



APOPKA DEVELOPMENT REVIEW COMMITTEE AGENDA

August 28, 2024 9:00 AM

Apopka City Hall Council Chambers

SPECIAL EVENTS

ANNEXATION

1. AN-24-8, Golden Grove - Annexation (Annex), 1st Submittal
Owner(s): Robert & Stacy Moss, Timothy Burchfield
Applicant(s): G L Summit Engineering, Inc. - Geoff Summit
Location: 4146 and 4160 Golden Gem Road
Proposed Use: MU-KPI
Project Manager: Bobby Howell
Presented by: Bobby Howell, Planning Manager

FUTURE LAND USE AMENDMENT

1. FLU-24-13, 2300 West Ponkan Road - Future Land Use (FLU), 1st Submittal
2. FLU-24-16, Golden Grove - Future Land Use (FLU) Amendment, 1st Submittal

REZONING

1. FLU-24-13, 2300 West Ponkan Road - Rezoning (Rz), 1st Submittal
2. PD-24-9, Chandler Hills Rezoning/Master Plan, 1st Submittal

DISCUSSION

ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

PLAT OF BOUNDAR

The South 1/2 of the SW 1/4 of the SW 1/4 lying South of the Road (Leaving from the South 1/4 Corner of Section, run East 168.76 feet to the Point of Beginning; thence run North easterly 390.31 feet South East 139.19 feet, West 44.8 feet to the Point of Beginning, all in Section 19, Township 20 South, Range 28 East, Orange County, Florida. ALSO BEING DESCRIBED AS FOLLOWS: From the South 1/4 corner of Section 10, Township 20 South, Range 28 East, run South 89 degrees 40'22" East, along the South line of said Section 10, a distance of 198.39 feet to a point on the South line; thence North 28 degrees 58'49" West, a distance of 198.39 feet to a point on the Southerly right-of-way line of Pankon Road; sold point being on a curve concave to the Northwest having a central angle of 00 degrees 38'27" and a radius of 353.06 feet; thence North 52 degrees bearing of North 52 degrees 46'02" East, run North Easterly along the arc of said curve and said right-of-way line, a distance of 5.00 feet to the point of tangency; thence North 52 degrees 28'35" East, a distance of 72.90 feet to the point of curvature of a curve concave to the Northwest having a central angle of 18 degrees and a radius of 353.06 feet; thence Easterly along the arc of said curve, a distance of 474.11 feet to the point of tangency; thence South 50 degrees 34'58" East, a distance of 40.00 feet to the point of curvature of a curve concave to the Northwest having a central angle of 18 degrees 56'13" and a radius of 985.37 feet; thence run Southeasterly along the arc of said curve a distance of 325.68 feet; thence South 01 degrees 43'22" East, a distance of 28.87 feet to a point on the South line of Section 10; thence North 52 degrees 40'22" West, along said South line, a distance of 714.57 feet to the Point of Beginning.



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P:\PROJECT DRAWINGS\ASH-014 Kelly Park South Assembly\Drawings\CAD CHANDLER\Layout\03-KPI-MU Master Plan\Master Plan.dwg Modified: 7/29/2024 By: bskiles Printed: bskiles.killed

CHANDLER HILLS MASTER PLAN DEVELOPMENT STANDARDS

A. Design Standards⁽¹⁾

1. LOT CRITERIA (based on KPI Neighborhood Design Criteria):

Description	Single-Family Detached 34' Lots (Rear-Loaded)	Single-Family Detached 55' & 60' Lot (Front-Loaded)
Front Porch Setback ⁽²⁾	10'	10'
Front Facade Setback	15' min./30' max.	15' min./30' max.
Rear Setback ⁽³⁾	5' min.	20'
Side Setback	5'	5'
Corner/Side Street Setback	10'	10'
Garage Front Setback	N/A	20' min./30' max
Garage Rear Setback	20'	N/A
Min. Average Lot Area	3,910 SF	6,600 SF
Min. Lot Width	34'	55'
Min. Lot Depth	115'	120'
Max. Lot Coverage	75%	75%
Max. Building Height	35 1/2 Stories	35 1/2 Stories
Min. Living Area	1,500 SF	1,600 SF
3 car garage less than 50% of facade	N/A	—
Building foundation 18' above c/l of ROW	Keep at grade level	—

- (1) See Master Plan sheet for depiction of conceptual typical site plans.
(2) Front porch requirements and setback as allowed per Kelly Park Interchange (KPI) Form-Base Code Section J.1 and K.2(g)(v).
(3) Swimming pools and other structures allowed to encroach within rear setback per CPI Table 10.2.4.B of the Apopka Code.

B. Architectural, Buildings, and Accessory Structures

- Architectural design shall meet the intent of City of Apopka Kelly Park Interchange Form-Base Code or unless otherwise stated.
- All lots shall have detached single-family homes.
- Each individual single-family home shall have a minimum of two (2) bedrooms.
- All front-loaded lots shall have a minimum two (2) car garage.
- All rear-loaded lots shall have a minimum one (1) car garage.
- Mail delivery for all lots within Chandler Hills shall occur at cluster mailbox units. Approval from the Postmaster of the location shall be submitted prior to approval of the Construction Site Plan.
- A/C condenser units & similar equipment shall be placed in the side or rear yard area. Units & similar equipment shall be placed with a minimum three (3) feet setback from side property line. Units shall be screened from side streets with landscaping or opaque fencing.
- Storage sheds or similar storage facilities shall not be allowed.

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CHANDLER HILLS MASTER PLAN DEVELOPMENT STANDARDS

- Swimming pools shall be allowed on all front-loaded lots.
- Swimming pools shall not be allowed on rear-loaded lots.
- Architectural Design Standards:
 - Architectural styles shall be determined prior to Construction Site Plan approval, and these shall meet the intent of the City of Apopka's Kelly Park Interchange Form-Base Code except as noted on these Development Standards. Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
 - Front facade materials such as cultured stone veneer, stucco, wood plank, and fiber cement siding may be utilized to be consistent with the applicable Architectural Style.
 - Minimum roofpitch over the main house and garage shall be 5/12. Roof pitch over porches shall be a minimum of 4/12.
 - Thirty-year asphalt shingles shall be installed on all roofs. Three-tab shingles are prohibited. The shingle color shall complement the color scheme of the house.
 - Aluminum and vinyl fascia and soffit shall be standard for all houses. Fascia and soffitcolor shall complement the color scheme of the house.
 - Trim around windows and doors shall be painted a different color from the body of the house. Doors may be painted either the same as the trim or separate accent color.
 - Concrete or pavers shall be installed in rear yard driveways, lead walks, porches, and porticos.
- Front Building Entrance Elevation Design Standards:
 - Front building entrance shall feature a minimum four (4) feet deep (per Kelly Park Interchange Form-Base Code Section J.4 Figure 16) porches & porticos flush or projecting beyond front wall or similar feature. Porches shall be a minimum width of eight (8) feet and a minimum clear height of eight (8) feet.
 - Front garages shall be attached and recessed from the primary facade (not including porches, bays, or other minor projections) by a minimum of four (4) feet.
 - Garage frontage shall be limited to 25%. Frontage is determined by garage door width.
 - Front porches and porticos may be at grade level.
 - Should any home's front elevation comprise less than the required 10% of windows, the front door shall be predominantly made of glass.
 - Identical mold plan type shall not be constructed on neighboring lots who share a side yard property boundary line or area directly across the street without a different elevation type.
 - Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line or are directly across the street.
 - Specific elevations style types shall have similar wall finishes, window grid patterns, window banding & trim, roof lines and slopes, etc. Applied to each lot width model plan type front elevations.
 - Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from exterior elevations must be approved by City Council.
- Individual Lot Front & Rear Yard Fencing Standards:
 - Maximum height of a fence shall be six (6) feet above final grade or six (6) inches less than the community common wall height, whichever is less. No fence shall exceed the height of an abutting common area wall.
 - Fencing at rear yards of rear alley loaded lots shall be setback a minimum two (2) feet from the alley and driveway edges.
 - Fencing at street corner lot side yards shall adhere to LDC Section 5.5.

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CHANDLER HILLS MASTER PLAN DEVELOPMENT STANDARDS

C. Utilities and Infrastructure

- Potable water service shall be provided by the City of Apopka. The water system shall be designed to City of Apopka standards.
- Reclaimed water service shall be provided by the City of Apopka. The reclaimed water system shall be designed to City of Apopka standards.
- Stormwater management system shall be designed to comply with the design standards of the City of Apopka and be St. Johns River Water Management District.
- A final drainage report and soils report will be submitted with the Construction Site Plan.
- Sanitary service shall be provided by the City of Apopka. The sanitary system shall be designed to City of Apopka standards.
- Utility easements shall be dedicated to the City of Apopka.
- Drainage easements to be dedicated to the Homeowners' Association unless otherwise required by the City of Apopka.
- All stormwater and utility pipes may be moved to save existing trees in the right-of-way. Any change in the location of these pipes will be shown on the Construction Site Plan.
- On-site streets are to be constructed per City of Apopka standards.
- Stabilized access roads and fire hydrants must be in place before building construction may begin.
- Solid waste collection and public safety (police and fire) shall be provided by the City of Apopka.
- The Internal Street Type F (Neighborhood) right-of-way is to be public.
- The Internal Street Type F (Alley) right-of-way is to be private.
- Five-foot (5') wide sidewalks are to be constructed adjacent to internal roads throughout the entire project in compliance with the City of Apopka Kelly Park Interchange Form-Base Code unless otherwise noted. Sidewalk alignment may be adjusted at Construction Site Plan to preserve existing trees.
- Garages shall be accessed from the adjacent Street Type F (Alley) at the rear of the lot for all rear-loaded lots.
- Power service within the development shall be underground. No overhead service will be allowed.
- Vehicular, Pedestrian and Accent lighting shall substantially conform to the City of Apopka's Kelly Park Interchange Form-Base Code Section P.4(e).

D. Recreation and Open Space

- Required project open space shall be a minimum of 30% of the developed site area in accordance with City of Apopka Kelly Park Interchange Form-Base Code per Section Q Table 13.
- Required project recreation shall be provided at a rate of 3.6 acres per 1,000 population with 2.6 population per dwelling unit.

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E. Buffers and Landscaping

- A ten-foot (10') buffer will be provided along the northern property boundary. This tract shall be dedicated to and maintained by the H.O.A.
- A 30' ROW Dedication shall be made in favor of the City of Apopka along the northern property boundary adjacent to Kelly Park Road, to include a 12' community trail.
- A ten-to-fifteen-foot (10' - 15') buffer will be provided along all other property boundaries. This tract shall be dedicated to and maintained by the H.O.A.
- The design of all buffer tracts shall follow the City of Apopka Kelly Park Interchange Form-Base Code Section M. Landscaping & Hardscape Plans shall be provided at Construction Site Plan.
- Entrance feature and community sign details will be provided with the Construction Site Plan.
- Final landscape plans for the buffer areas along the proposed main entrance at Kelly Park Road shall be provided with the Construction Site Plan.
- Tree Planting Conditions. Minimum of two (2) new trees shall be planted per residential lot. The new trees shall be a minimum of three (3) inches DBH at the time of planting and shall count toward the overall number of required tree replacement inches, if any.
- Trees within the Street Type F (Neighborhood) shall be medium canopy trees at forty (40) feet minimum spacing, understorey trees at twenty (20) feet minimum spacing per City of Apopka Kelly Park Interchange Form-Base Code Section P.3 Table 12.
- Tree Protection Plan - The Construction Site Plan shall include tree protection techniques to prevent harm to any trees designated to be preserved or encroachment into protected natural areas, including but not limited to tree barricades, sil fencing or other similar techniques accepted by the City Engineer.

F. Maintenance and Plat

- Chandler Hills Homeowners' Association shall maintain common areas including all fences/walls and landscaping within said common areas.
- The Construction Site Plan shall include the plat document, and the plat shall be in final form.
- The City of Apopka shall be responsible for maintenance of Street Type E (Neighborhood), on-street parallel parking spaces, street lighting, stormwater collection systems and utilities (potable water main, reclaimed water main, force main, etc.) within the public rights-of-way of the Chandler Hills.

G. Wetlands and Environmental

- There are no wetland areas within the site.
- According to the flood insurance rate map no. 12097C0000 G Dated June 18, 2013, The land and the improvement as shown on ALTA survey are not within a 100-year flood hazard zone. The land is in "X".
- An erosion control plan will be submitted with the Construction Site Plan.
- Tree removal, tree replacement, and landscaping shall comply with the City of Apopka Kelly Park Interchange Form-Base Code Section M.
- Individual lot tree clearing and grading permit is required prior to clearing or grading of any lot or issuance of building permit. Placement of the house shall preserve existing trees to the greatest extent practical. Plot plan for each lot shall illustrate tree locations as presented within the Construction Site Plan.

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CHANDLER HILLS MASTER PLAN DEVELOPMENT STANDARDS

H. Development Condition Continuity

The MU-KPI Development Standards shall be printed within the MU-KPI Master Plan and the Construction Site Plan.

I. Signage

Signage shall comply with the City of Apopka Kelly Park Interchange Form-Base Code.

J. Lighting

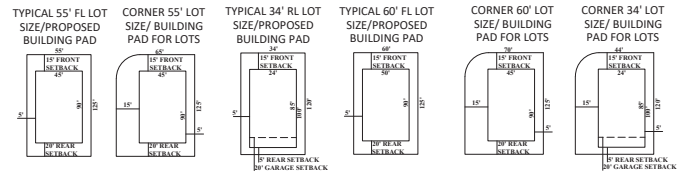
Lighting shall comply with the City of Apopka's Kelly Park Interchange Form-Base Code Section P.4(e). Street and parking area or pedestrian path light poles shall be decorative type. Details will be provided with the Construction Site Plan.

K. Garbage Pickup

- Garbage of rear-loaded single-family units shall be picked up at the adjacent Street Type F (Alley) along the rear of the lots.

L. Miscellaneous

- Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction. Permits shall be applied for and issued by the appropriate agencies.
- All acreages are subject to change with Construction Site Plan and Preliminary Plat review and approval.
- Outdoor storage areas (boats, trailers, recreational vehicles, etc.) are not provided within the development and will be prohibited through the H.O.A. documents.
- All lots with rear alley access shall have uniform address numbers on the front and rear facades of the residence.



CIVIL ENGINEERING & LAND PLANNING		APPIAN ENGINEERING LLC.		APPIAN.COM - 407.960.5968		DATE: 7/29/2024	
DEVELOPMENT STANDARDS		CHANDLER HILLS		CITY OF APOPKA, FLORIDA		BY: [Signature]	
SCALE: N.T.S.		PROJECT: ASH-014		SHEET: C2.0		7/29/2024	
DRAWN: B. KELLEA		DESIGNED: S. SIERRA-GIL		CHECKED: L. CLASSEN		DATE: 7/29/2024	
PROJECT: ASH-014		SHEET: C2.0		DATE: 7/29/2024		7/29/2024	