



APOPKA DEVELOPMENT REVIEW COMMITTEE AGENDA

August 21, 2024 9:00 AM

Apopka City Hall Council Chambers

SPECIAL EVENTS

1. Apopka/Altamonte Springs Veterans of Foreign Wars Post 10147 - A Tribute to Motown And Fankie Valli -Dinner and Show, VFW Post 10147/Apopka Community Center - 519 South Central Avenue, August 24, 2024, 5:00 PM-9:00 PM

FUTURE LAND USE AMENDMENT

1. FLU-24-15, Roseville - Future Land Use (FLU), 1st Submittal

REZONING

1. FLU-24-15, Roseville - Rezone (Rz), 1st Submittal

SITE PLAN:

CONSTRUCTION SITE PLAN

1. SP-24-54, Dunkin Donuts - Apopka - Construction Site Plan (CSP), 1st Submittal

DISCUSSION

ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.



DEC: 8/21

Apopka Community Center

Special Event Permit Application

A completed Special Event Permit application is required for all events with the City of Apopka. All events will be reviewed by our Development Review Committee for approval. The City of Apopka has the exclusive right to permit or deny an individual or organization facility use.

Once we have the complete special event application we will schedule for review and approval. Please note this may take time, as we suggest that all applications submitted at least 60 to 90 days prior to the event.

Incomplete applications will not be reviewed. After approval, an estimation of fees forms for your event based on the application and the approval is applicable.

Lexi Lahendro – Events Coordinator
events@apopka.net
407-703-1812

You must submit all required documents with your application.

Special Event Permit Application Checklist

Remember, we suggest that all applications submitted at least 60-90 days prior to the event.

Please review this checklist and make sure you have the items requested below available during this application process.

- Completed Special Event Permit Application
- Event Description
- A non-refundable application fee of \$50.00 or completed application for waiver of permit fee is due when application is submitted. *Staff will contact you about this step.*
- A certificate of general liability insurance listing the "City of Apopka" as 'Additional Insured' must be submitted. Copy of the declaration sheet and endorsement page must be included. Additional insurance may be required, please see the event insurance requirements.
- A site plan (Map) or Parade/Race Route **MUST** be submitted with your application. Map must identify location of staging, tents, parking, barricades, vendors, and restrooms and must be to scale.
- Letter from the property owner granting permission for use of their property. (if on private property)
- If alcohol will be served at your event you must include the alcohol permit and insurance with the completed permit
- Copies of flyers and advertisements.
- Policies and protocols in regards to CDC Guidelines/COVID-19 & social distancing
- All renters and vendors must have a listing with the Florida Department of State Division of Corporations. Visit www.sunbiz.org for more information about the process of registering a business.
- All businesses must also must submit a copy of your Business Tax Receipt for the municipality/county that your business/organization is registered in.

Applicant must be present for duration of event.

Organization Name

Apopka / Altamonte Springs Veterans of Foreign Wars Post 10147

Name of Applicant	Commander Dwight Anderson
Mailing Address	519 S Central Ave
City	Apopka
State	FL-USA
Zip Code	32712
Cell Phone	689-309-3467
Email	vfwpost10147.events@gmail.com
Is your organization a Non – Profit (501C3) OR Tax Exempt Organization?	Yes
State of Florida Tax ID Number	85-8013834909C-1

A copy of your 501C3 non-profit certificate is required for non-profit status. Otherwise taxes will be charged.

Please attach a copy of your 501C3 non-profit certificate

 Post 10147 501C 19 Letters good for five years.pdf

Please attach a copy of your Business Tax Receipt for the municipality/county that your business/organization is registered in.

 City Of Apopka Business License.pdf

Name of the Event	A Tribute to Motown & Frankie Valli - Dinner & Show
Date(s) of the Event	24 August 2024
Hours of the Event	1700-2100
Location of the Event	VFW Post 10147 / Apopka Community Center
Does the location of the event take place on Public or Private Property?	Yes
Anticipated attendance:	275
Briefly describe the event and all activities that will occur during the event:	Dinner, Live Music and Dancing
Event Category	• Other
Please specify	Fund Raising Event
Are there flyers or advertisements for this event?	Yes
Attach Flyer or Advertisement 1	 Motown - Frankie Valli 082424 - V2.pdf

Will there be admission fees to your event?	Yes
Will you be serving alcohol?	Yes
Copy of your liquor license & insurance	 2023-2024 Liquor License.pdf
	 United States Liability Insurance Group Liquor Liability Policy 2024-2025.pdf

If yes for serving alcohol, a copy of your liquor license & insurance is required.

City Council approval is also required.

Is your event open to the public?	Yes
Does your event include food concession?	No
Do you intend to have food trucks at your event?	No
Will there be merchandising vending at your event?	No
Will they need electric?	No
Will you be hiring a private security company for the event?	No
Do you require overnight security?	No
Are there musical entertainment features related to your event?	Yes

Please attach a list of all stage performance schedules.

Please attach a list of all stage performance schedules.

Welcome to VFW Post 10147

A VFW Post Mission and Family Hall - Donate and Serve | Aug 22 - 6:00 PM - 9:00 PM VFW Post 10147
Harris Community Center 519 S Central Ave Appleton WI 53213 USA

Schedule

Details

Event: All Posters

Sat, Aug 24

5:00 PM - 6:00 PM

Open Door

6:00 PM - 7:00 PM

Dinner

7:00 PM - 9:00 PM

Music and Dining

Will amplified sound be used during the event?	Yes
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Will any streets be closed or will the flow of traffic be affected by the event?

No

Does your event include the use of tents?

No

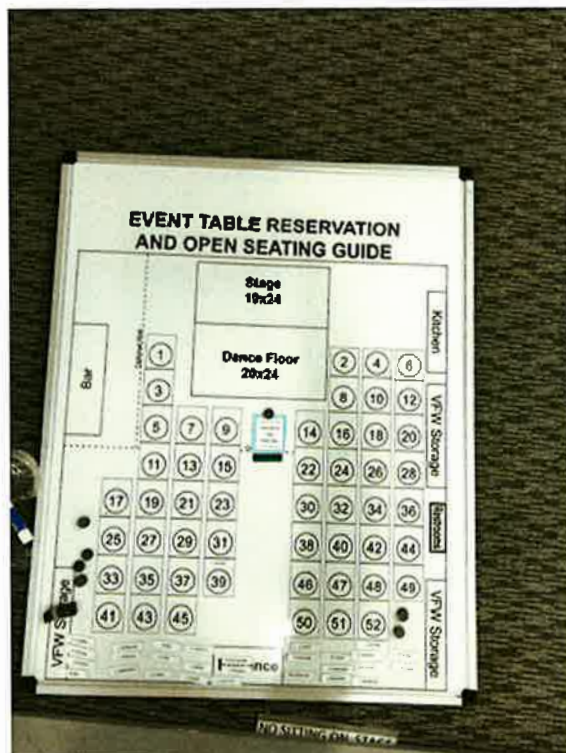
Will inflatables be used at your event?

No

Will your event include any fireworks or pyrotechnics?

No

Layout map for event



Date/Time (on site load in and load out)

For events that are held on City Property, set up days and load out days may require additional fees.

Setup/Load In

Date 08/24/2024

Start Time 2:00 PM (EDT)

End Time 4:15 PM (EDT)

Event Dates

Date 08/24/2024

Start Time 5:00 PM (EDT)

End Time 9:00 PM (EDT)

Take Down/Load Out

Date 08/24/2024

Start Time 9:00 PM (EDT)

End Time 10:30 PM (EDT)

I, Being the Applicant/Event Organizer, have read and understand the guidelines contained within the City of Apopka's Special Event Permit Application and agree to conduct my event in accordance. I further understand that failure to abide by these guidelines may result in the denial or forfeiture of my Special Event Permit.

The City of Apopka is not responsible for lost, stolen or damaged items.

I acknowledge that the information contained in this application is true, correct, and complete to the best of my knowledge.

Applicant Signature



Name of Applicant Dwight Anderson

Title of Applicant Commander - VFW Post 10147

Date Submitted 08/02/2024

The Applicant/Event Organizer shall maintain at all times throughout the duration of the event, a current insurance policy naming the City of Apopka as an additional insured providing coverage for all approved event activities and must be active on the date(s) of the event, including the set-up and break-down period. Failure to provide proof of adequate coverage will result in the denial of the special event permit or cancellation of the event. The City may require subcontractors acting on behalf of the Applicant/Event Organizer to provide proof of insurance or other related documents depending on the scope or location of the event.

- Comprehensive listing of all subcontractors, including but not limited to concessionaires, vendors, exhibitors, and entertainers must be submitted no later than forty-five (45) business days prior to the event.
- All certificates of insurance, required extensions to said insurance certificates, copies of insurance policies and insurance agreements must be submitted no later than thirty (30) business days prior to the event.

If insurance requirements are not met at least twenty (20) business days prior to the date of the event, your event will be cancelled!

Please provide a copy of your
certificate of insurance.



Certificate of Insurance 2024-2025.pdf

The City of Apopka defines an Applicant/Event Organizer as any individual or organization that is responsible for all aspects of an event to include advertising, marketing, talent costs, insurance, hold harmless agreement contracts, along with all the revenues and expenses for the event. The Applicant/Event Organizer agrees to conduct this event in accordance with the City of Apopka Code of Ordinances (Chapters 46 and 62).

REQUIREMENTS

- Applicant/Event Organizer recognizes the City's authority to halt the operation of the above listed event due to inclement weather or any other safety concern that may arise.
- The City is not responsible or liable for any damage, loss or theft to any vendor or event participant.
- Applicant/Event Organizer agrees that the City may use photographic images and video taken at the event in promotions and publications. These images may be used online or provided to media outlets and/or used in social media applications.

INSURANCE

Before activity setup, or any other site activity begins, Applicant/Event Organizer must have a Certificate of Liability Insurance **(including all extensions to the insurance certificate—to also include a copy of the complete insurance policy)** on file with the City's Risk Management Division. The cost of such insurance shall be the responsibility of the Applicant/Event Organizer and must meet ALL requirements as directed by the City of Apopka. The City reserves the right to increase coverage as determined for higher risk events or activities. This insurance policy must remain in effect throughout the entire duration of the property use beginning with load-in and ending at the conclusion of load-out.

- Applicant/Event Organizer shall, at its sole cost and expense, procure and maintain throughout the term of this agreement, Commercial General Liability and Workers' Compensation insurance, including Employer Liability insurance, with minimum policy limits of \$1,000,000 Combined Single Limits, or to the extent and in such amounts as required and authorized by Florida Law. If such GL insurance contains a general aggregate limit, it shall apply separately to this event in the amount of \$2,000,000. Products and completed operations aggregate shall be \$1,000,000. Damage to rented premises shall be included at \$100,000. The event Applicant/Event Organizer and their representatives who wish to drive on City property to set up or tear down for events, and/or Food Trucks and/or any vehicle that functions as the workplace or is used to perform contracted work must provide an Automobile Liability insurance policy in the minimum amount of \$300,000 Combined Single Limit. If alcohol is being served, the Applicant/Event Organizer shall provide evidence of coverage for liquor liability in the minimum amount of \$1,000,000. The insurance policy must not exclude Personal Injury/Advertising Injury, Medical, volunteer coverage or spectator liability.
- All insurance policies shall: 1) provide that the insurance carrier shall not cancel, terminate or otherwise modify the terms and conditions of said policies except upon thirty days written notice to the City's contract administrator; 2) be evidenced by an endorsed Certificate of Insurance generated and executed by a licensed insurance broker, brokerage, or similar licensed insurance professional evidencing such coverage, and naming the City of Apopka as a named additional insured, as well as furnishing the City with a certified copy, or copies, of said insurance policies; and 3) be approved as to form and sufficiency by the City's contract administrator. The original insurance certificate(s) and all extensions to the insurance certificate(s) should be sent to: City of Apopka, Risk Management, 120 East Main Street, Apopka, FL 32703 or e-mailed to riskmanagement@apopka.net. All insurance coverage shall be written with a company having an A.M. Best Rating of at least the "A" category and size category of VIII.
- Applicant/Event Organizer is solely responsible for all applicable policy premiums, deductibles, and/or self-insured retention attached to any required coverages. Said insurance coverages procured by the Applicant/Event Organizer as required herein, including but not limited to any excess and/or umbrella coverages, shall be considered, and the Applicant/Event Organizer agrees that said insurance coverages it procures as required herein shall be considered, as primary insurance over and above any other insurance, or self-insurance, available to the City, and that any other insurance, or self-insurance available to the City shall be considered secondary to, or in excess of, the insurance coverage(s) procured by the Applicant/Event Organizer as required herein.

- Applicant/Event Organizer shall require and verify that all subcontractors, including but not limited to concessionaires, vendors, exhibitors, and entertainers, maintain insurance meeting all of the requirements stated herein. Furthermore, the insurance policy held by the Applicant/Event Organizer shall have no endorsement(s) restricting, limiting or excluding the subcontractors or work on behalf of the Applicant/Event Organizer by a subcontractor. The Certificate of Insurance submitted by the Applicant/Event Organizer must clearly state that all such subcontractors are "Named Insureds".

Nothing herein shall be construed to extend the City of Apopka's liability beyond that provided in section 768.28, Florida Statutes.

By signing below, I acknowledge that I have read and understand the insurance requirements contained herein. I further understand that my permit application may be declined if I fail to provide the appropriate insurance coverage.

Signature of Applicant



Name of Applicant

Dwight Anderson

Title of Applicant

Commander - VFW Post 10147

Sponsoring Organization Name

Apopka / Altamonte Springs Veterans of Foreign Wars Post 10147



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

2601 BLAIR STONE ROAD
TALLAHASSEE FL 32399-0783

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. Here you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



**STATE OF FLORIDA DEPARTMENT
OF BUSINESS AND PROFESSIONAL
REGULATION**

BEV5813268

ISSUED: 08/19/2023

RETAILER OF ALCOHOLIC BEVERAGES

APOPKA/ALTAMONTE SPRINGS VFW OF THE OF THE US

VFW POST 10147

CONSUMPTION ON PREMISES ONLY

Signature

LICENSED UNDER CHAPTER 561, FLORIDA STATUTES

EXPIRATION DATE: SEPTEMBER 30, 2024

Ron DeSantis, Governor

Melanie S. Griffin, Secretary

**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
DIV OF ALCOHOLIC BEVERAGES & TOBACCO**

LICENSE NUMBER: BEV5813268

EXPIRATION DATE: SEPTEMBER 30, 2024

THE RETAILER OF ALCOHOLIC BEVERAGES HEREIN IS LICENSED UNDER THE
PROVISIONS OF CHAPTER 561, FLORIDA STATUTES

SERIES: 11C

CONSUMPTION ON PREMISES ONLY

APOPKA/ALTAMONTE SPRINGS VFW OF THE OF THE US POST 10147 INC
VFW POST 10147
519 S CENTRAL AVE
APOPKA FL 32703



ISSUED: 08/19/2023

Always verify licenses online at MyFloridaLicense.com

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

CITY OF APOPKA - ORGANIZATION/ASSOCIATION

CITY OF APOPKA
120 E MAIN ST
APOPKA, FL 32703
407-703-1712

License Id: 24-03561 **Issued Date:** 10/12/23
Effective Date: 10/01/23 **Expiration Date:** 09/30/24
License Type: ORGANIZATION/ASSOCIATION
N01000000883



Business Name: APOPKA/ALTAMONTE SPRINGS VETER
Business Location: 519 S CENTRAL AVE

Conditions:

VETERAND ORGANAZATION
EXEMPT ORG

Description

EXEMPT LICENSE
NEW BUSINESS LICENSE FEE

****Please note that this is verification that you have paid your City of Apopka business tax. This does not give you permission to operate your business.****

NON-TRANSFERABLE

TO BE PLACED IN A CONSPICUOUS PLACE

License Id: 24-03561 **Issued Date:** 10/12/23
Effective Date: 10/01/23 **Expiration Date:** 09/30/24
License Type: ORGANIZATION/ASSOCIATION

Business Name: APOPKA/ALTAMONTE SPRINGS VETER
Business Location: 519 S CENTRAL AVE

APOPKA/ALTAMONTE SPRINGS VETER
DWIGHT ANDERSON
519 S CENTRAL AVENUE
APOPKA, FL 32703

FILE COPY

Summary of Services

Description

EXEMPT LICENSE
NEW BUSINESS LICENSE FEE

June 24, 2024

To Whom It May Concern:

This will certify the Apopka/Altamonte Springs Post, VFW Post 10147 located at 519 So. Central Avenue, Apopka, FL 32703, with a date of muster being April 2, 1988 chartered and a constituted body of the Veterans of Foreign Wars of the United States, a corporation chartered by Congress in 1936 for fraternal, patriotic, historical and educational purposes, and that the programs, purposes and activities of VFW Post 10147 are consistent with the exemption provisions under Section 501c (19) of the Internal Revenue Service Code.

***This Letter is good for five years to the date above.**

Sincerely,



Eugene "Gene" Perrino Sr.
State Quartermaster

EP:rb

VFW DEPARTMENT OF FLORIDA

543 N.E. Sanchez Ave.
Ocala, FL 34470

Office 352.622.5126
Fax 352.622.3869

statecg@vfwfl.org
<http://vfwfl.org>

Welcome to VFW Post 10147

A Tribute to Motown and Frankie Valli - Dinner and Show | Aug 24, 5:00 PM – 9:00 PM VFW Post 10147 / Apopka Community Center, 519 S Central Ave, Apopka, FL 32703, USA

Schedule

[Go Back](#)

Filter By: All Places 

Sat, Aug 24

5:00 PM - 6:00 PM
1 hour

Doors Open

6:00 PM - 7:00 PM
1 hour

Dinner

7:00 PM - 9:00 PM
2 hours

Music and Dancing

VFW POST 10147 PRESENTS

A TRIBUTE TO MOTOWN AND FRANKIE VALLI

Dinner & Show

Saturday - 24 August 2024

FEATURING THE WILLIECMUSIC TRIBUTE BAND



\$40 ONLINE AT

VFWPOST10147.ORG/EVENTS

NO TICKETS AT THE DOOR

DOORS OPEN AT 5 PM,

DINNER AT 6 PM,

SHOW AT 7 PM.



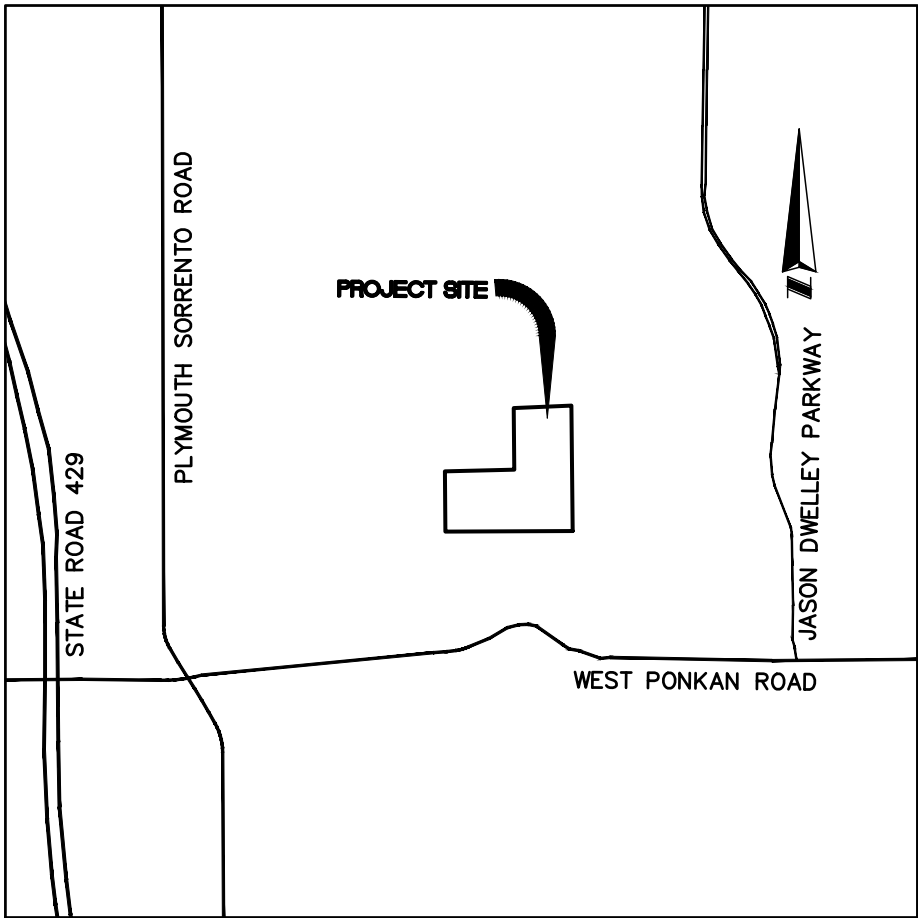
**VFW POST 10147
519 S CENTRAL AVE
APOPKA, FL 32704**

LEGAL DESCRIPTION- PER TITLE COMMITMENT NUMBER 110344024-:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

SOUTH 1/2 OF NW 1/4 OF SE 1/4 AND E 601.6 FEET OF NORTH 1/2 OF NW 1/4 OF THE SE 1/4 OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST; AND TOGETHER WITH AN EASEMENT OVER THE WEST 12 FEET OF THE SW 1/4 OF SE 1/4, SECTION 19, TOWNSHIP 29 SOUTH, RANGE 28 EAST, NORTH OF PUBLIC ROAD FOR PURPOSES OF INGRESS AND EGRESS, ALL IN ORANGE COUNTY, FLORIDA.

VICINITY MAP: NOT TO SCALE



LEGEND OF SYMBOLS AND ABBREVIATIONS:

	IRRIGATION VALVE	A/C	AIR CONDITION
	WELL	ASPH.	ASPHALT
	CATCH BASIN	ABS	AMORPHOUS POLYMER
	STORM DRAINAGE MANHOLE	BLDG	BUILDING
	WATER MARKER	C/B	CONCRETE BLOCK
	WATER RISER	CLF	CHAIN LINK FENCE
	WATER VALVE	CONC.	CONCRETE
	WOODEN LIGHT POLE	CM	CONCRETE MONUMENT
	WOODEN POWER POLE	C.O.	CLEAN OUT
	GATE	ID	IDENTIFICATION
	GUY WIRE	IRC	IRON ROD WITH CAP
	ELECTRICAL METER	PB	PLAT BOOK
	ELECTRICAL PANEL	PG(S)	PAGE(S)
	TRANSFORMER	LB	LICENSED BUSINESS
	ELECTRICAL VAULT	LS	LICENSED SURVEYOR
	ELECTRICAL BOX	ORB	OFFICIAL RECORDS BOOK
	TELECOMMUNICATION RISER	PID	PROPERTY IDENTIFICATION NUMBER
	PROPANE GAS VALVE	PSM	PROFESSIONAL SURVEYOR AND MAPPER
	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
	AIR CONDITION	R/W	RIGHT OF WAY
	SCHEDULE B-2 ITEM	SPHD	SPRINKLER HEAD
	TELECOMMUNICATION VAULT	SO	STUB-OUT
	ELECTRICAL CABINET	TYP.	TYPICAL
		W/	WITH

	FENCE LINE AS NOTED
	EASEMENT
	TOP OF BANK
	OVERHEAD UTILITY LINE
	RIGHT OF WAY LINE

SCHEDULE B-II EXCEPTIONS PER TITLE COMMITMENT NUMBER 110344024:

9. EASEMENT RECORDED AUGUST 7, 1958 IN BOOK 409, PAGE 535. -BENEFITS SUBJECT PROPERTY AND IS SHOWN HEREON
10. EASEMENT RECORDED AUGUST 7, 1958 IN BOOK 409, PAGE 537. -BENEFITS SUBJECT PROPERTY AND IS SHOWN HEREON
- (SHEET 2 DETAIL 'A')
11. DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED OCTOBER 25, 1982 IN BOOK 3320, PAGE 1061.
- DOES NOT AFFECT SUBJECT PROPERTY
12. DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED OCTOBER 27, 1989 IN BOOK 4127, PAGE 573.
- AFFECTS SUBJECT PROPERTY AND IS SHOWN HEREON

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM EAST ZONE NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT AND DERIVING A BEARING BASED ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 19-20-28 AS BEING NORTH 87°30'01" EAST.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER 110344024, COMMITMENT DATE MAY 27, 2024.
- THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.
- THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.
- THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
- ADJOINING PARCEL OWNER AND RECORDING INFORMATION DELINEATED HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER'S PUBLIC WEBSITE.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER OR AN ELECTRONIC SIGNATURE THAT IS IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 5J-17.062.
- UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR VISIBLE, UNOBSTRUCTED, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNLESS NOTED OTHERWISE UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
- UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND THE PROFESSIONAL PURVIEW OF THE SURVEYOR AND SUBJECT TO LEGAL INTERPRETATION.
- SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X. AREA DETERMINED TO BE OUTSIDE THE 1% CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0110H, MAP REVISED 09/24/2021. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING. THE LIMITS OF SAID ZONES ARE GRAPHICALLY DEPICTED HEREON AS NEAR AS MAY BE SCALED FROM SAID MAP.
- THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON. (SUBURBAN) 1 FOOT IN 7,500 FEET; (RURAL) 1 FOOT IN 5,000 FEET.
- WE HEREBY CERTIFY THAT THE LANDS SHOWN HEREON AND THE ADJACENT PARCELS OF LAND, WHERE THEY SHARE A COMMON BOUNDARY LINE, ARE CONTIGUOUS WITH NO GAPS, GORES, HIATUS, OR OVERLAPS.
- SUBJECT PROPERTY CONTAINS 1,238,784 SQUARE FEET OR 28.44 ACRES MORE OR LESS.

CERTIFIED TO:

-FIRST AMERICAN TITLE INSURANCE COMPANY
-M/I HOMES ORLANDO, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 13, 18 TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2024.

DATE OF PLAT OR MAP: JULY 3, 2024

JAMES L. RICKMAN, PSM #5633



www.allen-company.com

16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355 LB#6723

FOR:

FOR THE LICENSED BUSINESS #6723 BY:

JAMES L. RICKMAN, P.S.M. #5633

REVISIONS
DATE

JOB #:	20240470
DATE:	JULY 3, 2024
SCALE:	1" = 50'
CALC BY:	BH
FIELD BY:	DB
DRAWN BY:	JJ
CHECKED BY:	BH

SHEET 1 OF 3

TRACT N
(OPEN SPACE)

WOLF LAKE RANCH
PB 114, PG 148

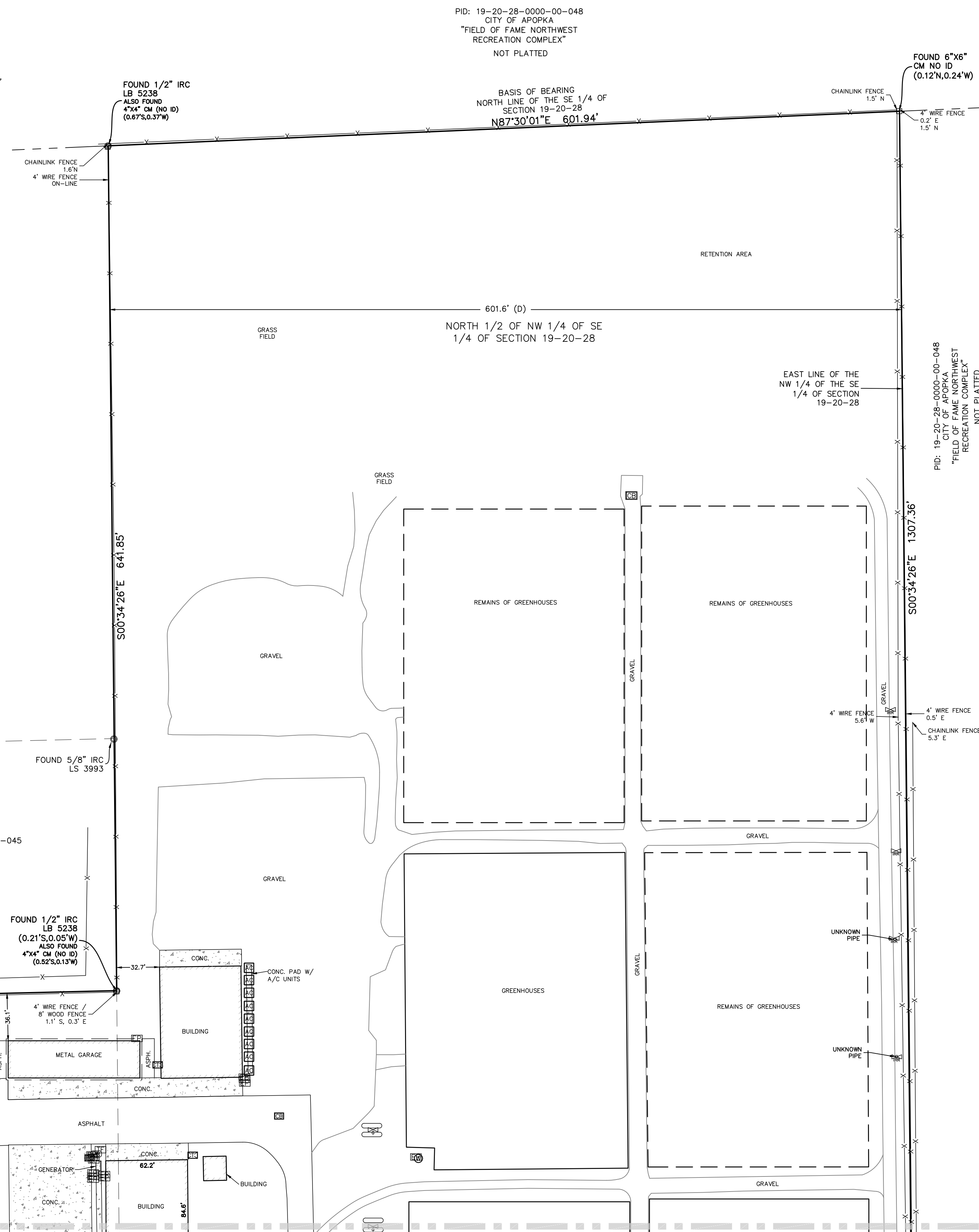
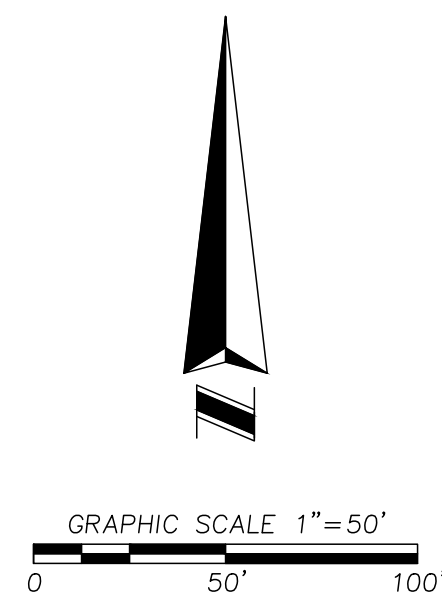
TRACT I
(KARST/OPEN SPACE
LANDSCAPE/SIGNAGE)

12.00' INGRESS /
EGRESS EASEMENT
ORB 409, PG 537
THE WEST 12 FEET
NORTH OF THE ROAD
OF THE NORTH 1/2 OF
THE SOUTHWEST 1/4
OF THE SOUTHEAST
1/4 OF SECTION 19,
TOWNSHIP 20 SOUTH,
RANGE 28 EAST

TRACT J
(R/W DEDICATION)

PONKAN PINES ROAD
60' R/W
ORB 3117, P/G 2632

WEST PONKAN ROAD
60' R/W
DB 402, PG 131



www.allen-company.com
16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 3478
(407) 654-5355 LB#6723

FOR.

[illegible]

JOB #:	20240470
DATE:	JULY 3, 2024
SCALE:	1" = 50'
CALC BY:	BH
FIELD BY:	DB
DRAWN BY:	JJ
CHECKED BY:	BH

SHEET 2 OF 3

***WOLF LAKE RANCH
ROSEVILLE
COMPREHENSIVE PLAN
AMENDMENT***

PREPARED

JULY 2024

Property Identification numbers:

PID: 19-20-28-0000-00-010, 19-20-28-0000-00-009, 19-20-28-0000-00-039

Property Owner:

Roseville Farms LLC
3251 N Ponkan Pines Road
Apopka, FL. 32712

Consultant Team:

Applicant / Urban Planner:

Daly Design Group
913 N Pennsylvania Ave
Winter Park FL 32789
Contact: Mr Thomas Daly

Traffic Engineer:

Traffic & Mobility Consultants
1507 S. Hiawasse Road, suite 212
Orlando FL 32835
Contact: Mr Mohammed Abdallah

Geotechnical Engineering:

Yovaish Engineering
953 Sunshine Lane
Altamonte Springs, FL 32714
Contact: Mr Doug Yovaish

Environmental Consultant:

Bio-Tech Consulting Inc
3025 East South Street
Orlando, FL 32803
Contact: Mr Steve Butler

Civil Engineer:

Appian Engineering
2221 Lee Road, suite 27
Winter Park, FL 32789
Contact: Mr Jimmy Palm

Surveyor:

Allen and Company.
213 S Dillard Street, Ste 210
Winter Garden, FL 34787
Contact: Mr James Rickman

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- 4. Existing zoning map
- 5. Proposed zoning map
- 6. Topography Map
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1.1 Project Location:

The subject site is located on the east side of Ponkan Pines road. (Exhibit 1) The subject site is comprised of 3 individual tax parcels that are currently accessed via a private access easement along Ponkan Pines Rd. The northern parcel (PID# 19-20-28-0000-00-010) is currently being operated as an indoor wholesale plant nursery. There are (2) parcels (PID#s 19-20-28-0000-00-039 & 19-20-28-0000-00-009) that are located north of the Wolf Lake Ranch subdivision. The (2) parcels are unimproved with no structures located within their boundaries.

1.2 Legal Description:

The Land referred to herein below is situated in the County of ORANGE, State of Florida, and is described as follows:

South 1/2 of NW 1/4 of SE 1/4 and E 601.6 feet of North 1/2 of NW 1/4 of the SE 1/4 of Section 19, Township 20 South, Range 28 East; and together with an easement over the West 12 feet of the SW 1/4 of SE 1/4, Section 19, Township 29 South, Range 28 East, North of Public Road for purposes of ingress and egress, all in Orange County, Florida.

And also:

A PARCEL OF LAND BEING THE NORTH 40.00 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF WOLF LAKE RANCH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 114, PAGES 148 THROUGH 153 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING ON THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 19; THENCE RUN NORTH 00°24'08" WEST ALONG SAID WEST LINE FOR A DISTANCE OF 40.00 FEET TO THE NORTHWEST CORNER THEREOF; THENCE RUN NORTH 89°45'04" EAST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 19 FOR A DISTANCE OF 1326.25 FEET TO THE NORTHEAST CORNER THEREOF; THENCE RUN SOUTH 00°34'26" EAST ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 19 FOR A DISTANCE OF 40.00 FEET TO THE NORTHEAST CORNER OF SAID WOLF LAKE RANCH; THENCE RUN SOUTH 89°45'04" WEST ALONG THE NORTH LINE OF SAID WOLF LAKE RANCH FOR A DISTANCE OF 1326.37 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1.22 ACRES, MORE OR LESS.



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Wolf Lake Roseville Apopka, Florida

Exhibit 1 Location Map



1.3 Project Overview:

The subject site is an assemblage of 3 individual tax parcels comprising approximately 29.656 ac located within the City of Apopka. The north parcel (PID#19-20-28-0000-00-010), currently has an existing Future Land Use (FLU) designation of Mixed-Use (MU) which requires a mixture of residential and commercial uses. The 2 southern parcels that are owned by M/I homes (PID#s 19-20-28-0000-00-039 & 19-20-28-0000-00-009) have an existing FLU designation of RVLS.

The applicant is requesting to amend the existing Future Land use (FLU) from MU (Exhibit 2) to Very Low Suburban Residential (RVLS) to allow up to 2.0 du/ac. (Exhibit 3) Due to the property's location within the Wekiva River study area, the site is limited to a maximum residential density of 2.0 du/ac. The applicant seeks approvals to develop up to 59 single family lots on the subject site. In conjunction with the application to amend the FLU the applicant shall apply to rezone the properties from MU-ES-GT (Exhibit 4) to RSF-1B. (Exhibit 5)

The proposed community will be developed consistent with the Apopka Land Development Code (LDC). Stormwater retention will be provided on-site. The stormwater management system will be designed and constructed consistent with the City of Apopka standards. Recreation for Ponkan Pines shall be provided in the form of community recreation areas that may include passive recreation opportunities. Active recreation shall be provided with the existing improvements within phase I of the Wolf Lake Ranch subdivision. Open space shall be provided consistent with Apopka's LDC and shall be in the form of open space, and landscape buffers.

1.4 Existing Conditions:

Topography: The subject site has approximately 41' of topographic relief across the site. The parcels slopes from the northeast to the southwest. The elevations on site range from elevation 136' at the southeast corner of the site to elevation 95' on the northern boundary of the subject parcels. (Exhibit 6)

Soils: The site is comprised of Chandler Fine Sands 0-5% slopes, and Chandler Fine Sands 5-12% slopes. Soils on site are hydraulic soils group A. (Exhibit 7) A geotechnical report has been prepared and is attached for review.

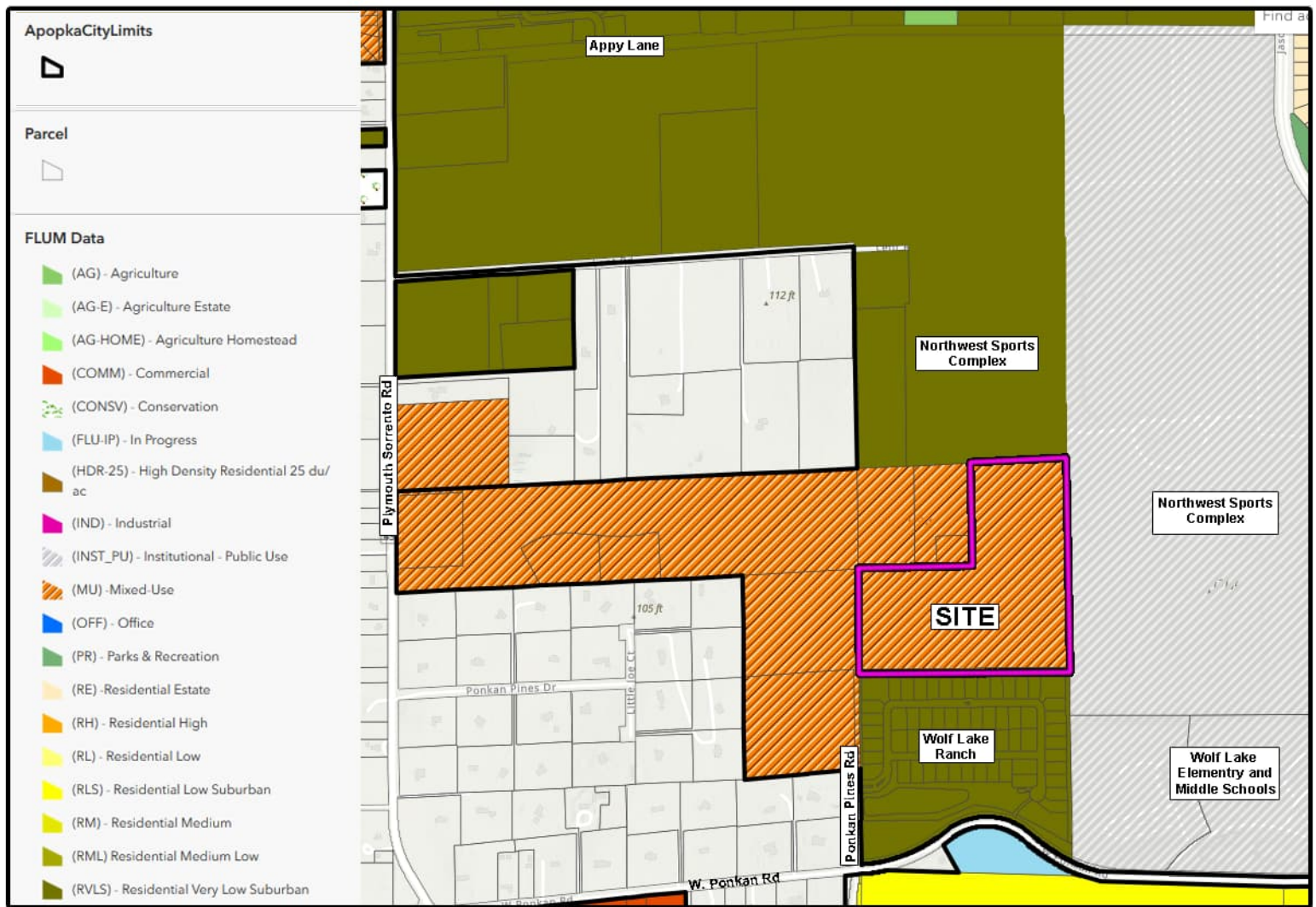
FEMA: Per FEMA Map Panel 12095C0110H the site is not within a flood zone. (Exhibit 8)

1.5 Adjacent Uses:

The tax parcel adjacent to the north and east boundary of the subject site is the Northwest Recreation Complex. The complex is within the city limits and is owned by the City of Apopka. (19-20-28-0000-00-048) The site has an existing FLU of Institutional – Public Use (INST-PUB) and an existing zoning of Office (O). The site is an active community park.

There are (3) tax parcels adjacent to the subject site along the north and west boundary. These parcels are within the city limits. All (3) parcels have an existing FLU of Mixed Use (MU). (19-20-28-0000-00-045 & 19-20-28-0000-00-036 & 19-20-28-0000-00-029) The existing zoning for the (3) tax parcels is Mixed Use Eastern Gateway (MU-ES-GT). These tax parcels have been developed as the large lot single family residential homesteads.

The parcel along the south boundary of the subject site is Wolf Lake Ranch, a single-family residential subdivision. Wolf Lake Ranch is currently under construction and is comprised of (60) single family lots within the gated community. Primary access to the community is via Ponkan Pines



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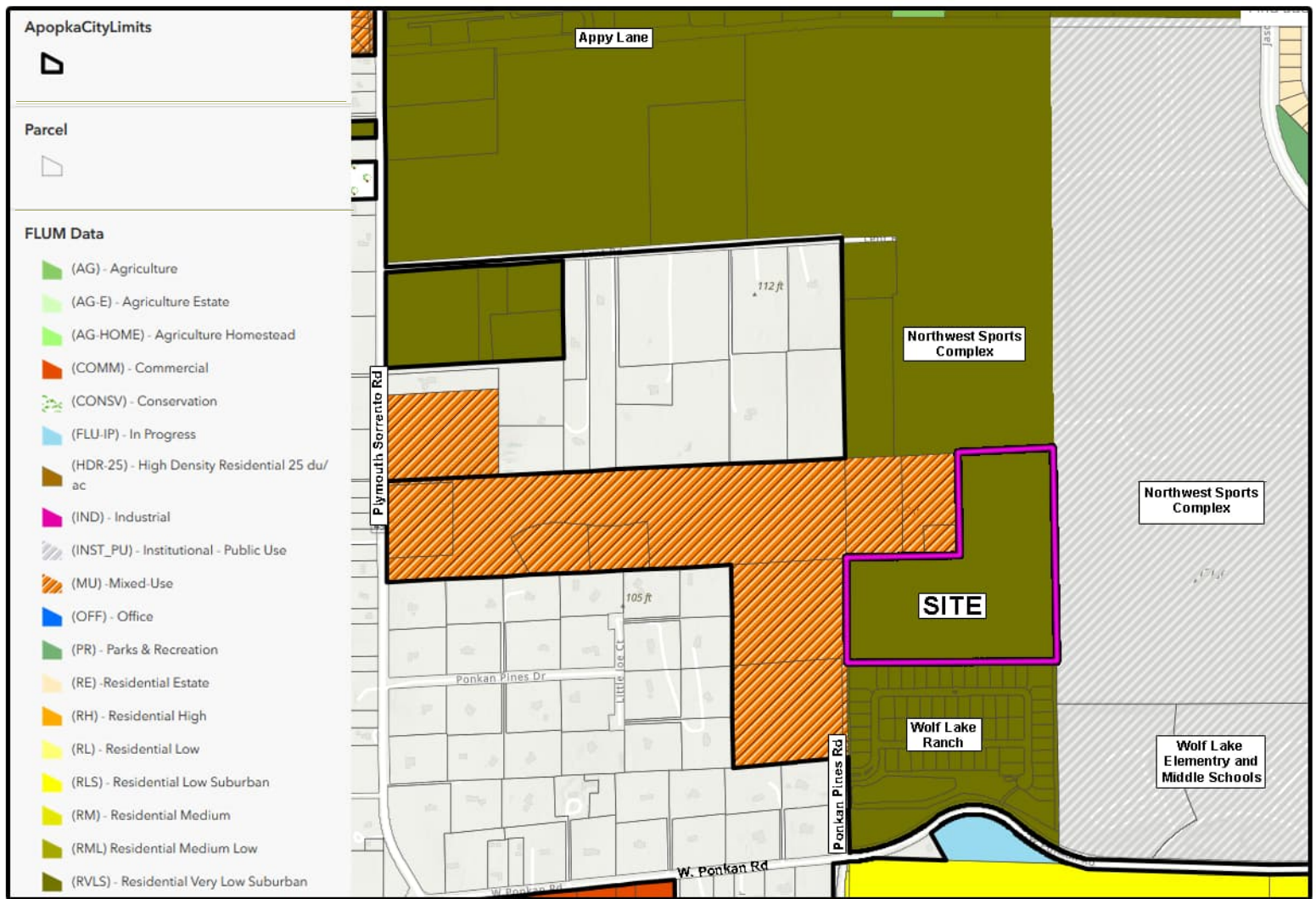
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Wolf Lake Roseville Apopka, Florida

Exhibit 2 Existing FLU





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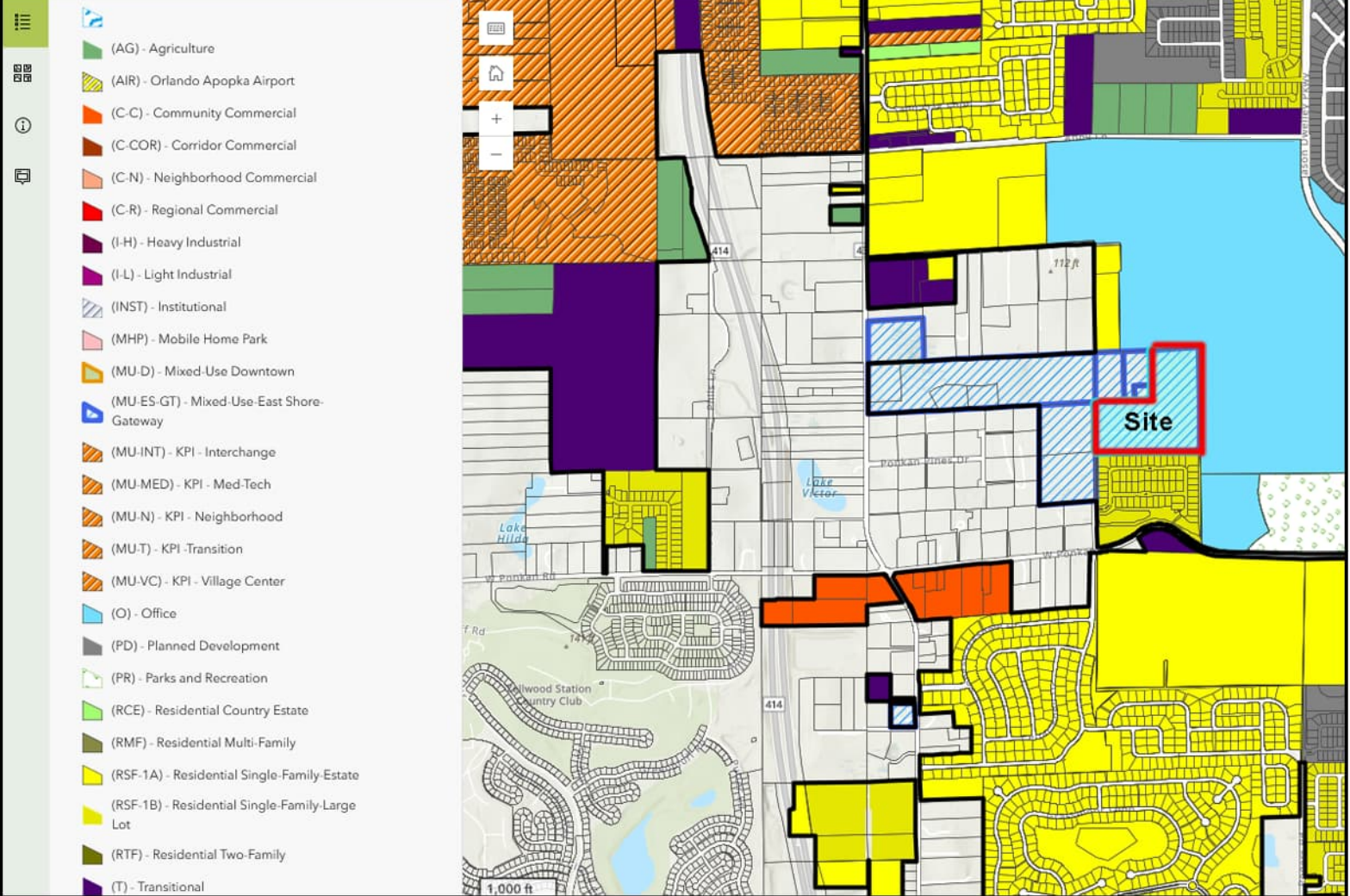
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Exhibit 3 Proposed FLU



Apopka Zoning Districts



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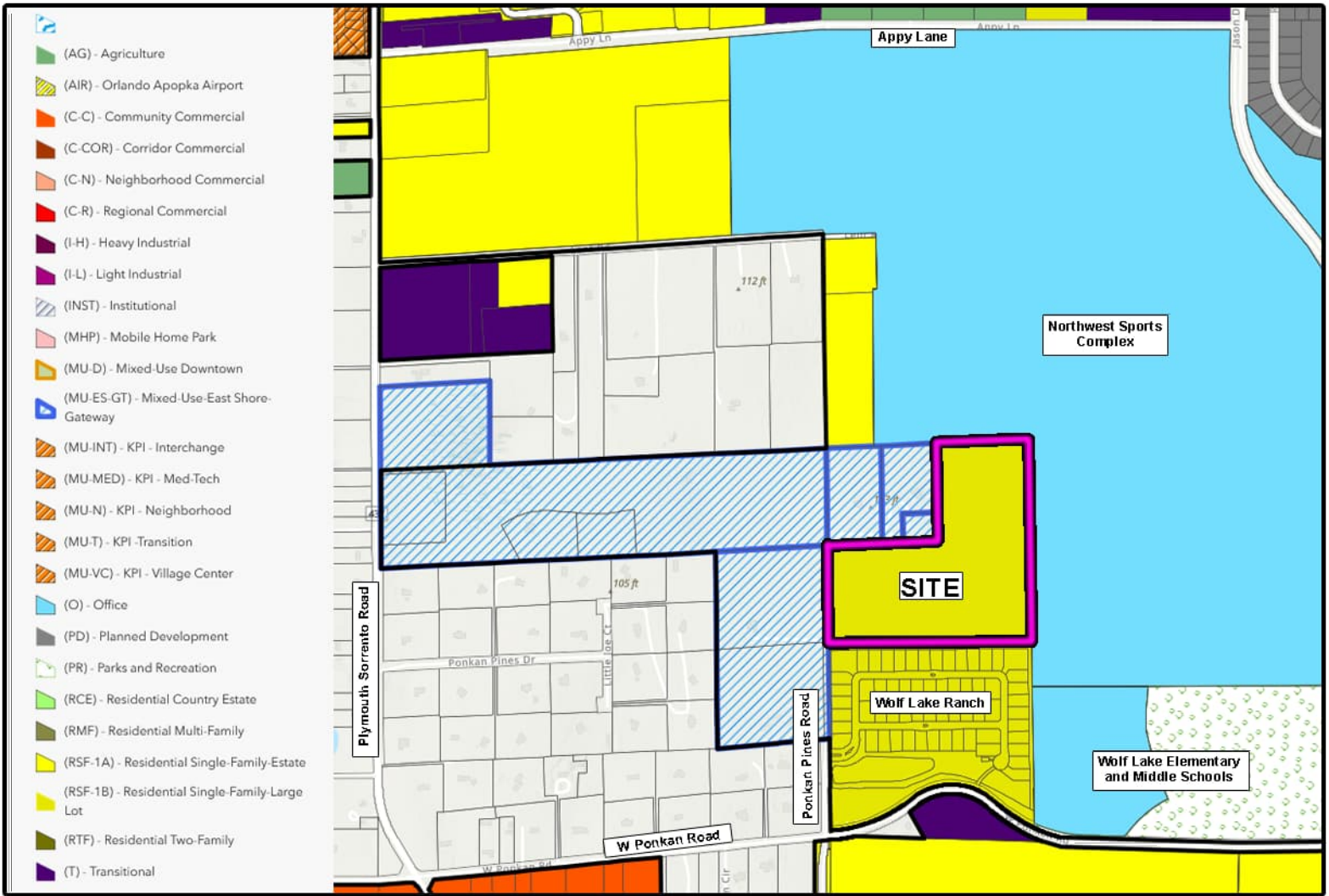
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Exhibit 4 Existing Zoning





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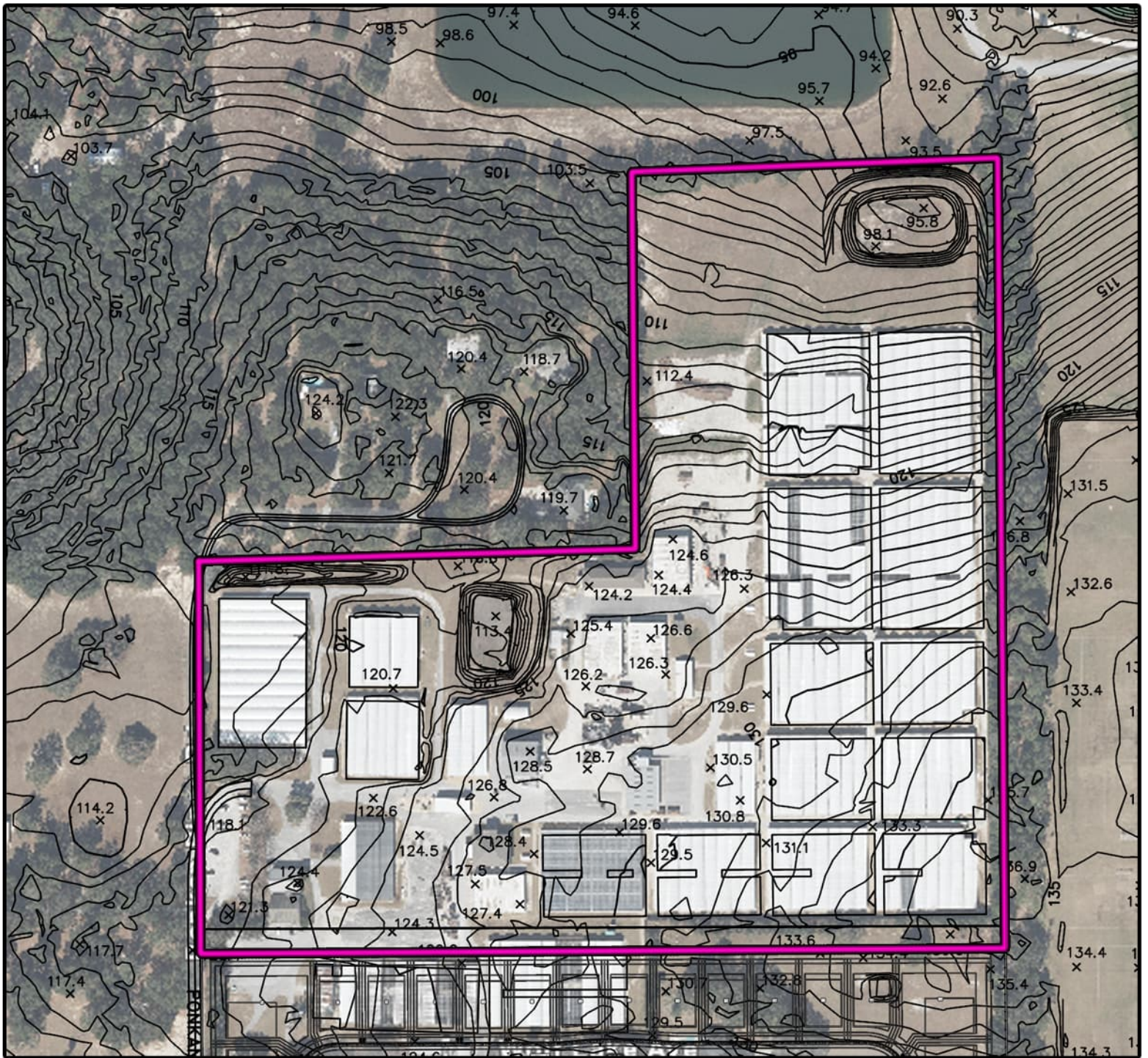
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Wolf Lake Roseville Apopka, Florida

Exhibit 5 Proposed Zoning





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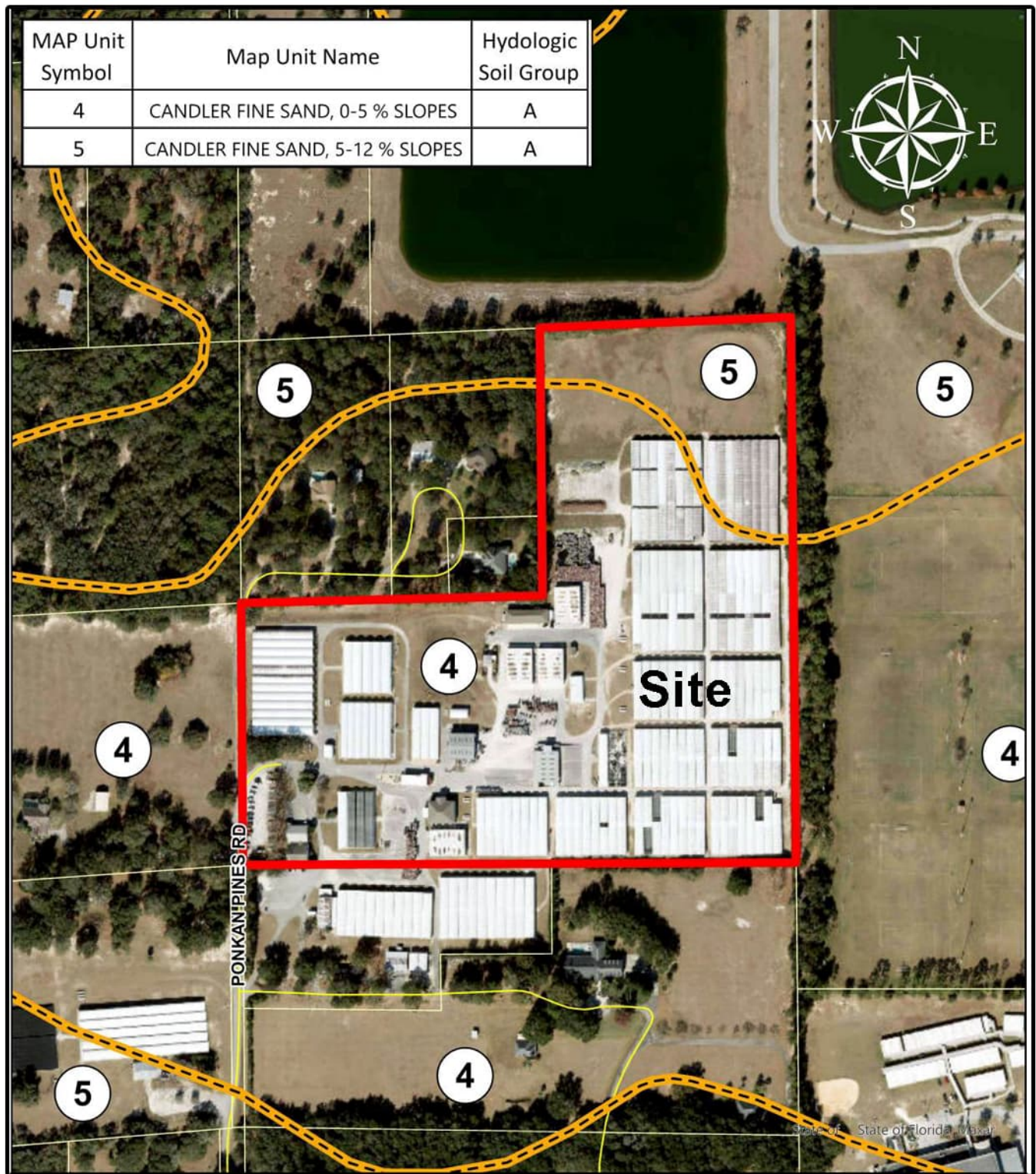
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Wolf Lake Roseville Apopka, Florida

Exhibit 6 Topo Map





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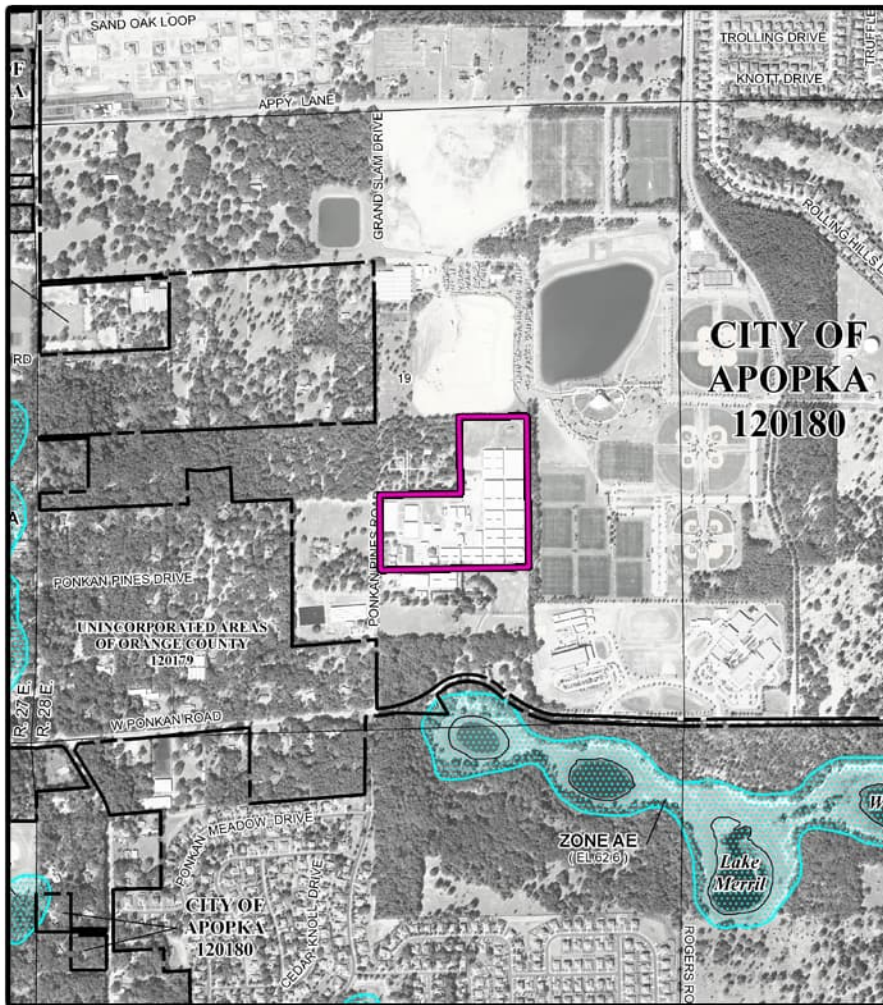
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Wolf Lake Roseville Apopka, Florida

Exhibit 7 Soils Map





LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Areas to be protected from 1% annual chance flood event by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

- ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D** Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.



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Wolf Lake Roseville Apopka, Florida

Exhibit 8 FEMA Map



Road, which has been reconstructed with curb and gutter with the site work for Wolf Lake Ranch. There is an existing emergency access along W. Ponkan Rd.

The property adjacent to the west boundary of the site is an existing single-family homestead located on approximately 11 acres. The property is within the Apopka city limits and has access via a private access easement along Ponkan Pines Road. The property has an existing FLU of MU and an existing zoning of MU-ES-GT. (PID#19-20-28-0000-00-019)

See table 1.5.1 for existing FLU and Zoning on the adjacent properties.

Table 1.5.1

Adjacent FLU and Zoning Table				
Location	City / County	FLU	Zoning	Existing Use
NORTH	CITY	INST-PU & RVLS	Office	Northwest Sports Complex
EAST	CITY	INST-PU & RVLS	Office	Northwest Sports Complex
SOUTH	CITY	RVLS	RSF-1B	Wolf Lake Ranch Subdivision
WEST	CITY	MU	MU-ES-GT	Single Family Residence

1.6 Growth Management Plan consistency:

Future Land Use Element:

Policy 1.2

The public facilities that are needed to serve future development shall be provided by the applicant seeking a development permit and/or the City, in a timely manner that is concurrent with development.

Response: Public Utilities shall be provided by the City of Apopka. Public utilities are available adjacent to the subject site within the Wolf Lake Ranch subdivision. There is an existing 8" water main, 6" reclaim water main within Wolf Lake Ranch. There is an existing 8" sanitary sewer gravity line within Wolf Lake Ranch. These utilities shall be extended into the site to serve the future residents of this community. See table 1.7.1 for estimated LOS for this project.

Policy 1.5

Public facilities and utilities shall be located to consider maximizing the efficiency of services provided, minimize their costs and minimize their impacts upon the natural environment.

Response: Public utilities are existing adjacent to the subject site. Utilities shall be extended into the site to serve the future residents. The developer shall incur the cost of extending services to the community.

Policy 1.15

An assessment shall be made at the time of any and all Comprehensive Plan land use amendments of the soil conditions and topography of the subject property and the ability of the soils and topography to support the proposed density/intensity and land uses.

Response: A Geological Soils Report will be submitted under a separate cover.

Very Low Density Suburban Residential

The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

Response: The applicant is proposing to develop a total of 59 lots on 29.656 ac for a maximum residential density of 1.98 du/ac.

Policy 4.15

The City of Apopka recognizes the need to protect specific rare natural communities within the Wekiva Study Area. These include the longleaf pine, sand hill, sand pine and xeric oak communities. The City shall require that a site assessment produced by an environmental professional verify the existence or lack thereof of these natural communities on all sites over 10 acres in size.

- If portions of these communities (less than or equal to 50%) exist on potential development sites, they shall be protected. The development potential lost through this protection shall be allowed to be transferred to more appropriate areas of the site. If more than 50% of the site is encompassed by one of these communities, 50% of the natural community shall be protected with the density transferred from the protected portion of the site to the developed portion.*

Response: The subject site is within the Wekiva Study Area. Due to the existing commercial use on the property, there are few existing trees. The trees are primarily located within the employee parking area, and along the property boundary. A tree survey will be provided and evaluated for preservation or removal at the time of Master Development Plan review. Tree preservation on site shall be consistent with the Apopka Land Development Code (LDC).

- As part of this assessment, the developer shall identify any karst features that include but are not limited to sinkholes with a direct connection to the aquifer and other karst features located on the site. All development shall maintain buffers in accordance with Policy 15.2 of this element.*

Response: A detailed geotechnical report will be submitted under a separate cover for review.

Objective 6

- *The City of Apopka shall provide water and sewer services within the corporate limits or to areas within its Utility Service Area as defined in the Amended and Restated Water, Wastewater and Reclaimed Water Territorial Agreement with Orange County. Amendment to the Agreement shall require amendment to the Comprehensive Plan.*

Response: Existing utilities are available adjacent to the subject parcel. Utility services for potable water, reclaim water and sanitary sewer service shall be provided by the City of Apopka.

Objective 10

- *All new development within the Wekiva River Protection Area shall be very low suburban residential density of two units per acre or less in nature, unless a proposed development would have less impact on natural resources.*

Response: The subject site is within the Wekiva River study area, which limits residential development to 2 du/ac. The applicant is seeking approvals to develop the 29.656 ac site with a maximum 59 dwelling units.

Policy 14.5

The following surveys and studies are required to be submitted with a subdivision plat or site plan or its functional equivalent, such as Planned Unit Developments for any project 30 acres in size or larger and shall be conducted by a qualified environmental professional or a licensed geologist to evaluate the location and presence of sensitive environmental features.

- 1) *An analysis of soils and other geotechnical information, using data such as the Wekiva Aquifer Vulnerability Assessment, to determine the location of the most effective recharge areas as the term is used in Rule 40C-41.063(3), F.A.C. or soils determined by the U.S. Soil Conservation Service to be Type "A" Hydrologic Soils Group which are the most effective recharge areas.*
- 2) *An analysis of the site to determine the location and nature of sinkholes and other karst features of the property such as stress-to-sink and other direct connections to the aquifer including an analysis to determine the depth to water table, the location of the Floridan aquifer relative to ground surface, and the thickness and extent of protective clay layers over the aquifer. This analysis may include the use of geophysical surveys, such as microgravity, ground penetrating radar surveys and soil borings or their appropriate alternatives and may be supplemented with documented locations of sinkholes, light detection and ranging surveys (LIDAR) and aerial photographs.*
- 3) *An analysis of the site to determine the location of sensitive natural habitats including Longleaf Pine, Sand Hill, Sand Pine and Xeric Oak Scrub. This analysis shall be coordinated with the Florida Fish and Wildlife Conservation Commission and the Florida Department of Environmental Protection.*

Response: A detailed geotechnical report and environmental report shall be submitted under a separate cover.

Objective 15

Site plans, subdivisions or their functional equivalent, such as Planned Unit Developments, within the Wekiva Study Area shall meet the design standards as set forth in the following policies.

Policy 15.1

Conservation subdivision designs shall include:

- 1) *Clustering of units on small lots;*
- 2) *Establishment of open space, which shall be connected whenever possible, in recordable easements, plat or other recordable instrument. Open spaces percentages shall be as provided for in Policies 3.1.s;*
- 3) *Central water and sewer treatment facilities connected to the regional system; and*
- 4) *Minimal site disturbance.*

Response: The site is within the Wekiva Study area. The applicant is proposing to develop 59 single family units on 29.656 acres of land. The minimum lot size shall be consistent with the City of Apopka zoning RSF-1B, which permits a maximum of 2 du/ac.

Open space shall be provided in the form of landscape buffers, recreation area, tree preservation areas and connected open space tracts. The residents of the community shall be connected to the existing potable water, reclaim water and sanitary sewer services that are provided by the City of Apopka.

Transportation Element:

Objective 4

To discourage urban sprawl, the City of Apopka shall coordinate transportation system improvements through the adopted Future Land Use Map to support existing and projected population densities, housing and employment patterns; and ensure that land development is consistent with existing and proposed transportation facilities.

Response: Site access shall be provided along Ponkan Pines Road. This road has been reconstructed to meet the city standards. A comprehensive traffic study is being prepared by Traffic Management Consultants and shall be submitted under a separate cover.

1.7 Estimated Level of Services (LOS):

The City of Apopka has an adopted LOS of service for Potable water at 153 gallons per day (GPD) per capita. The estimated population of this community is 183 persons. It is estimated that this community will require 27,999 gallons of potable water per day.

Potable Water LOS			
<u>Units</u>	<u>Population</u>	<u>LOS per Capita (GPD)</u>	<u>Estimated Demand (GPD)</u>
59	183	153	27,999

The City of Apopka has an adopted LOS of service for sanitary sewer at 90 gallons per day (GPD) per capita. The estimated population of this community is 183 persons. It is estimated that this community will require 16,470 gallons of sanitary sewer per day.

Sanitary Sewer LOS			
<u>Units</u>	<u>Population</u>	<u>LOS per Capita (GPD)</u>	<u>Estimated Demand (GPD)</u>
59	183	90	16,470

The City of Apopka has an estimated LOS of service for reclaim water at 177 gallons per day (GPD) per capita. The estimated population of this community is 183 persons. It is estimated that this community will require 32,391 gallons of reclaim water per day.

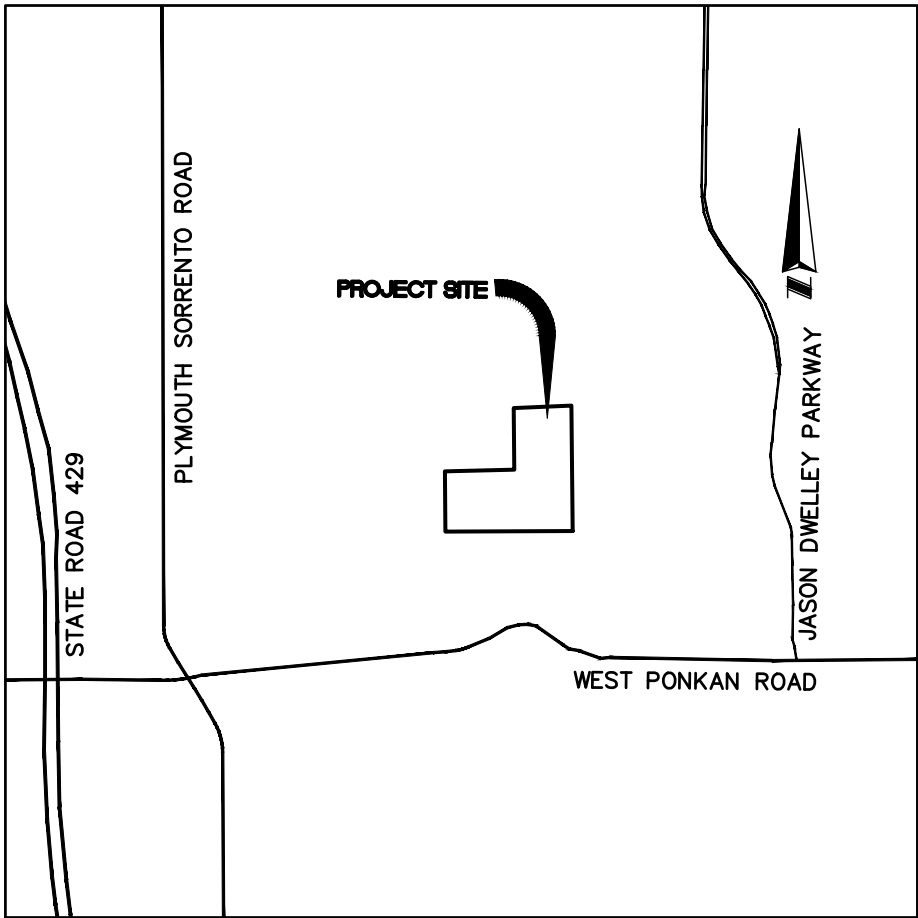
Reclaim Water LOS			
<u>Units</u>	<u>Estimated Population</u>	<u>LOS per Capita (GPD)</u>	<u>Estimated Demand (GPD)</u>
59	183	177	32,391

LEGAL DESCRIPTION- PER TITLE COMMITMENT NUMBER 110344024-:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

SOUTH 1/2 OF NW 1/4 OF SE 1/4 AND E 601.6 FEET OF NORTH 1/2 OF NW 1/4 OF THE SE 1/4 OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST; AND TOGETHER WITH AN EASEMENT OVER THE WEST 12 FEET OF THE SW 1/4 OF SE 1/4, SECTION 19, TOWNSHIP 29 SOUTH, RANGE 28 EAST, NORTH OF PUBLIC ROAD FOR PURPOSES OF INGRESS AND EGRESS, ALL IN ORANGE COUNTY, FLORIDA.

VICINITY MAP: NOT TO SCALE



LEGEND OF SYMBOLS AND ABBREVIATIONS:

	IRRIGATION VALVE	A/C	AIR CONDITION
	WELL	ASPH.	ASPHALT
	CATCH BASIN	ABS	AMORPHOUS POLYMER
	STORM DRAINAGE MANHOLE	BLDG	BUILDING
	WATER MARKER	C/B	CONCRETE BLOCK
	WATER RISER	CLF	CHAIN LINK FENCE
	WATER VALVE	CONC.	CONCRETE
	WOODEN LIGHT POLE	CM	CONCRETE MONUMENT
	WOODEN POWER POLE	C.O.	CLEAN OUT
	GATE	ID	IDENTIFICATION
	GUY WIRE	IRC	IRON ROD WITH CAP
	ELECTRICAL METER	PB	PLAT BOOK
	ELECTRICAL PANEL	PG(S)	PAGE(S)
	TRANSFORMER	LB	LICENSED BUSINESS
	ELECTRICAL VAULT	LS	LICENSED SURVEYOR
	ELECTRICAL BOX	ORB	OFFICIAL RECORDS BOOK
	TELECOMMUNICATION RISER	PID	PROPERTY IDENTIFICATION NUMBER
	PROPANE GAS VALVE	PSM	PROFESSIONAL SURVEYOR AND MAPPER
	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
	AIR CONDITION	R/W	RIGHT OF WAY
	SCHEDULE B-2 ITEM	SPHD	SPRINKLER HEAD
	TELECOMMUNICATION VAULT	SO	STUB-OUT
	ELECTRICAL CABINET	TYP.	TYPICAL
		W/	WITH

	FENCE LINE AS NOTED
	EASEMENT
	TOP OF BANK
	OVERHEAD UTILITY LINE
	RIGHT OF WAY LINE

SCHEDULE B-II EXCEPTIONS PER TITLE COMMITMENT NUMBER 110344024:

9. EASEMENT RECORDED AUGUST 7, 1958 IN BOOK 409, PAGE 535. -BENEFITS SUBJECT PROPERTY AND IS SHOWN HEREON
10. EASEMENT RECORDED AUGUST 7, 1958 IN BOOK 409, PAGE 537. -BENEFITS SUBJECT PROPERTY AND IS SHOWN HEREON
- (SHEET 2 DETAIL 'A')
11. DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED OCTOBER 25, 1982 IN BOOK 3320, PAGE 1061.
- DOES NOT AFFECT SUBJECT PROPERTY
12. DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED OCTOBER 27, 1989 IN BOOK 4127, PAGE 573.
- AFFECTS SUBJECT PROPERTY AND IS SHOWN HEREON

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM EAST ZONE NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT AND DERIVING A BEARING BASED ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 19-20-28 AS BEING NORTH 87°30'01" EAST.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER 110344024, COMMITMENT DATE MAY 27, 2024.
- THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.
- THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.
- THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
- ADJOINING PARCEL OWNER AND RECORDING INFORMATION DELINEATED HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER'S PUBLIC WEBSITE.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER OR AN ELECTRONIC SIGNATURE THAT IS IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 5J-17.062.
- UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR VISIBLE, UNOBSTRUCTED, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNLESS NOTED OTHERWISE UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
- UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND THE PROFESSIONAL PURVIEW OF THE SURVEYOR AND SUBJECT TO LEGAL INTERPRETATION.
- SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X. AREA DETERMINED TO BE OUTSIDE THE 1% CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0110H, MAP REVISED 09/24/2021. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING. THE LIMITS OF SAID ZONES ARE GRAPHICALLY DEPICTED HEREON AS NEAR AS MAY BE SCALED FROM SAID MAP.
- THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON. (SUBURBAN) 1 FOOT IN 7,500 FEET; (RURAL) 1 FOOT IN 5,000 FEET.
- WE HEREBY CERTIFY THAT THE LANDS SHOWN HEREON AND THE ADJACENT PARCELS OF LAND, WHERE THEY SHARE A COMMON BOUNDARY LINE, ARE CONTIGUOUS WITH NO GAPS, GORES, HIATUS, OR OVERLAPS.
- SUBJECT PROPERTY CONTAINS 1,238,784 SQUARE FEET OR 28.44 ACRES MORE OR LESS.

CERTIFIED TO:

-FIRST AMERICAN TITLE INSURANCE COMPANY
-M/I HOMES ORLANDO, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 13, 18 TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2024.

DATE OF PLAT OR MAP: JULY 3, 2024

JAMES L. RICKMAN, PSM #5633



www.allen-company.com

16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355 LB#6723

FOR:

FOR THE LICENSED BUSINESS #6723 BY:

JAMES L. RICKMAN, P.S.M. #5633

DATE REVISIONS

JOB #:	20240470
DATE:	JULY 3, 2024
SCALE:	1" = 50'
CALC BY:	BH
FIELD BY:	DB
DRAWN BY:	JJ
CHECKED BY:	BH

SHEET 1 OF 3

TRACT N
 (OPEN SPACE)

TRACT I
 (KARST/OPEN SPACE
 LANDSCAPE/SIGNAGE)

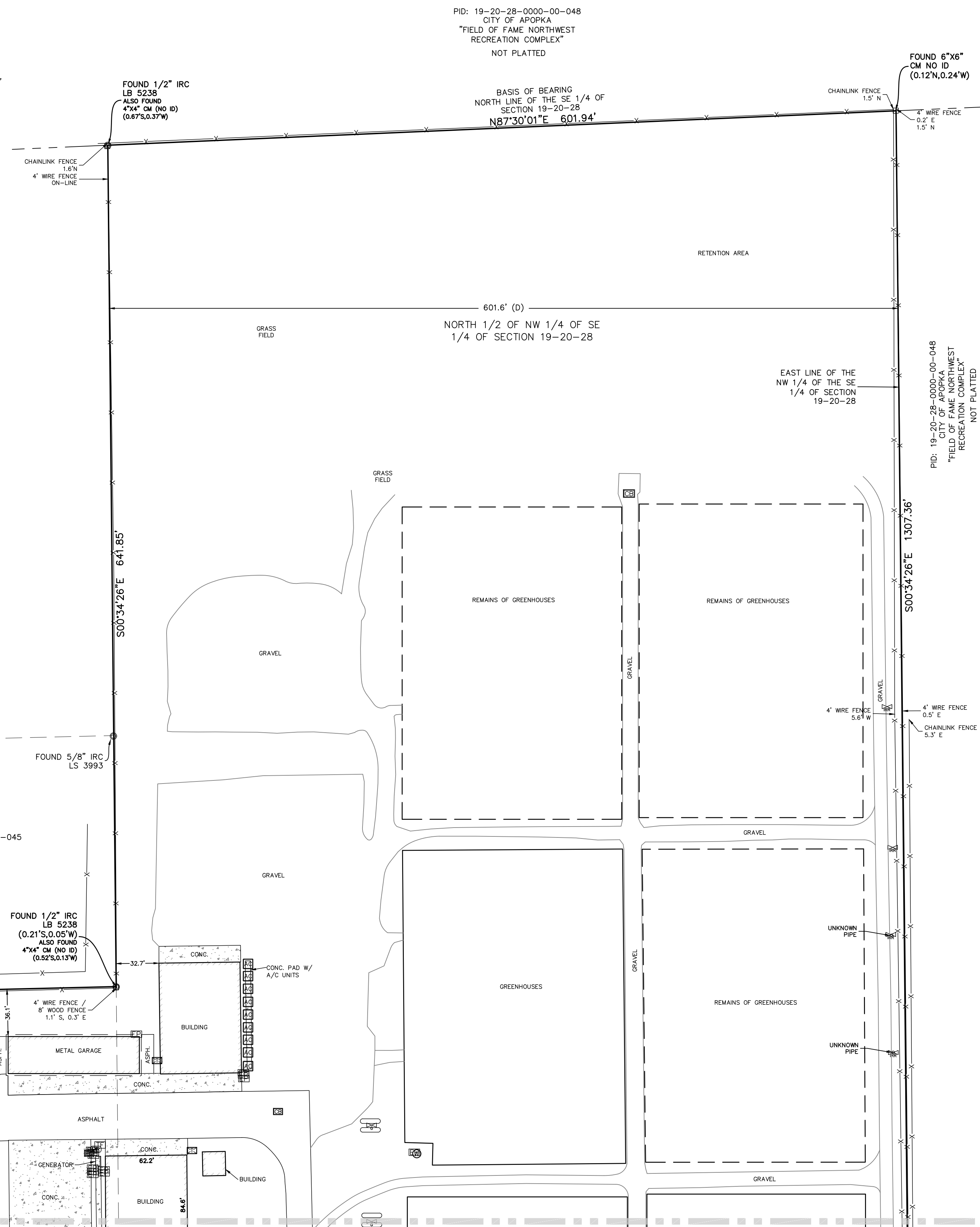
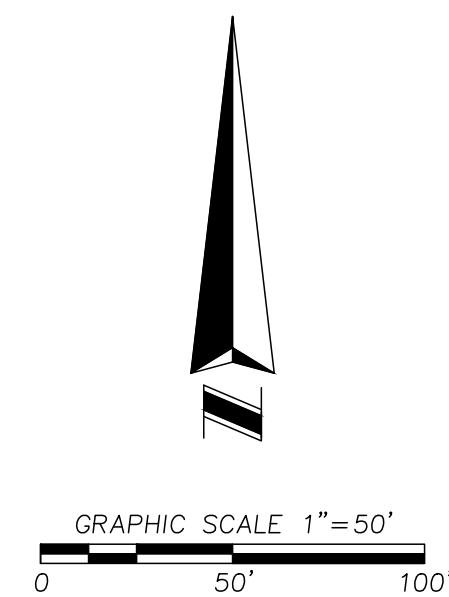
WOLF LAKE RANCH
 PB 114, PG 148

TRACT J
 (R/W DEDICATION)

12.00' INGRESS /
 EGRESS EASEMENT
 ORB 409, PG 537
 THE WEST 12 FEET
 NORTH OF THE ROAD
 OF THE NORTH 1/2 OF
 THE SOUTHWEST 1/4
 OF THE SOUTHEAST
 1/4 OF SECTION 18,
 TOWNSHIP 20 SOUTH,
 RANGE 28 EAST

PONKAN PINES ROAD
 60' R/W
 ORB 3117, PG 2632

WEST PONKAN ROAD
 60' R/W
 DB 402, PG 131



Drawing name: L:\Data\20240470\DWG\20240470 ALTA ALTA 2



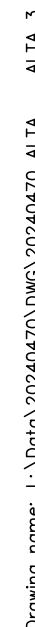
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FOR:

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JOB #:	20240470
DATE:	JULY 3, 2024
SCALE:	1" = 50'
CALC BY:	BH
FIELD BY:	DB
DRAWN BY:	JJ
CHECKED BY:	BH

SHEET 2 OF 3



***WOLF LAKE RANCH
ROSEVILLE
COMPREHENSIVE PLAN
AMENDMENT***

PREPARED

JULY 2024

Property Identification numbers:

PID: 19-20-28-0000-00-010, 19-20-28-0000-00-009, 19-20-28-0000-00-039

Property Owner:

Roseville Farms LLC
3251 N Ponkan Pines Road
Apopka, FL. 32712

Consultant Team:

Applicant / Urban Planner:

Daly Design Group
913 N Pennsylvania Ave
Winter Park FL 32789
Contact: Mr Thomas Daly

Traffic Engineer:

Traffic & Mobility Consultants
1507 S. Hiawasse Road, suite 212
Orlando FL 32835
Contact: Mr Mohammed Abdallah

Geotechnical Engineering:

Yovaish Engineering
953 Sunshine Lane
Altamonte Springs, FL 32714
Contact: Mr Doug Yovaish

Environmental Consultant:

Bio-Tech Consulting Inc
3025 East South Street
Orlando, FL 32803
Contact: Mr Steve Butler

Civil Engineer:

Appian Engineering
2221 Lee Road, suite 27
Winter Park, FL 32789
Contact: Mr Jimmy Palm

Surveyor:

Allen and Company.
213 S Dillard Street, Ste 210
Winter Garden, FL 34787
Contact: Mr James Rickman

Table of Contents:

- 1.1** Project Location
- 1.2** Legal Description
- 1.3** Project Overview
- 1.4** Existing Conditions
- 1.5** Existing Adjacent Uses
- 1.6** Growth Management Plan consistency
- 1.7** Level of Service Demands

Table of Exhibits:

- 1. Location map
- 2. Existing future land use map
- 3. Proposed future land use map
- 4. Existing zoning map
- 5. Proposed zoning map
- 6. Topography Map
- 7. Soils Map
- 8. FEMA Map

1.1 Project Location:

The subject site is located on the east side of Ponkan Pines road. (Exhibit 1) The subject site is comprised of 3 individual tax parcels that are currently accessed via a private access easement along Ponkan Pines Rd. The northern parcel (PID# 19-20-28-0000-00-010) is currently being operated as an indoor wholesale plant nursery. There are (2) parcels (PID#s 19-20-28-0000-00-039 & 19-20-28-0000-00-009) that are located north of the Wolf Lake Ranch subdivision. The (2) parcels are unimproved with no structures located within their boundaries.

1.2 Legal Description:

The Land referred to herein below is situated in the County of ORANGE, State of Florida, and is described as follows:

South 1/2 of NW 1/4 of SE 1/4 and E 601.6 feet of North 1/2 of NW 1/4 of the SE 1/4 of Section 19, Township 20 South, Range 28 East; and together with an easement over the West 12 feet of the SW 1/4 of SE 1/4, Section 19, Township 29 South, Range 28 East, North of Public Road for purposes of ingress and egress, all in Orange County, Florida.

And also:

A PARCEL OF LAND BEING THE NORTH 40.00 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF WOLF LAKE RANCH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 114, PAGES 148 THROUGH 153 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING ON THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 19; THENCE RUN NORTH 00°24'08" WEST ALONG SAID WEST LINE FOR A DISTANCE OF 40.00 FEET TO THE NORTHWEST CORNER THEREOF; THENCE RUN NORTH 89°45'04" EAST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 19 FOR A DISTANCE OF 1326.25 FEET TO THE NORTHEAST CORNER THEREOF; THENCE RUN SOUTH 00°34'26" EAST ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 19 FOR A DISTANCE OF 40.00 FEET TO THE NORTHEAST CORNER OF SAID WOLF LAKE RANCH; THENCE RUN SOUTH 89°45'04" WEST ALONG THE NORTH LINE OF SAID WOLF LAKE RANCH FOR A DISTANCE OF 1326.37 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1.22 ACRES, MORE OR LESS.



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Wolf Lake Roseville **Apopka, Florida**

Exhibit 1 **Location Map**



1.3 Project Overview:

The subject site is an assemblage of 3 individual tax parcels comprising approximately 29.656 ac located within the City of Apopka. The north parcel (PID#19-20-28-0000-00-010), currently has an existing Future Land Use (FLU) designation of Mixed-Use (MU) which requires a mixture of residential and commercial uses. The 2 southern parcels that are owned by M/I homes (PID#s 19-20-28-0000-00-039 & 19-20-28-0000-00-009) have an existing FLU designation of RVLS.

The applicant is requesting to amend the existing Future Land use (FLU) from MU (Exhibit 2) to Very Low Suburban Residential (RVLS) to allow up to 2.0 du/ac. (Exhibit 3) Due to the property's location within the Wekiva River study area, the site is limited to a maximum residential density of 2.0 du/ac. The applicant seeks approvals to develop up to 59 single family lots on the subject site. In conjunction with the application to amend the FLU the applicant shall apply to rezone the properties from MU-ES-GT (Exhibit 4) to RSF-1B. (Exhibit 5)

The proposed community will be developed consistent with the Apopka Land Development Code (LDC). Stormwater retention will be provided on-site. The stormwater management system will be designed and constructed consistent with the City of Apopka standards. Recreation for Ponkan Pines shall be provided in the form of community recreation areas that may include passive recreation opportunities. Active recreation shall be provided with the existing improvements within phase I of the Wolf Lake Ranch subdivision. Open space shall be provided consistent with Apopka's LDC and shall be in the form of open space, and landscape buffers.

1.4 Existing Conditions:

Topography: The subject site has approximately 41' of topographic relief across the site. The parcels slopes from the northeast to the southwest. The elevations on site range from elevation 136' at the southeast corner of the site to elevation 95' on the northern boundary of the subject parcels. (Exhibit 6)

Soils: The site is comprised of Chandler Fine Sands 0-5% slopes, and Chandler Fine Sands 5-12% slopes. Soils on site are hydraulic soils group A. (Exhibit 7) A geotechnical report has been prepared and is attached for review.

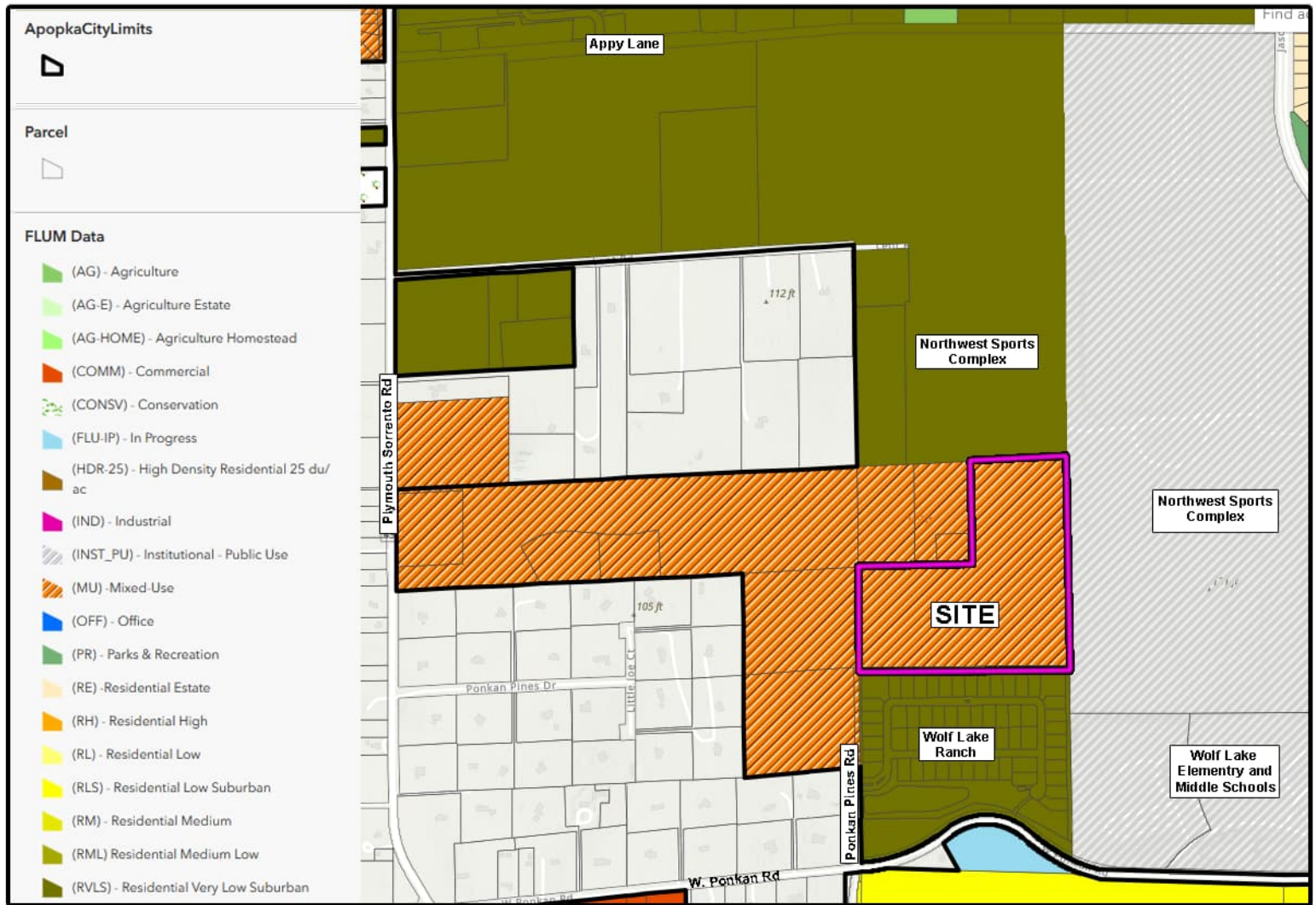
FEMA: Per FEMA Map Panel 12095C0110H the site is not within a flood zone. (Exhibit 8)

1.5 Adjacent Uses:

The tax parcel adjacent to the north and east boundary of the subject site is the Northwest Recreation Complex. The complex is within the city limits and is owned by the City of Apopka. (19-20-28-0000-00-048) The site has an existing FLU of Institutional – Public Use (INST-PUB) and an existing zoning of Office (O). The site is an active community park.

There are (3) tax parcels adjacent to the subject site along the north and west boundary. These parcels are within the city limits. All (3) parcels have an existing FLU of Mixed Use (MU). (19-20-28-0000-00-045 & 19-20-28-0000-00-036 & 19-20-28-0000-00-029) The existing zoning for the (3) tax parcels is Mixed Use Eastern Gateway (MU-ES-GT). These tax parcels have been developed as the large lot single family residential homesteads.

The parcel along the south boundary of the subject site is Wolf Lake Ranch, a single-family residential subdivision. Wolf Lake Ranch is currently under construction and is comprised of (60) single family lots within the gated community. Primary access to the community is via Ponkan Pines



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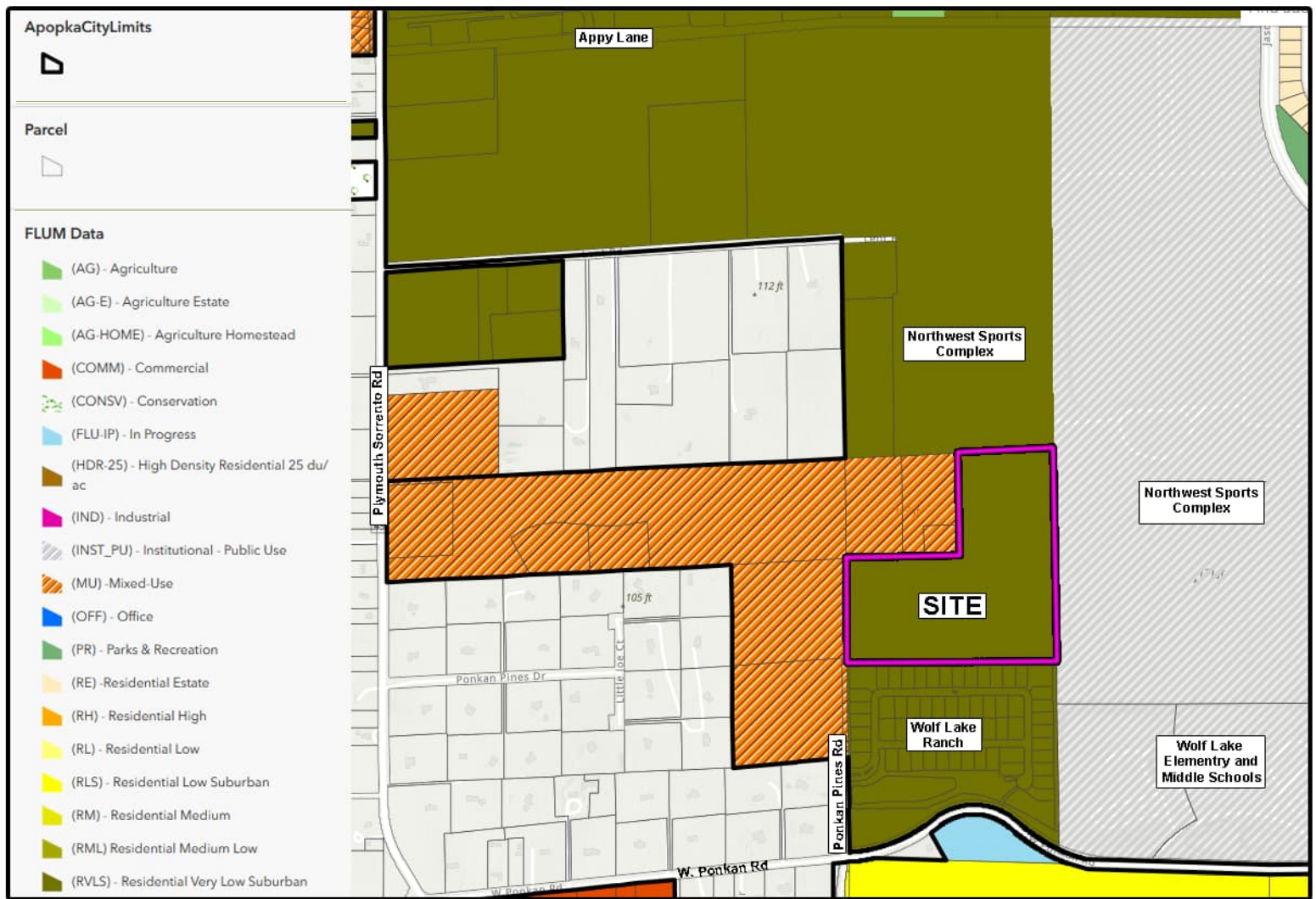
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Wolf Lake Roseville Apopka, Florida

Exhibit 2 Existing FLU





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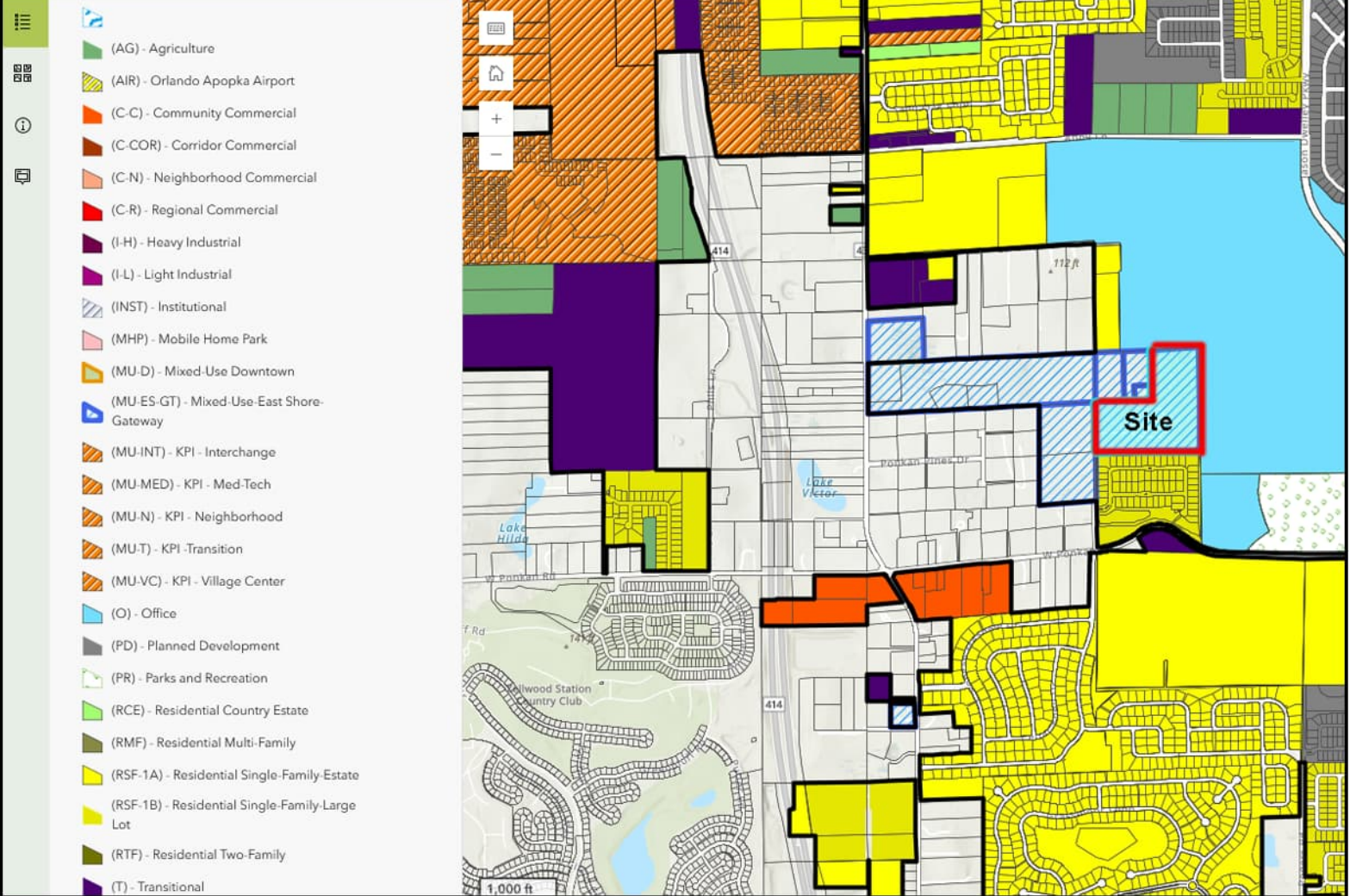
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Wolf Lake Roseville Apopka, Florida

Exhibit 3 Proposed FLU



Apopka Zoning Districts



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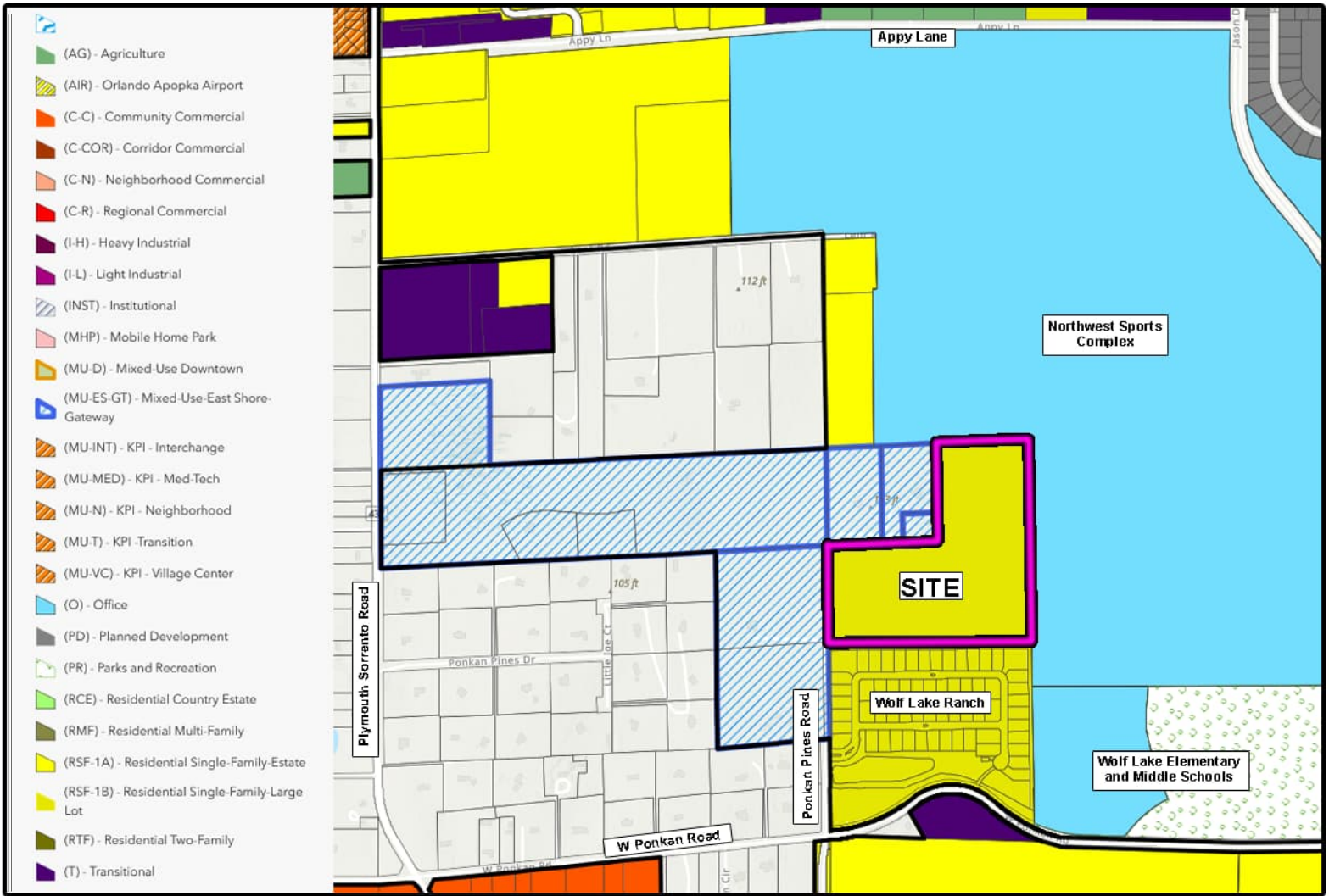
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Wolf Lake Roseville Apopka, Florida

Exhibit 4 Existing Zoning





Wolf Lake Roseville Apopka, Florida

Exhibit 5 Proposed Zoning



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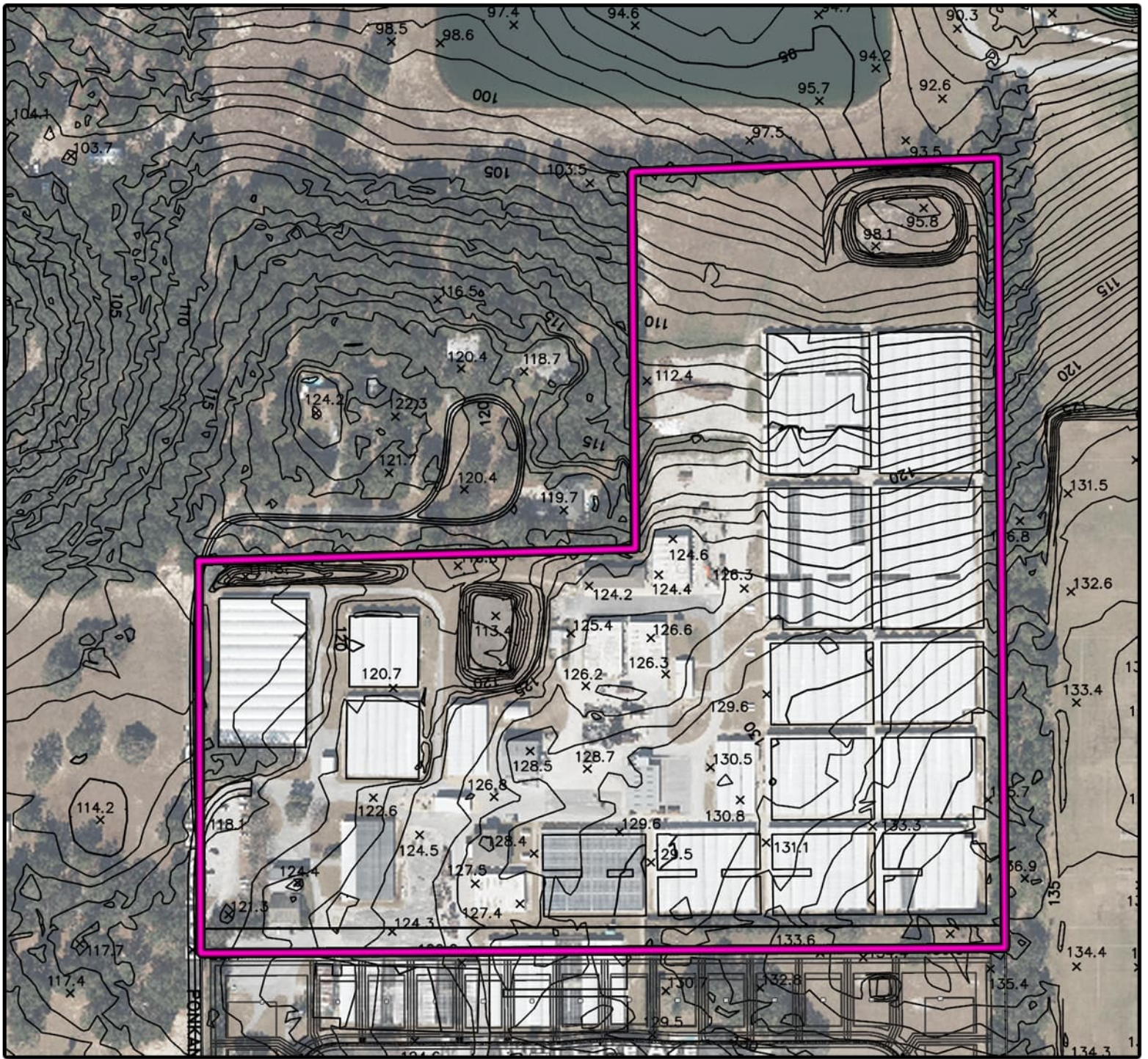
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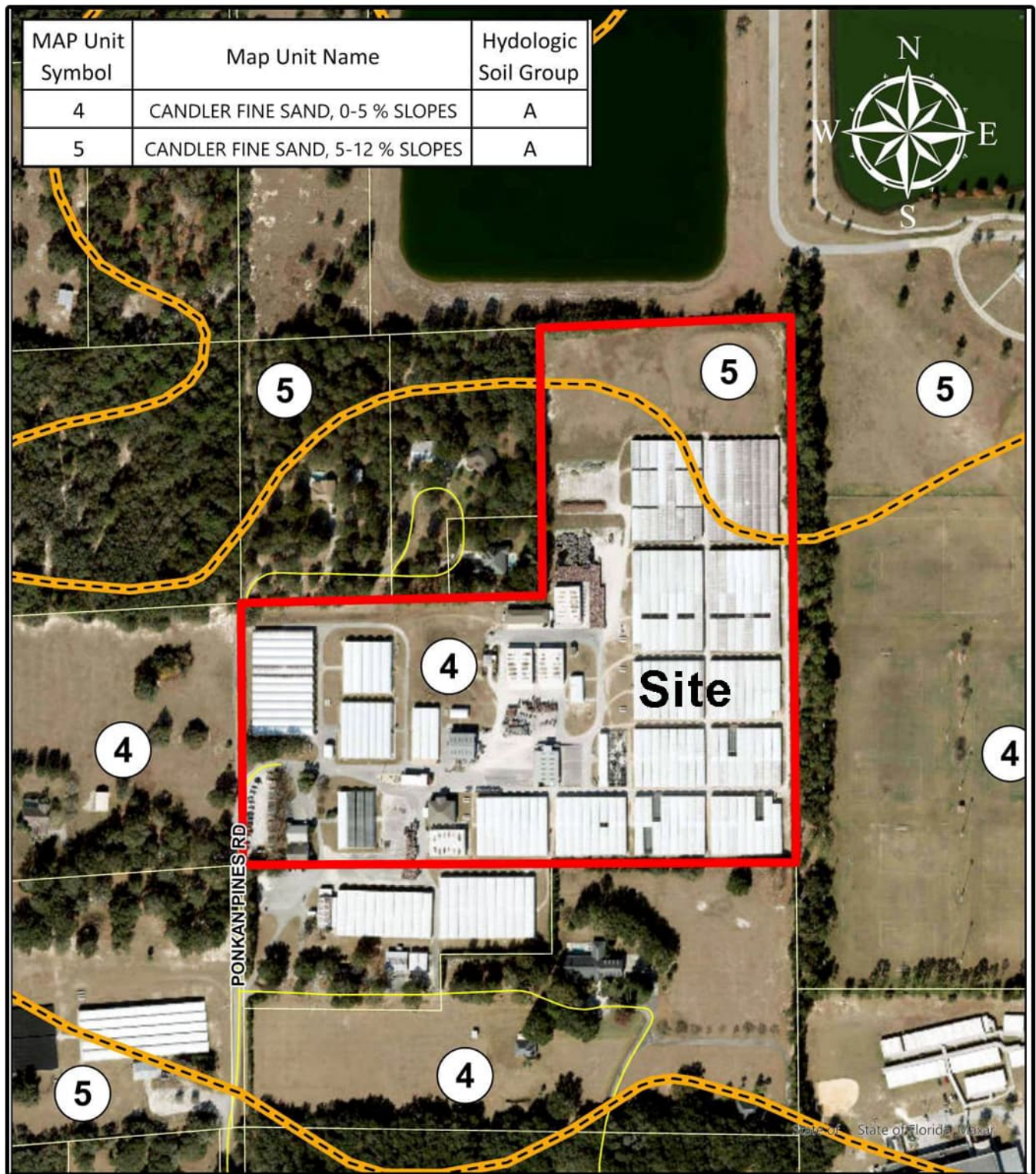
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Wolf Lake Roseville Apopka, Florida

Exhibit 6 Topo Map





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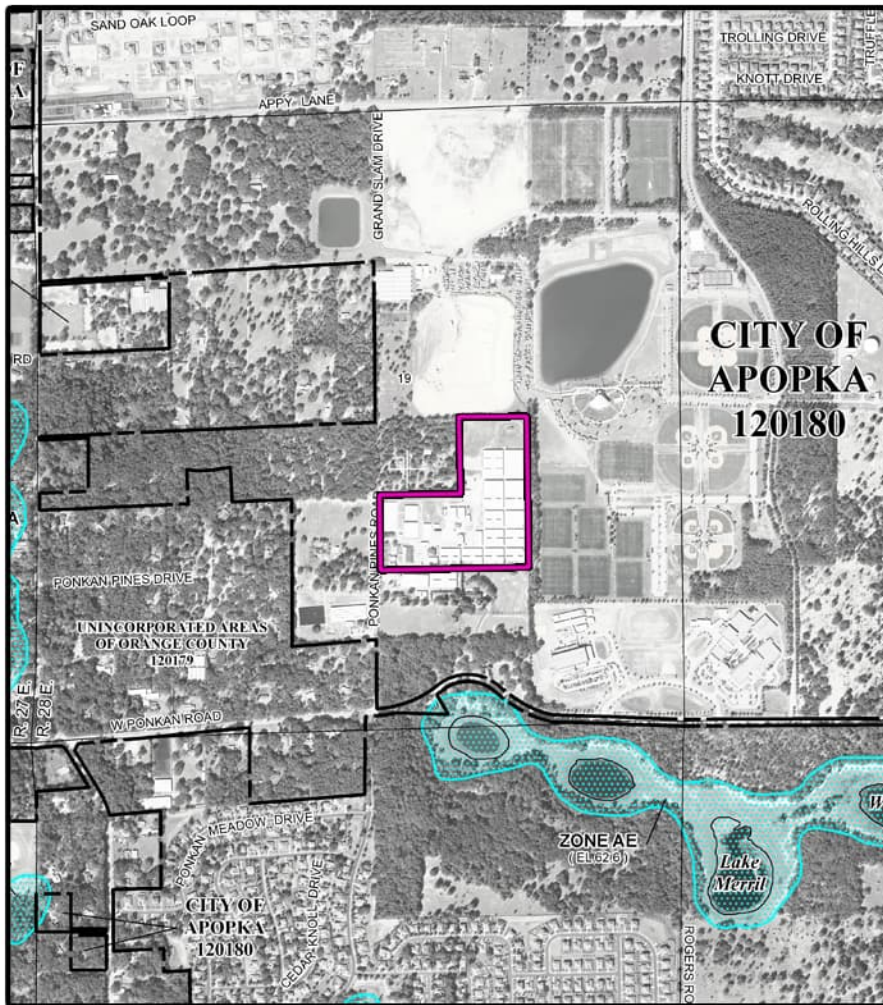
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Job No.: 21251-2 Scale: nts Date: 06.03.2024

Wolf Lake Roseville Apopka, Florida

Exhibit 7 Soils Map





LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Areas to be protected from 1% annual chance flood event by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

- ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D** Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.



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Wolf Lake Roseville Apopka, Florida

Exhibit 8 FEMA Map



Road, which has been reconstructed with curb and gutter with the site work for Wolf Lake Ranch. There is an existing emergency access along W. Ponkan Rd.

The property adjacent to the west boundary of the site is an existing single-family homestead located on approximately 11 acres. The property is within the Apopka city limits and has access via a private access easement along Ponkan Pines Road. The property has an existing FLU of MU and an existing zoning of MU-ES-GT. (PID#19-20-28-0000-00-019)

See table 1.5.1 for existing FLU and Zoning on the adjacent properties.

Table 1.5.1

Adjacent FLU and Zoning Table				
Location	City / County	FLU	Zoning	Existing Use
NORTH	CITY	INST-PU & RVLS	Office	Northwest Sports Complex
EAST	CITY	INST-PU & RVLS	Office	Northwest Sports Complex
SOUTH	CITY	RVLS	RSF-1B	Wolf Lake Ranch Subdivision
WEST	CITY	MU	MU-ES-GT	Single Family Residence

1.6 Growth Management Plan consistency:

Future Land Use Element:

Policy 1.2

The public facilities that are needed to serve future development shall be provided by the applicant seeking a development permit and/or the City, in a timely manner that is concurrent with development.

Response: Public Utilities shall be provided by the City of Apopka. Public utilities are available adjacent to the subject site within the Wolf Lake Ranch subdivision. There is an existing 8" water main, 6" reclaim water main within Wolf Lake Ranch. There is an existing 8" sanitary sewer gravity line within Wolf Lake Ranch. These utilities shall be extended into the site to serve the future residents of this community. See table 1.7.1 for estimated LOS for this project.

Policy 1.5

Public facilities and utilities shall be located to consider maximizing the efficiency of services provided, minimize their costs and minimize their impacts upon the natural environment.

Response: Public utilities are existing adjacent to the subject site. Utilities shall be extended into the site to serve the future residents. The developer shall incur the cost of extending services to the community.

Policy 1.15

An assessment shall be made at the time of any and all Comprehensive Plan land use amendments of the soil conditions and topography of the subject property and the ability of the soils and topography to support the proposed density/intensity and land uses.

Response: A Geological Soils Report will be submitted under a separate cover.

Very Low Density Suburban Residential

The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

Response: The applicant is proposing to develop a total of 59 lots on 29.656 ac for a maximum residential density of 1.98 du/ac.

Policy 4.15

The City of Apopka recognizes the need to protect specific rare natural communities within the Wekiva Study Area. These include the longleaf pine, sand hill, sand pine and xeric oak communities. The City shall require that a site assessment produced by an environmental professional verify the existence or lack thereof of these natural communities on all sites over 10 acres in size.

- If portions of these communities (less than or equal to 50%) exist on potential development sites, they shall be protected. The development potential lost through this protection shall be allowed to be transferred to more appropriate areas of the site. If more than 50% of the site is encompassed by one of these communities, 50% of the natural community shall be protected with the density transferred from the protected portion of the site to the developed portion.*

Response: The subject site is within the Wekiva Study Area. Due to the existing commercial use on the property, there are few existing trees. The trees are primarily located within the employee parking area, and along the property boundary. A tree survey will be provided and evaluated for preservation or removal at the time of Master Development Plan review. Tree preservation on site shall be consistent with the Apopka Land Development Code (LDC).

- As part of this assessment, the developer shall identify any karst features that include but are not limited to sinkholes with a direct connection to the aquifer and other karst features located on the site. All development shall maintain buffers in accordance with Policy 15.2 of this element.*

Response: A detailed geotechnical report will be submitted under a separate cover for review.

Objective 6

- *The City of Apopka shall provide water and sewer services within the corporate limits or to areas within its Utility Service Area as defined in the Amended and Restated Water, Wastewater and Reclaimed Water Territorial Agreement with Orange County. Amendment to the Agreement shall require amendment to the Comprehensive Plan.*

Response: Existing utilities are available adjacent to the subject parcel. Utility services for potable water, reclaim water and sanitary sewer service shall be provided by the City of Apopka.

Objective 10

- *All new development within the Wekiva River Protection Area shall be very low suburban residential density of two units per acre or less in nature, unless a proposed development would have less impact on natural resources.*

Response: The subject site is within the Wekiva River study area, which limits residential development to 2 du/ac. The applicant is seeking approvals to develop the 29.656 ac site with a maximum 59 dwelling units.

Policy 14.5

The following surveys and studies are required to be submitted with a subdivision plat or site plan or its functional equivalent, such as Planned Unit Developments for any project 30 acres in size or larger and shall be conducted by a qualified environmental professional or a licensed geologist to evaluate the location and presence of sensitive environmental features.

- 1) *An analysis of soils and other geotechnical information, using data such as the Wekiva Aquifer Vulnerability Assessment, to determine the location of the most effective recharge areas as the term is used in Rule 40C-41.063(3), F.A.C. or soils determined by the U.S. Soil Conservation Service to be Type "A" Hydrologic Soils Group which are the most effective recharge areas.*
- 2) *An analysis of the site to determine the location and nature of sinkholes and other karst features of the property such as stress-to-sink and other direct connections to the aquifer including an analysis to determine the depth to water table, the location of the Floridan aquifer relative to ground surface, and the thickness and extent of protective clay layers over the aquifer. This analysis may include the use of geophysical surveys, such as microgravity, ground penetrating radar surveys and soil borings or their appropriate alternatives and may be supplemented with documented locations of sinkholes, light detection and ranging surveys (LIDAR) and aerial photographs.*
- 3) *An analysis of the site to determine the location of sensitive natural habitats including Longleaf Pine, Sand Hill, Sand Pine and Xeric Oak Scrub. This analysis shall be coordinated with the Florida Fish and Wildlife Conservation Commission and the Florida Department of Environmental Protection.*

Response: A detailed geotechnical report and environmental report shall be submitted under a separate cover.

Objective 15

Site plans, subdivisions or their functional equivalent, such as Planned Unit Developments, within the Wekiva Study Area shall meet the design standards as set forth in the following policies.

Policy 15.1

Conservation subdivision designs shall include:

- 1) *Clustering of units on small lots;*
- 2) *Establishment of open space, which shall be connected whenever possible, in recordable easements, plat or other recordable instrument. Open spaces percentages shall be as provided for in Policies 3.1.s;*
- 3) *Central water and sewer treatment facilities connected to the regional system; and*
- 4) *Minimal site disturbance.*

Response: The site is within the Wekiva Study area. The applicant is proposing to develop 59 single family units on 29.656 acres of land. The minimum lot size shall be consistent with the City of Apopka zoning RSF-1B, which permits a maximum of 2 du/ac.

Open space shall be provided in the form of landscape buffers, recreation area, tree preservation areas and connected open space tracts. The residents of the community shall be connected to the existing potable water, reclaim water and sanitary sewer services that are provided by the City of Apopka.

Transportation Element:

Objective 4

To discourage urban sprawl, the City of Apopka shall coordinate transportation system improvements through the adopted Future Land Use Map to support existing and projected population densities, housing and employment patterns; and ensure that land development is consistent with existing and proposed transportation facilities.

Response: Site access shall be provided along Ponkan Pines Road. This road has been reconstructed to meet the city standards. A comprehensive traffic study is being prepared by Traffic Management Consultants and shall be submitted under a separate cover.

1.7 Estimated Level of Services (LOS):

The City of Apopka has an adopted LOS of service for Potable water at 153 gallons per day (GPD) per capita. The estimated population of this community is 183 persons. It is estimated that this community will require 27,999 gallons of potable water per day.

Potable Water LOS			
<u>Units</u>	<u>Population</u>	<u>LOS per Capita (GPD)</u>	<u>Estimated Demand (GPD)</u>
59	183	153	27,999

The City of Apopka has an adopted LOS of service for sanitary sewer at 90 gallons per day (GPD) per capita. The estimated population of this community is 183 persons. It is estimated that this community will require 16,470 gallons of sanitary sewer per day.

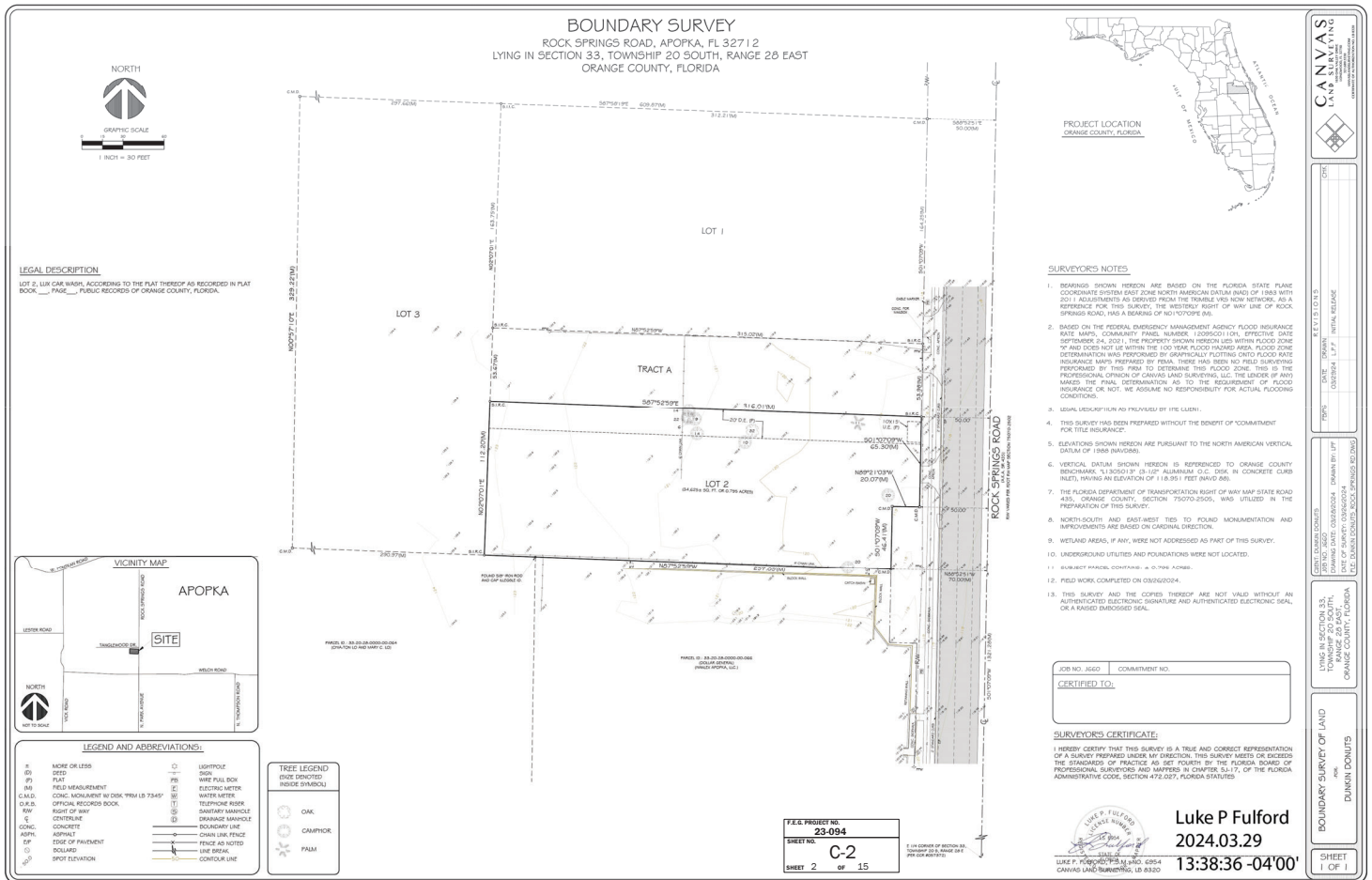
Sanitary Sewer LOS			
<u>Units</u>	<u>Population</u>	<u>LOS per Capita (GPD)</u>	<u>Estimated Demand (GPD)</u>
59	183	90	16,470

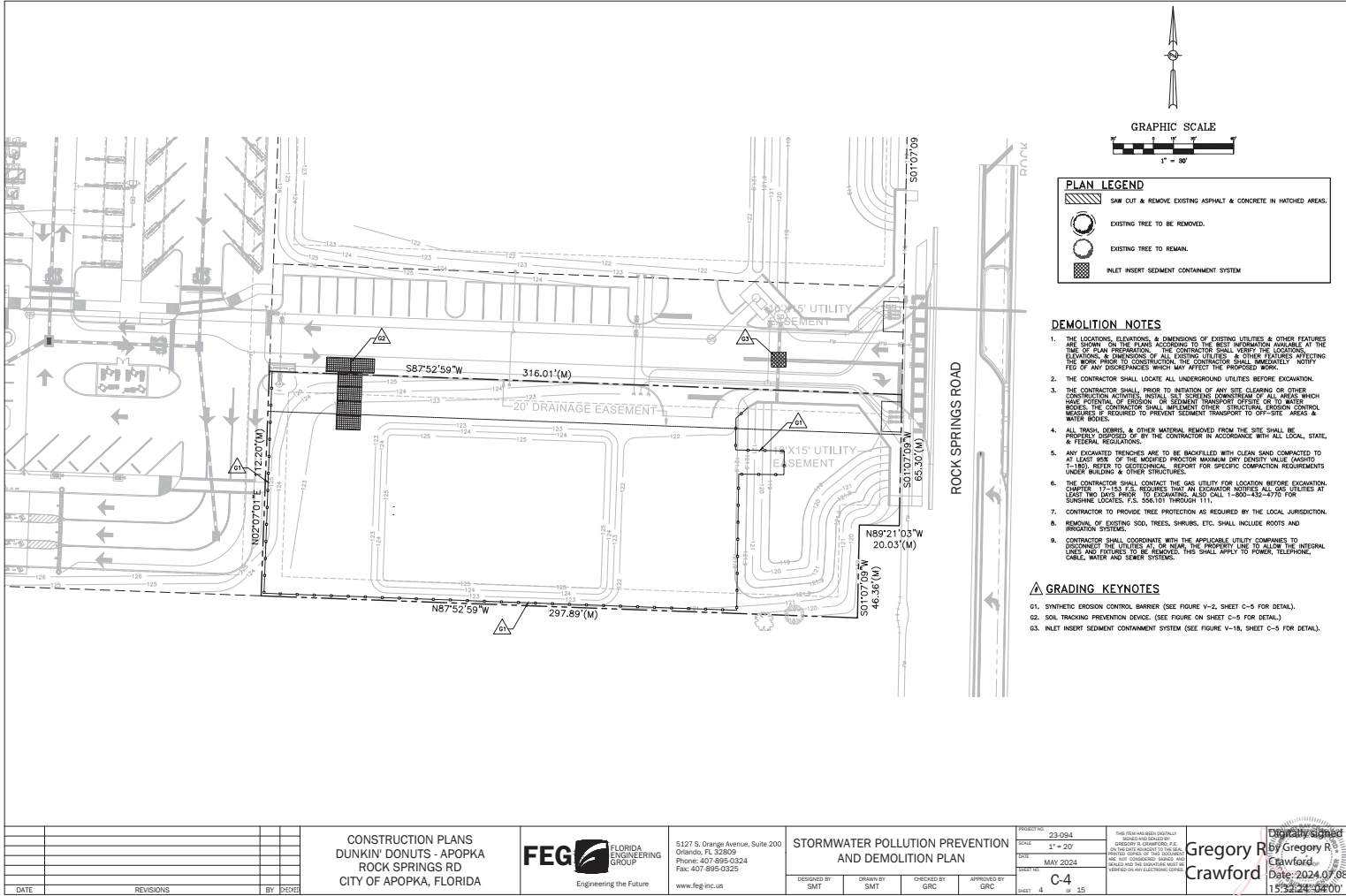
The City of Apopka has an estimated LOS of service for reclaim water at 177 gallons per day (GPD) per capita. The estimated population of this community is 183 persons. It is estimated that this community will require 32,391 gallons of reclaim water per day.

Reclaim Water LOS			
<u>Units</u>	<u>Estimated Population</u>	<u>LOS per Capita (GPD)</u>	<u>Estimated Demand (GPD)</u>
59	183	177	32,391

PARCEL I.D. No. PORTION OF 33-20-28-0000-00-033, 33-20-28-0000-00-042, & 33-20-28-0000-00-048

23-094 Cover.dwg





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1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & REGULATIONS GOVERNING POLLUTION OF THE ENVIRONMENT & SHALL IMPLEMENT ALL MEASURES NEEDED TO ENSURE ADEQUATE EROSION & SEDIMENT CONTROL DURING THE ENTIRE DURATION OF CONSTRUCTION. EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO CITY OF APOPKA, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, & FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS. INSTALLATION OF SILT FENCES & TYPICAL BARRIERS SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY TRAFFIC DESIGN STANDARDS & STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.

3. THE CONTRACTOR SHALL PREPARE & IMPLEMENT AN EROSION CONTROL PLAN AS PART OF THE SCOPE OF WORK COVERED BY THESE PLANS. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION & SEDIMENT TRANSPORT DURING CONSTRUCTION. THE FLORIDA DEVELOPMENT MANUAL "A GUIDE TO SOUND LAND & WATER MANAGEMENT" MAY BE USED AS REFERENCE FOR RECOMMENDED BEST MANAGEMENT PRACTICES RELATED TO EROSION & SEDIMENT CONTROL.

4. THE CONTRACTOR SHALL SUBMIT THE EROSION CONTROL PLAN TO THE OWNER FOR APPROVAL PRIOR TO

A. STOCKPIILING OF MATERIAL.
NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.

C. INLET PROTECTION
INLETS & CATCH BASINS SHALL BE PROTECTED DURING CONSTRUCTION FROM SEDIMENT LADEN STORMWATER RUNOFF BY PROVIDING A COMBINATION OF SILT SCREENS, SYNTHETIC BALES, FILTER FABRIC COVERS OR OTHER MEASURES AS NECESSARY TO CONTROL THE TRANSPORT OF SEDIMENT.

INCHES OF LOOSE MEASURE OF MULCH MATERIAL INTO THE SOIL OF THE SEEDING AREA TO A DEPTH OF 1 INCH. THE SEEDS OR SEEDED & MULCHED AREAS SHALL BE ROLLED & WATERED AS NEEDED TO ENSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. IF AFTER 14 DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% OF GOOD GRASS COVER, THE AREAS WILL BE REWORKED & ADDITIONAL SEED APPLIED TO ESTABLISH THE DESIRED VEGETATION COVER. REWORKED & ADDITIONAL SEED APPLIED

6. APPROXIMATE SLOPES AFTER MAJOR GRADING VARIES BETWEEN 0.5% TO 8.0%. MAXIMUM SLOPES ARE FOUND IN THE POND AND RANGE BETWEEN 3:1 TO 4:1.

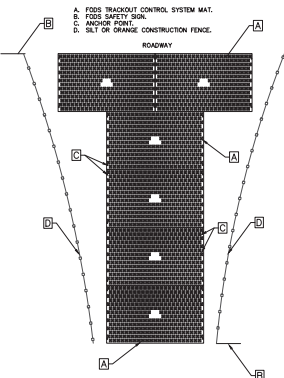
7. AREAS OF SOILS DISTURBANCE IS LIMITED TO THE AREA WITHIN THE SILT FENCE LIMITS AS SHOWN ON THE STORMWATER POLLUTION PREVENTION AND DEMOLITION PLAN (SEE SHEET C-4).

8. ALL DISTURBED, ERODIBLE AREAS WILL BE SOILED UNLESS OTHERWISE NOTED.

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE ADJUSTED TO MEET THE EXISTING CONDITIONS OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

A. FODS TRACKOUT CONTROL SYSTEM MAT.
B. FODS SAFETY SIGN.
C. ANCHOR POINT.
D. SILT OR ORANGE CONSTRUCTION FENCE.

ROADWAY



TYPICAL ONE-LANE LAYOUT

1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT

- [illegible]

1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.

REMOVAL

REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.

2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT

FIGURE V-19

Spacing of Posts:

Up to 6 feet apart for Type 3
Up to 10 feet apart for Type 4

FABRIC MATERIAL

WHEN FABRIC IS INSTALLED IN A TRENCH WITH COMPACTED SOIL, ANCHORS CAN BE ATTACHED TO REDUCE THE

Diagram illustrating the installation of fabric material on a slope. The fabric material must be securely fastened to the posts or (if used) to the wire mesh. The diagram shows runoff flowing down the slope.

WOOD OR STEEL POST
INSTALLED BEFORE
COMPACTING BACKFILL
MATERIAL

6" - 12" 12" DIA. (minimum)

COMPACTED BACKFILL

SLICING METHOD

12-IN. (MINIMUM)

BLIND

WHEN TRENCHING IS USED

PLACE THE END POST OF ONE FENCE INSIDE THE END POST OF THE OTHER FENCE.

ROTATE BOTH POSTS AT LEAST 90 DEGREES IN A

TRENCHING METHOD

FABRIC MATERIAL MUST BE PLACED IN A 6-IN. x 6-IN. TRENCH WITH A "U" SHAPE BEFORE BACKFILLING AND COMPACTING THE SOIL.

DIRECTION OF RUNOFF WATER

DRIVE BOTH POSTS ABOUT 12-IN. INTO THE GROUND AND BURY THE FLAP IN A TRENCH.

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Figure V-2: Illustration of a Silt Fence Barrier

1. A SOIL TRACKING PREVENTION DEVICE (STPD) SHALL BE CONSTRUCTED AT THE LOCATION SHOWN ON THE PLANS. TRAFFIC FROM UNSTABILIZED AREAS OF CONSTRUCTION SHALL BE DIRECTED THRU THE STPD BARRIER. FLAGGING OR OTHER POSITIVE MEANS SHALL BE USED AS REQUIRED TO LIMIT & DIRECT VEHICULAR EGRESS ACROSS THE STPD.
2. THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE TECHNIQUE TO MINIMIZE OFFSITE TRACKING OF SEDIMENT. THE ALTERNATIVE MUST BE REVIEWED & APPROVED BY THE ENGINEER &/OR CITY OF APOPKA PRIOR TO ITS USE.

3. ALL MATERIALS SPILLED, DROPPED, OR TRACKED ON PUBLIC ROADS (INCLUDING THE STPD AGGREGATE & CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER &/OR CITY OF APOKKA.
4. AGGREGATES SHALL BE AS DESCRIBED IN SECTION 901 EXCLUDING 901-2.5. AGGREGATES SHALL BE AVAILABLE TO THE PUBLIC IF IT IS NOT AVAILABLE, THE NEXT AVAILABLE SIZE AGGREGATE MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER. SIZES CONTAINING EXCESSIVE SMALL AGGREGATE PARTICLES SHALL BE REJECTED.
5. THE STPD SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM ITS FUNCTION TO PREVENT OFFSITE TRACKING. THE STPD SHALL BE RINSED (WHEN IN USE) TO MOVE ACCUMULATED MUD DOWNWARD FROM THE STONE AGGREGATE. RINSE WATER OF THE VEHICULAR ROAD LEADING TO THE STPD SHALL BE REQUIRED TO BE REMOVED FROM THE MUD.

A) WASTE DISPOSAL:

WASTE MATERIAL:

NO CONSTRUCTION WASTE WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE SUPERINTENDENT CONSTRUCTION TRAILER. THE INDIVIDUAL RESPONSIBLE FOR MANAGING THIS TASK WILL BE IDENTIFIED BY THE CONTRACTOR.

SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY LOCAL REGULATION.

B) OFFSITE VEHICLE TRACKING:

SPECIFIC NOTES:

BEYOND THE LIMITS SHOWN DEEMED NECESSARY BY THE CONTRACTOR SHALL BE VERIFIED DURING THE B
PROCESS AND COORDINATED WITH OWNER AND LOCAL JURISDICTION. RESTORATION OF ALL AREAS IMPACTED
BY THE CONSTRUCTION SHALL BE MADE AS PART OF THE BASE BID FOR THE PROJECT TO A CONDITION
EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

THE SURFACE AREA OF OPEN, RAW ERODIBLE SOILS EXPOSED BY CLEARING & GRUBBING OPERATIONS OR EXCAVATION & FILLING OPERATIONS SHALL BE LIMITED AS NEEDED TO MINIMIZE THE POTENTIAL OF DUST PRODUCTION. IN ADDITION,

1. ALL EXPOSED AREAS SHALL BE PROTECTED BY INSTALLING DUST CONTROL MEASURES SUCH AS STABILIZING EXPOSED SOILS USING VEGETATION, MULCHING, SPRAY-ON ADHESIVES, CALCIUM CHLORIDE, WET SUPPRESSION (WATERING) AND STONE/GRAVEL LAYERING AS APPLICABLE FOR THE PROJECT AND DEMED NECESSARY BY THE CONTRACTOR TO CONTROL DUST.

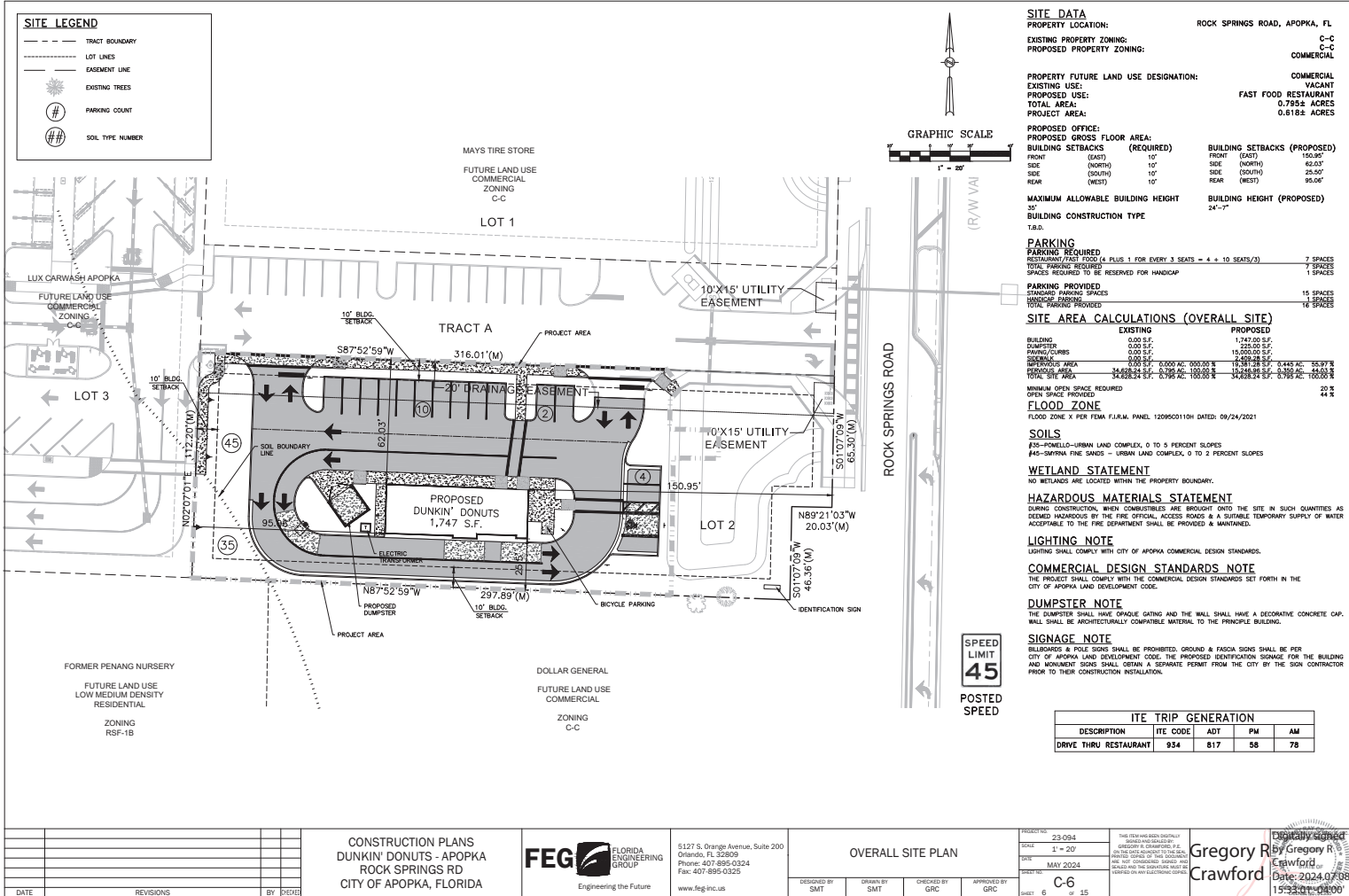
2. ON-SITE VEHICLE TRAFFIC SHOULD BE LIMITED TO A MAXIMUM 15 MPH SPEED, AND THE NUMBER AND ACTIVITY OF VEHICLES SHOULD BE CONTROLLED AT ANY GIVEN TIME.
3. A MOBILE UNIT SHOULD BE AVAILABLE TO APPLY WATER TO CONTROL DUST WHEN NEEDED.
4. DUSTS SHALL BE PROVIDED FOR ALL HAUL TRUCKS TRANSPORTING MATERIALS THAT CONTRIBUTE TO COVER.
5. IF A CHEMICAL STABILIZATION METHOD IS USED, THE CHEMICALS SHOULD BE APPROVED FOR USE BY THE APPROPRIATE REGULATORY AGENCIES AND SHALL NOT CREATE ANY ADVERSE IMPACTS TO STORMWATER, PLANT LIFE, WATER BODIES, GROUNDWATER, OR FISH AND WILDLIFE.

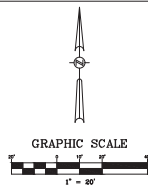
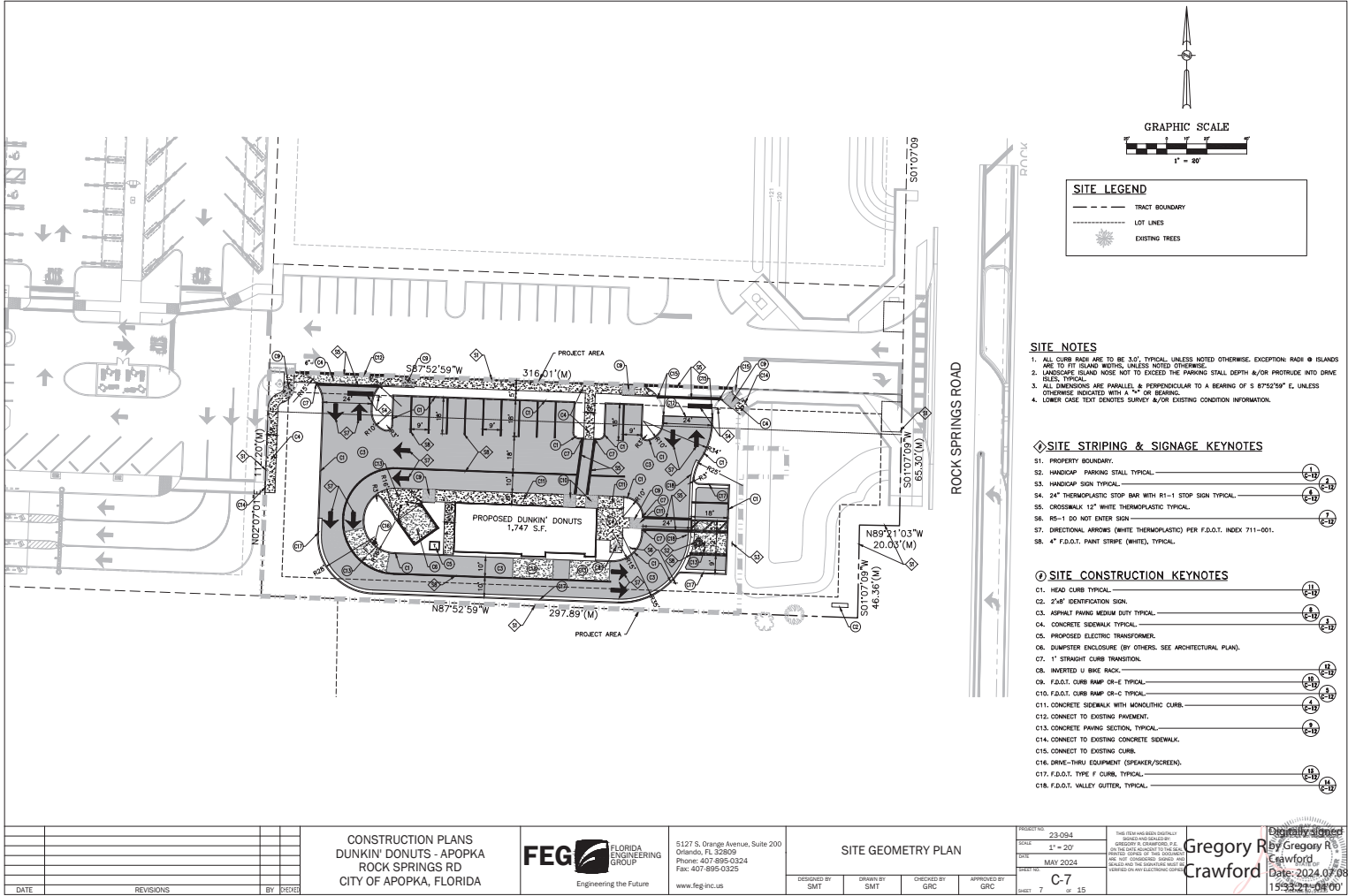
A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) IS REQUIRED FOR THE PROJECT. UNLESS OBTAINED BY THE OWNER, THE CONTRACTOR SHALL APPLY AND OBTAIN A NOI NPDES PRIOR TO START OF CONSTRUCTION ACTIVITIES.

Figure V-18: Illustration of an Inlet Insert Sediment Containment System

Figure 3.3. Illustration of a Ritz Energy Density

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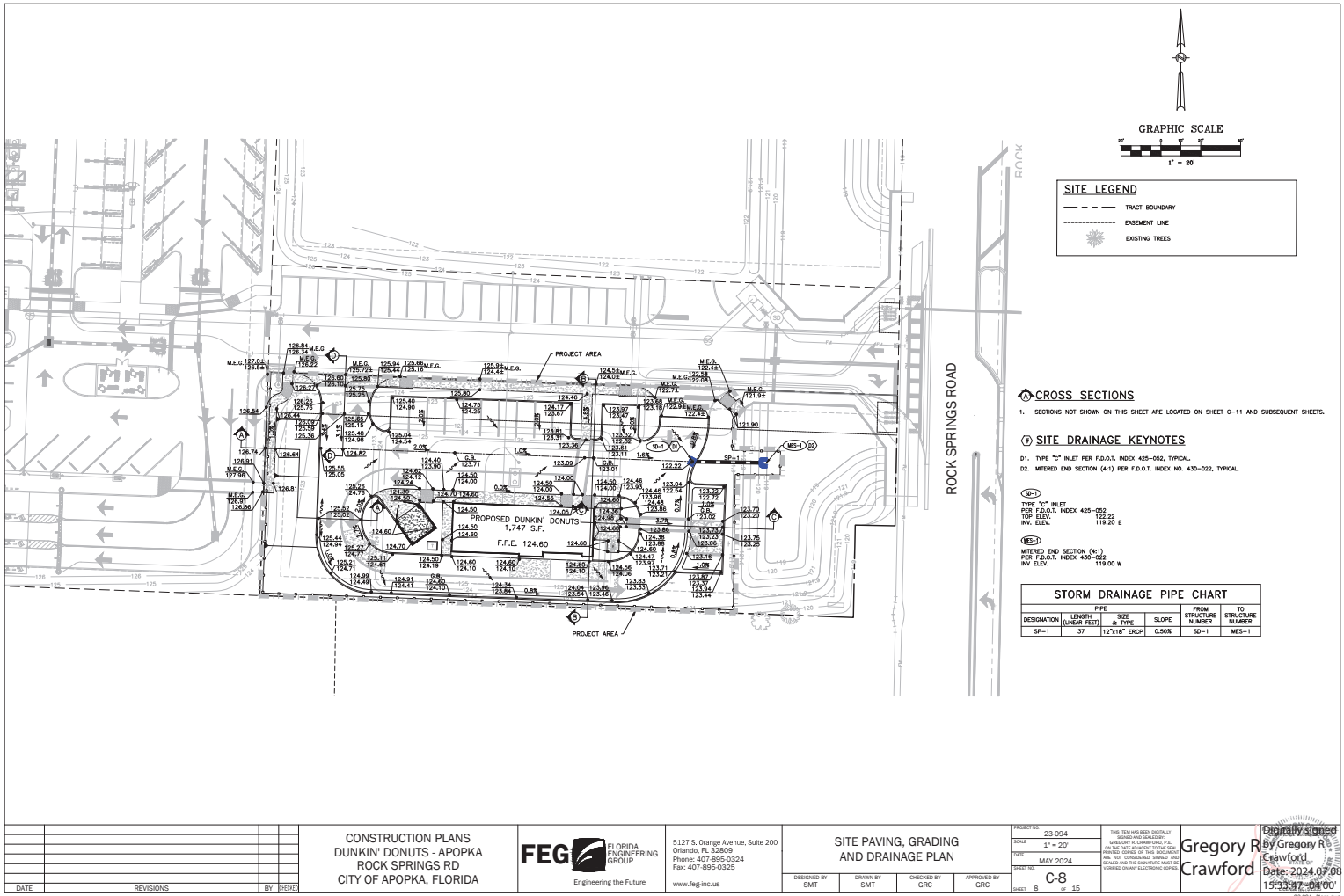
SITE LEGEND	
	TRACT BOUNDARY
	LOT LINES
	EXISTING TREES

- SITE NOTES**
1. ALL CURB RADI ARE TO BE 3.0', TYPICAL, UNLESS NOTED OTHERWISE. EXCEPTION: RADI @ ISLANDS ARE TO FIT ISLAND WIDTHS, UNLESS NOTED OTHERWISE.
 2. LANDSCAPE ISLAND NOSE NOT TO EXCEED THE PARKING STALL DEPTH &/OR PROTRUDE INTO DRIVE RILES, TYPICAL.
 3. ALL DIMENSIONS ARE PARALLEL & PERPENDICULAR TO A BEARING OF S 87°32'59" E, UNLESS OTHERWISE INDICATED WITH A ° OR BEARING.
 4. LOWER CASE TEXT DENOTES SURVEY &/OR EXISTING CONDITION INFORMATION.

- ◆ SITE STRIPING & SIGNAGE KEYNOTES**
- S1. PROPERTY BOUNDARY.
 - S2. HANDICAP PARKING STALL TYPICAL.
 - S3. HANDICAP SIGN TYPICAL.
 - S4. 24" THERMOPLASTIC STOP BAR WITH R1-1 STOP SIGN TYPICAL.
 - S5. CROSSWALK 12" WHITE THERMOPLASTIC TYPICAL.
 - S6. R5-1 DO NOT ENTER SIGN.
 - S7. DIRECTIONAL ARROWS (WHITE THERMOPLASTIC) PER F.D.O.T. INDEX 711-001.
 - S8. 4" F.D.O.T. PAINT STRIPE (WHITE), TYPICAL.

- ① SITE CONSTRUCTION KEYNOTES**
- C1. HEAD CURB TYPICAL.
 - C2. 24" IDENTIFICATION SIGN.
 - C3. ASPHALT PAVING MEDIUM DUTY TYPICAL.
 - C4. CONCRETE SIDEWALK TYPICAL.
 - C5. PROPOSED ELECTRIC TRANSFORMER.
 - C6. BUMPER ENCLOSURE (BY OTHERS. SEE ARCHITECTURAL PLAN).
 - C7. 1" STRAIGHT CURB TRANSITION.
 - C8. INVERTED U BIKE RACK.
 - C9. F.D.O.T. CURB RAMP OR-E TYPICAL.
 - C10. F.D.O.T. CURB RAMP OR-C TYPICAL.
 - C11. CONCRETE SIDEWALK WITH MONOLITHIC CURB.
 - C12. CONNECT TO EXISTING PAVEMENT.
 - C13. CONCRETE PAVING SECTION, TYPICAL.
 - C14. CONNECT TO EXISTING CONCRETE SIDEWALK.
 - C15. CONNECT TO EXISTING CURB.
 - C16. DRIVE-THRU EQUIPMENT (SPEAKER/SCREEN).
 - C17. F.D.O.T. TYPE F CURB, TYPICAL.
 - C18. F.D.O.T. VALLEY GUTTER, TYPICAL.

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**SITE PAVING, GRADING
AND DRAINAGE PLAN**

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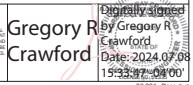
SHEET
8 OF 25

DATE
MAY 2024

SCALE
1" = 20'

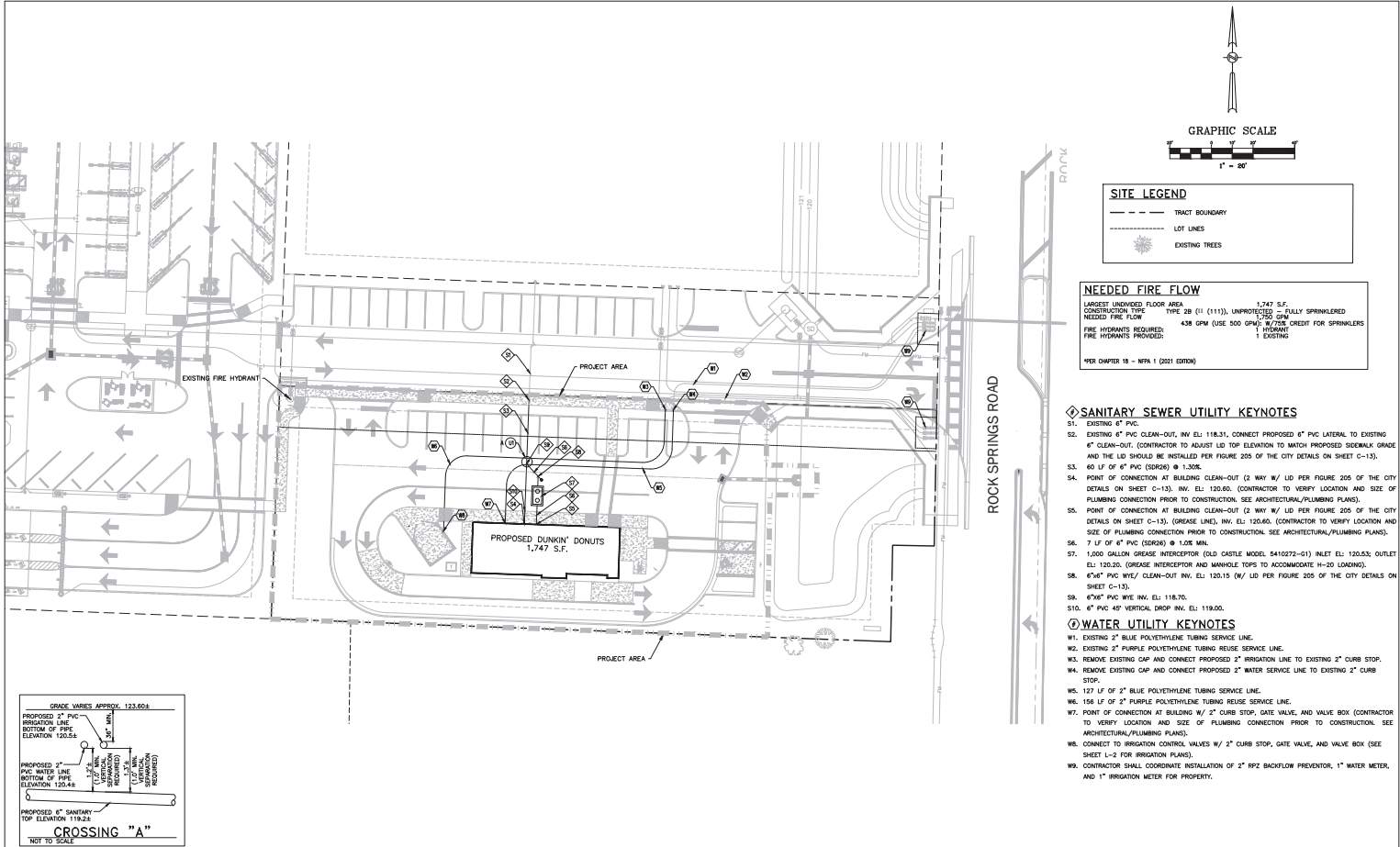
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C-8

STREET NAME
C-8



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Professional Engineer
No. 15337
Date: 2024.07.08
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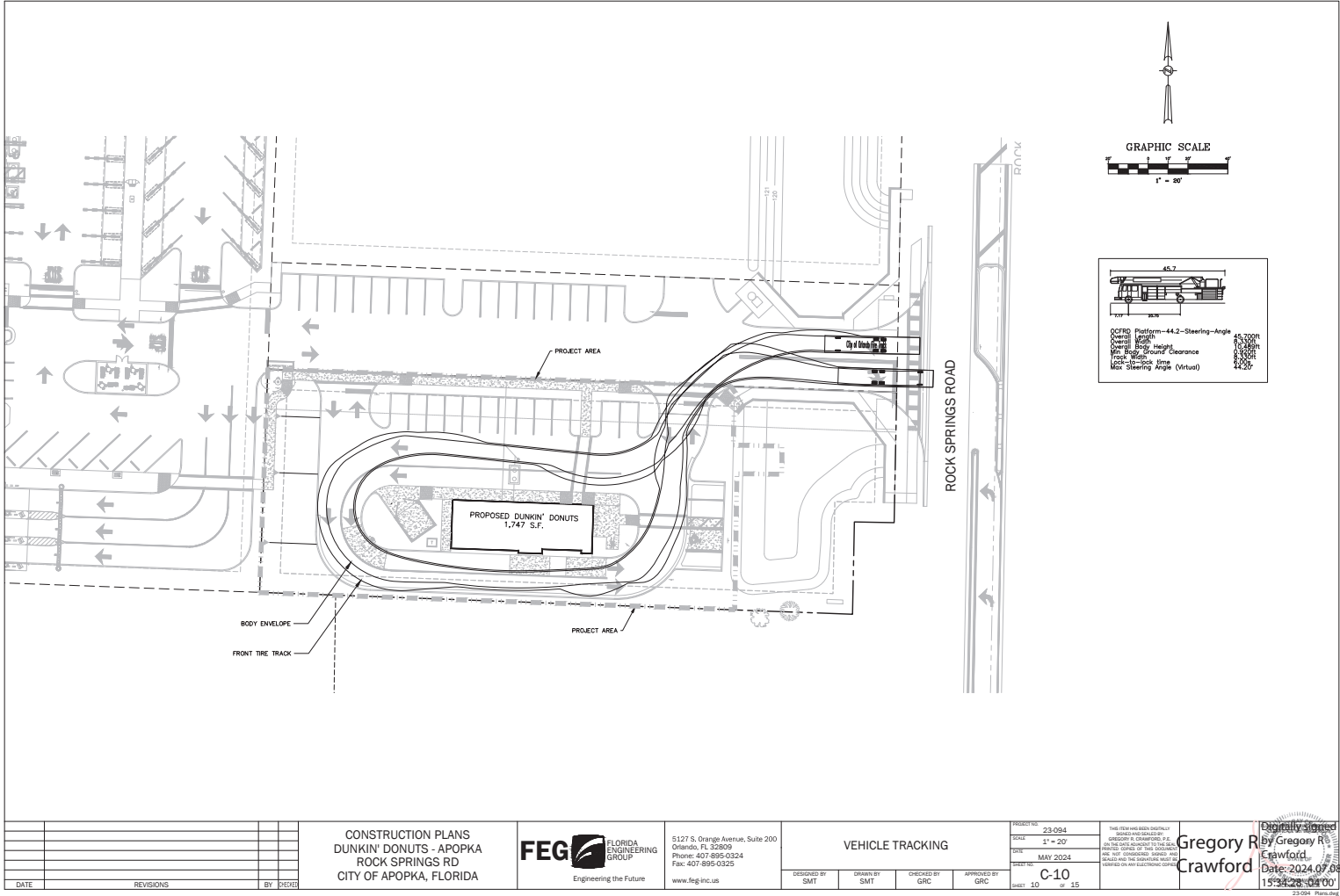
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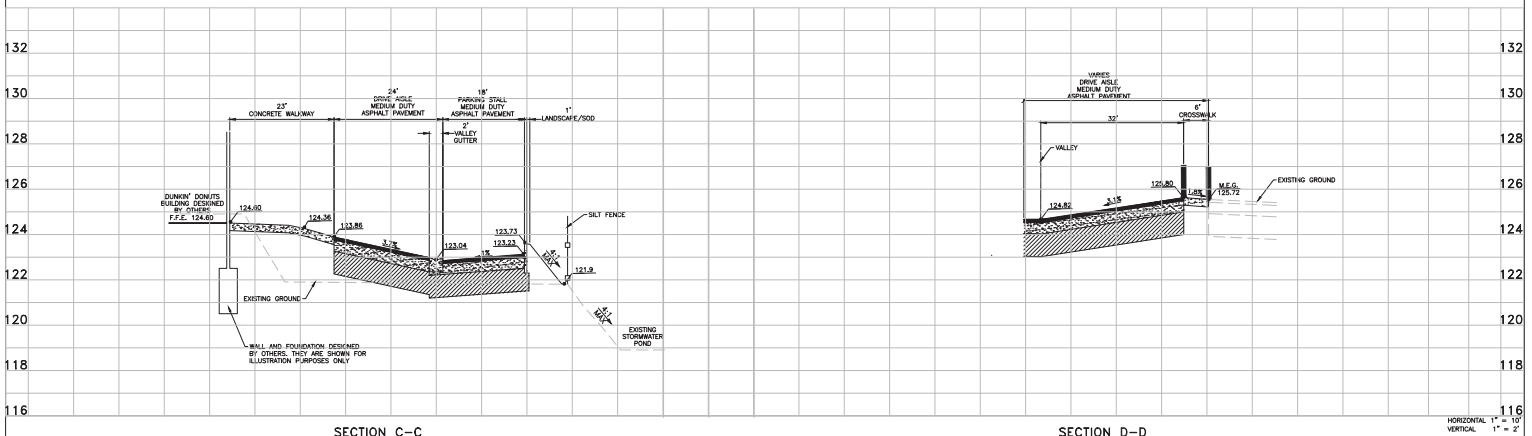
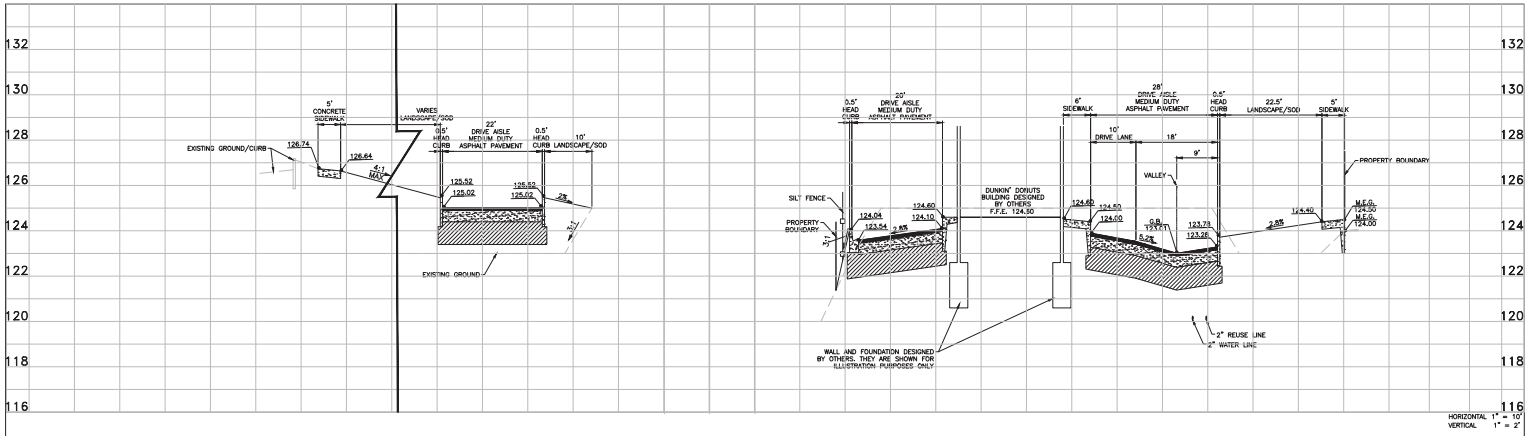
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P.E.
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HANDICAP PARKING DETAIL
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HANDICAP SIGN DETAIL
NOT TO SCALE

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

SIDEWALK WITH MONOLITHIC CURB DETAIL
NOT TO SCALE

R1-1 STOP SIGN DETAIL
NOT TO SCALE

R5-1 DO NOT ENTER SIGN DETAIL
NOT TO SCALE

ASPHALT PAVING MEDIUM DUTY SECTION
NOT TO SCALE

CONCRETE PAVING SECTION DETAIL
NOT TO SCALE

HEAD CURB DETAIL
NOT TO SCALE

F.D.O.T. TYPE C INLET DETAIL
NOT TO SCALE

INVERTED U BIKE RACK DETAIL
NOT TO SCALE

F.D.O.T. TYPE F CURB DETAIL
NOT TO SCALE

F.D.O.T. CURB RAMP CR-C DETAIL
NOT TO SCALE

F.D.O.T. CURB RAMP CR-E DETAIL
NOT TO SCALE

F.D.O.T. VALLEY GUTTER DETAIL
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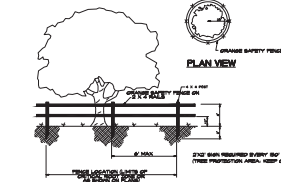
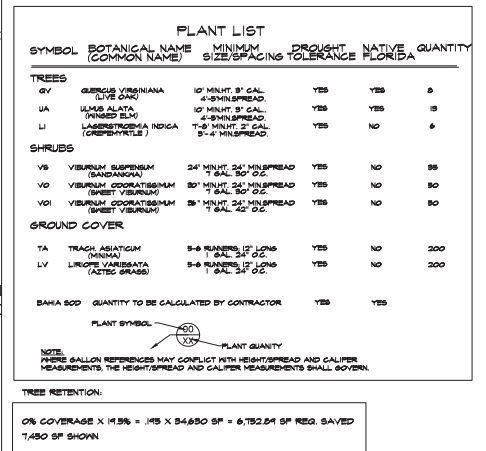
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TREE PROTECTION FENCE DETAIL

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Ravensdale Planning & Design
Land Planning Landscape Architecture • Project Management Expert Witness
 5206 South Pointe Drive, Jensen Beach, Florida 34455

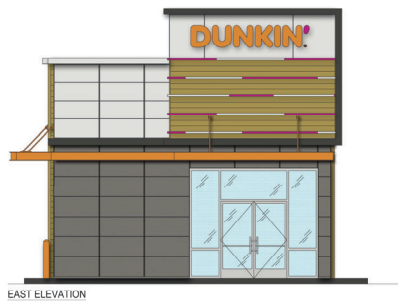


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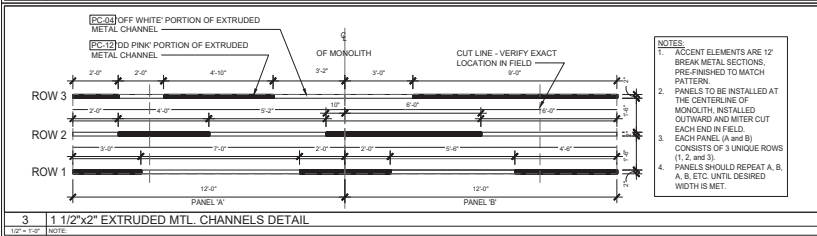
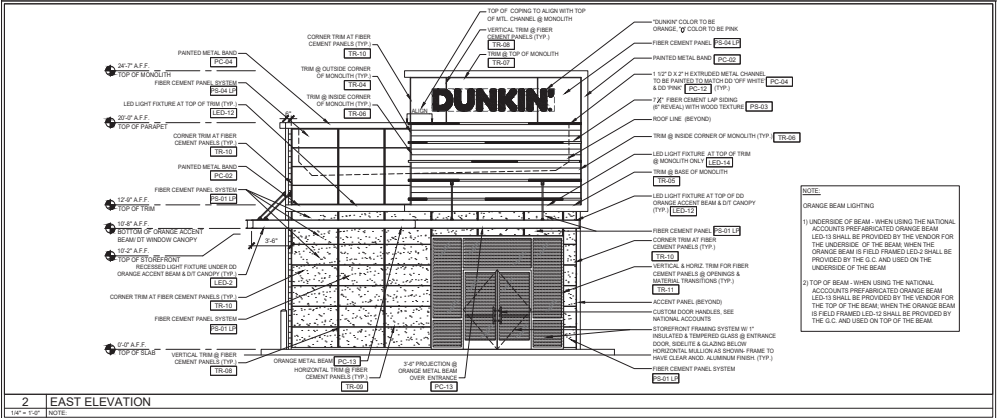
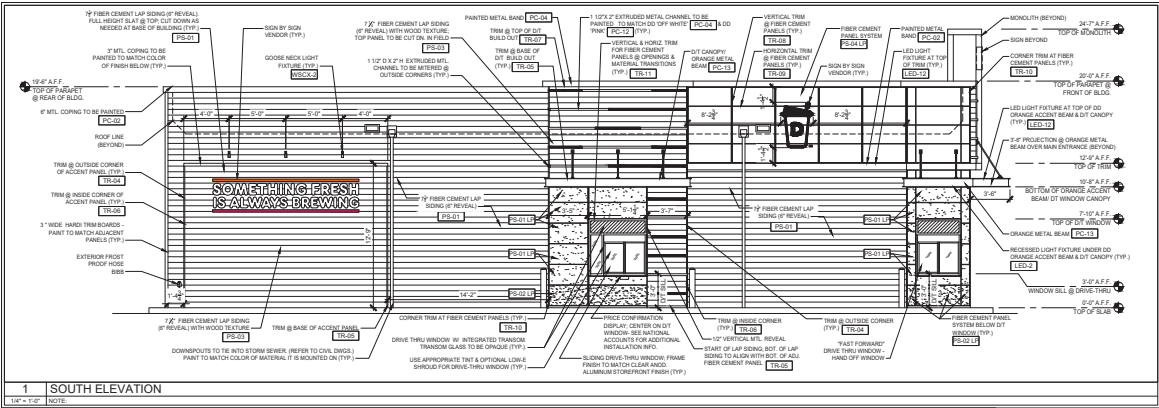


MRV

ARCHITECTS, INC.



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3	REVISED	08/14/2020	MRV	MRV
4	REVISED	08/14/2020	MRV	MRV
5	REVISED	08/14/2020	MRV	MRV
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26	REVISED	08/14/2020	MRV	MRV
27	REVISED	08/14/2020	MRV	MRV
28	REVISED	08/14/2020	MRV	MRV
29	REVISED	08/14/2020	MRV	MRV
30	REVISED	08/14/2020	MRV	MRV
31	REVISED	08/14/2020	MRV	MRV
32	REVISED	08/14/2020	MRV	MRV
33	REVISED	08/14/2020	MRV	MRV
34	REVISED	08/14/2020	MRV	MRV
35	REVISED	08/14/2020	MRV	MRV
36	REVISED	08/14/2020	MRV	MRV
37	REVISED	08/14/2020	MRV	MRV
38	REVISED	08/14/2020	MRV	MRV
39	REVISED	08/14/2020	MRV	MRV
40	REVISED	08/14/2020	MRV	MRV
41	REVISED	08/14/2020	MRV	MRV
42	REVISED	08/14/2020	MRV	MRV
43	REVISED	08/14/2020	MRV	MRV
44	REVISED	08/14/2020	MRV	MRV
45	REVISED	08/14/2020	MRV	MRV
46	REVISED	08/14/2020	MRV	MRV
47	REVISED	08/14/2020	MRV	MRV
48	REVISED	08/14/2020	MRV	MRV
49	REVISED	08/14/2020	MRV	MRV
50	REVISED	08/14/2020	MRV	MRV
51	REVISED	08/14/2020	MRV	MRV
52	REVISED	08/14/2020	MRV	MRV
53	REVISED	08/14/2020	MRV	MRV
54	REVISED	08/14/2020	MRV	MRV
55	REVISED	08/14/2020	MRV	MRV
56	REVISED	08/14/2020	MRV	MRV
57	REVISED	08/14/2020	MRV	MRV
58	REVISED	08/14/2020	MRV	MRV
59	REVISED	08/14/2020	MRV	MRV
60	REVISED	08/14/2020	MRV	MRV
61	REVISED	08/14/2020	MRV	MRV
62	REVISED	08/14/2020	MRV	MRV
63	REVISED	08/14/2020	MRV	MRV
64	REVISED	08/14/2020	MRV	MRV
65	REVISED	08/14/2020	MRV	MRV
66	REVISED	08/14/2020	MRV	MRV
67	REVISED	08/14/2020	MRV	MRV
68	REVISED	08/14/2020	MRV	MRV
69	REVISED	08/14/2020	MRV	MRV
70	REVISED	08/14/2020	MRV	MRV
71	REVISED	08/14/2020	MRV	MRV
72	REVISED	08/14/2020	MRV	MRV
73	REVISED	08/14/2020	MRV	MRV
74	REVISED	08/14/2020	MRV	MRV
75	REVISED	08/14/2020	MRV	MRV
76	REVISED	08/14/2020	MRV	MRV
77	REVISED	08/14/2020	MRV	MRV
78	REVISED	08/14/2020	MRV	MRV
79	REVISED	08/14/2020	MRV	MRV
80	REVISED	08/14/2020	MRV	MRV
81	REVISED	08/14/2020	MRV	MRV
82	REVISED	08/14/2020	MRV	MRV
83	REVISED	08/14/2020	MRV	MRV
84	REVISED	08/14/2020	MRV	MRV
85	REVISED	08/14/2020	MRV	MRV
86	REVISED	08/14/2020	MRV	MRV
87	REVISED	08/14/2020	MRV	MRV
88	REVISED	08/14/2020	MRV	MRV
89	REVISED	08/14/2020	MRV	MRV
90	REVISED	08/14/2020	MRV	MRV
91	REVISED	08/14/2020	MRV	MRV
92	REVISED	08/14/2020	MRV	MRV
93	REVISED	08/14/2020	MRV	MRV
94	REVISED	08/14/2020	MRV	MRV
95	REVISED	08/14/2020	MRV	MRV
96	REVISED	08/14/2020	MRV	MRV
97	REVISED	08/14/2020	MRV	MRV
98	REVISED	08/14/2020	MRV	MRV
99	REVISED	08/14/2020	MRV	MRV
100	REVISED	08/14/2020	MRV	MRV

SHEET

A-5.0

