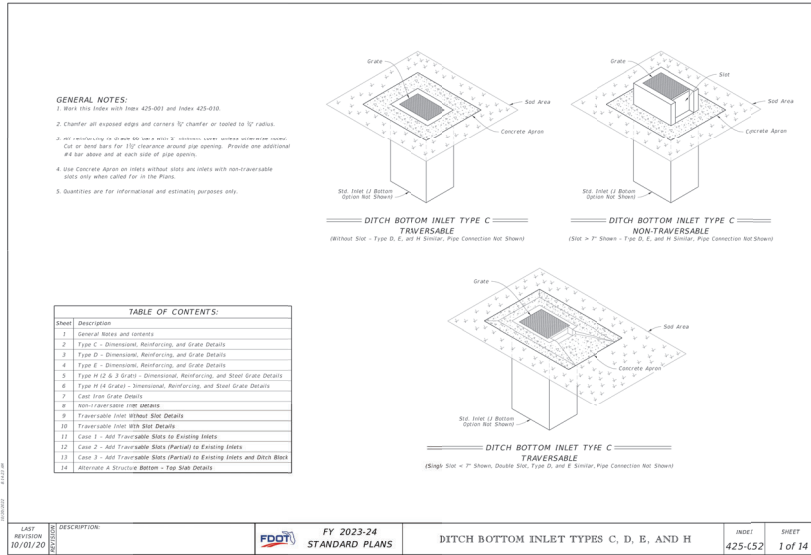


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Key Map:



6/20/2024 SUBMIT TO CITY OF APOPKA
NO. DATE: 21-0276
SUBMISSIONS REVISIONS
VERTICAL DATUM: NAVD 83
FORM NO.: 21-0276
DESIGNED BY: TV
DRAWN BY: PTN
CHECKED BY: EEW
APPROVED BY: EEW
SCALE IN FEET: N.T.S.
Project Name:

Crossroads at Kelly Park - Kelly Park Road Improvements

Jurisdiction:
CITY OF APOPKA, FL
Sheet Title:
FDOT DETAILS

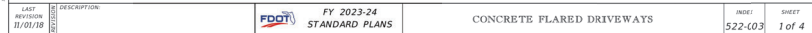
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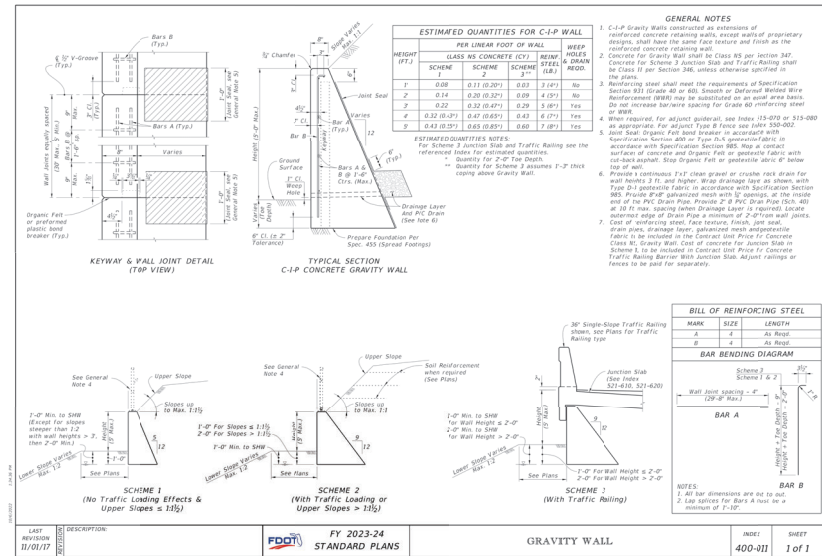
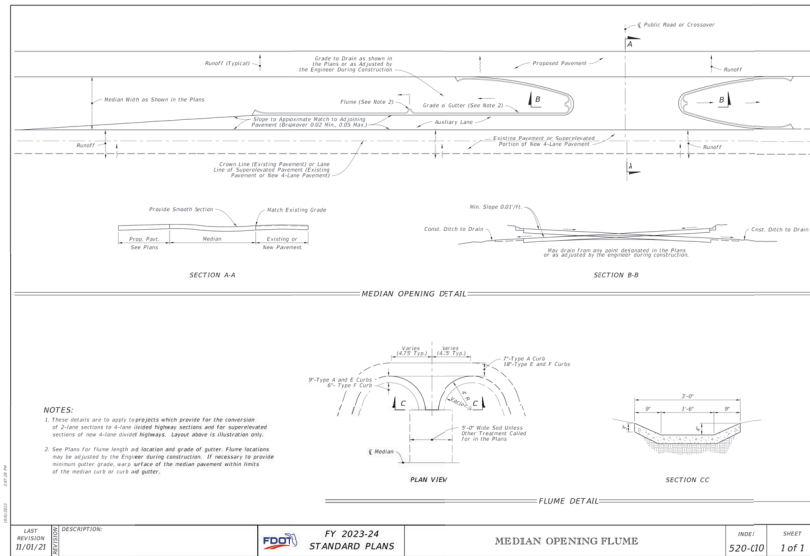
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Z:\2021\1-1-2027 DAWN - KELLY PARK PHASE 1\1-1-2027\KAP KELLY PARK ROAD\102796-RR-DETAILS



Key Map:



6/20/2024 SUBMIT TO CITY OF APOPKA
NO. DATE. DESCRIPTIONS
SUBMISSIONS REVISIONS
VERTICAL DATUM NAVD 88
JOB NO. 21-027B
DESIGNED BY: TV
DRAWN BY: PTN
CHECKED BY: FEW
APPROVED BY: FEW
SCALE IN FEET: N.T.S.
Project Name:
Crossroads at Kelly Park - Kelly Park Road Improvements

Jurisdiction:
CITY OF APOPKA, FL
Sheet Title:
FDOT DETAILS

Sheet No:
C9.02
Seal:
ENGINEER E. WARREN JR.
DATE: May 17, 2024
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