APOPKA DEVELOPMENT REVIEW COMMITTEE AGENDA

November 6, 2024 9:00 AM

Apopka City Hall Council Chambers

SPECIAL EVENTS

1. Pines of Wekiva HOA - Pines of Wekiva Fall Festival - Pines of Wekiva Boulevard - November 9, 2024, 12:00 PM - 5:00 PM

PLAT

1. PL-24-3, Eden Crest Phase 1 - Plat, 1st Submittal

2. PL-24-2, Willow Run - Plat, 1st Submittal

SITE PLAN:

CONSTRUCTION SITE PLAN

1. CSP-24-8, 1400 West Kelly Park - Construction Site Plan (CSP), 1st Submittal

DISCUSSION

ADJOURNMENT

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

Pines of Wekiva Fall Festival

Nov. 9

DRC: 11/6

Special Event Permit Application

A completed Special Event Permit application is required for all events with the City of Apopka. All events will be reviewed by our Development Review Committee for approval. The City of Apopka has the exclusive right to permit or deny an individual or organization facility use.

Once we have the complete special event application we will schedule for review and approval. Please note this may take time, as we suggest that all applications submitted at least 60 to 90 days prior to the event.

Incomplete applications will not be reviewed. After approval, an estimation of fees forms for your event based on the application and the approval is applicable.

Lexi Lahendro – Events Coordinator
events@apopka.net
407-703-1812

You must submit all required documents with your application.

Special Event Permit Application Checklist

Remember, we suggest that all applications submitted at least 60-90 days prior to the event.

Please review this checklist and make sure you have the items requested below available during this application process.

- Completed Special Event Permit Application
- Event Description
- A non-refundable application fee of $50.00 or completed application for waiver of permit fee is due when application is submitted. *Staff will contact you about this step.*
- A certificate of general liability insurance listing the "City of Apopka" as 'Additional Insured' must be submitted. Copy of the declaration sheet and endorsement page must be included. Additional insurance may be required, please see the event insurance requirements.
- A site plan (Map) or Parade/Race Route **MUST** be submitted with your application. Map must identify location of staging, tents, parking, barricades, vendors, and restrooms and must be to scale.
- Letter from the property owner granting permission for use of their property. (if on private property)
- If alcohol will be served at your event you must include the alcohol permit and insurance with the completed permit
- Copies of flyers and advertisements.
- Policies and protocols in regards to CDC Guidelines/COVID-19 & social distancing
- All renters and vendors must have a listing with the Florida Department of State Division of Corporations. Visit www.sunbiz.org for more information about the process of registering a business.
- All businesses must also must submit a copy of your Business Tax Receipt for the municipality/county that your business/organization is registered in.

Applicant must be present for duration of event.

Organization Name	Pines of Wekiva HOA
Name of Applicant	Michelle Ramharack
Mailing Address	429 lancer oak drive

City	APOPKA
State	Florida
Zip Code	32712
Cell Phone	4073350042
Email	mejar4@yahoo.com
Is your organization a Non – Profit (501C3) OR Tax Exempt Organization?	Yes
State of Florida Tax ID Number	59-3051308

A copy of your 501C3 non-profit certificate is required for non-profit status. Otherwise taxes will be charged.

Please attach a copy of your Business Tax Receipt for the municipality/county that your business/organization is registered in.	Detail by Entity Name.html
Name of the Event	PINES OF WEKIVA FALL FESTIVAL
Date(s) of the Event	NOVEMBER 9TH 2024
Hours of the Event	4
Location of the Event	PINES OF WEKIVA
Does the location of the event take place on Public or Private Property?	Yes
Anticipated attendance:	75
Briefly describe the event and all activities that will occur during the event:	OUR COMMUNITY IS PLANNING OUR FIRST FALL EVENT. WE ARE INVITING MEMBERS OF OUR COMMUNITY WHO ARE ARTISAN VENDORS TO SHOWCASE THEIR BUSINESS, ALSO VENDORS IN OUR SURROUNDING AREA. FOOD, MUSIC AND CRAFTS AND THE OPPORTUNITY TO BRING PEOPLE TOGETHER.
Event Category	• Festival/Celebration
Are there flyers or advertisements for this event?	No
Will there be admission fees to your event?	No
Will you be serving alcohol?	No
Is your event open to the public?	Yes
Does your event include food concession?	Yes
Do you intend to have food trucks at your event?	Yes
How many?	2
Will there be merchandising vending at your event?	Yes
How many vendors?	10

Will they need electric?	No
Will you be hiring a private security company for the event?	No
Do you require overnight security?	No
Are there musical entertainment features related to your event?	No
Will amplified sound be used during the event?	No
Will any streets be closed or will the flow of traffic be affected by the event?	Yes
Please indicate the road names	PINES OF WEKIVA BLVD
Does your event include the use of tents?	Yes

Please indicate tent location & size on layout. Permits and ground locates may be required.

What size of tents?	5X5 , 10X10
Will inflatables be used at your event?	No
Will your event include any fireworks or pyrotechnics?	No
Layout map for event	3159 POW.Plat Map.pdf

Date/Time (on site load in and load out)

For events that are held on City Property, set up days and load out days may require additional fees.

Setup/Load In

Date	11/09/2024
Start Time	12:00 PM (EDT)
End Time	5:00 PM (EDT)

Event Dates

Date	11/09/2024
Start Time	1:00 PM (EDT)
End Time	5:00 PM (EDT)

Take Down/Load Out

Date	11/09/2024
Start Time	4:00 PM (EDT)
End Time	5:00 PM (EDT)

I, Being the Applicant/Event Organizer, have read and understand the guidelines contained within the City of Apopka's Special Event Permit Application and agree to conduct my event in accordance. I further understand that failure to abide by these guidelines may result in the denial or forfeiture of my Special Event Permit.

The City of Apopka is not responsible for lost, stolen or damaged items.

I acknowledge that the information contained in this application is true, correct, and complete to the best of my knowledge.

Applicant Signature	Michelle Ramharack
Name of Applicant	Michelle Ramharack
Title of Applicant	PINES OF WEKIVA FALL FESTIVAL
Date Submitted	10/15/2024

The Applicant/Event Organizer shall maintain at all times throughout the duration of the event, a current insurance policy naming the City of Apopka as an additional insured providing coverage for all approved event activities and must be active on the date(s) of the event, including the set-up and break-down period. Failure to provide proof of adequate coverage will result in the denial of the special event permit or cancellation of the event. The City may require subcontractors acting on behalf of the Applicant/Event Organizer to provide proof of insurance or other related documents depending on the scope or location of the event.

- Comprehensive listing of all subcontractors, including but not limited to concessionaires, vendors, exhibitors, and entertainers must be submitted no later than forty-five (45) business days prior to the event.
- All certificates of insurance, required extensions to said insurance certificates, copies of insurance policies and insurance agreements must be submitted no later than **thirty (30) business days prior to the event**.

If insurance requirements are not met at least twenty (20) business days prior to the date of the event, your event will be cancelled!

Please provide a copy of your certificate of insurance.	The Pines at Wekiva Homeowners Association, Inc. 2024-25 Insurance Renewal.pdf

The City of Apopka defines an Applicant/Event Organizer as any individual or organization that is responsible for all aspects of an event to include advertising, marketing, talent costs, insurance, hold harmless agreement contracts, along with all the revenues and expenses for the event. The Applicant/Event Organizer agrees to conduct this event in accordance with the City of Apopka Code of Ordinances (Chapters 46 and 62).

REQUIREMENTS

- Applicant/Event Organizer recognizes the City's authority to halt the operation of the above listed event due to inclement weather or any other safety concern that may arise.
- The City is not responsible or liable for any damage, loss or theft to any vendor or event participant.
- Applicant/Event Organizer agrees that the City may use photographic images and video taken at the event in promotions and publications. These images may be used online or provided to media outlets and/or used in social media applications.

INSURANCE

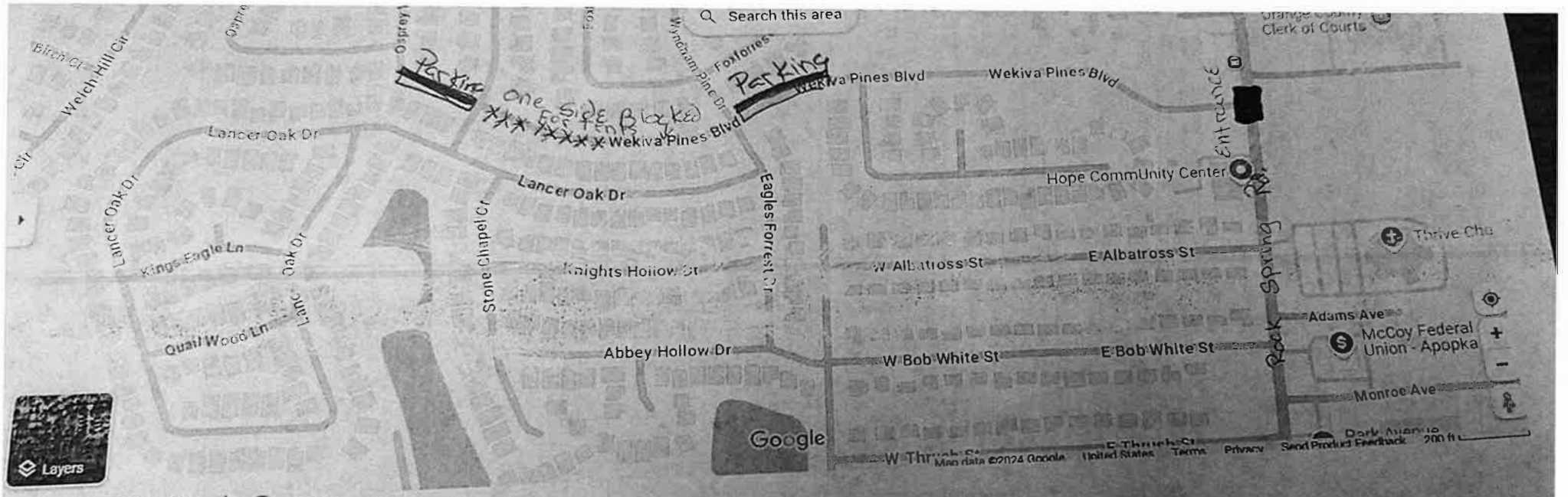
Before activity setup, or any other site activity begins, Applicant/Event Organizer must have a Certificate of Liability Insurance **(including all extensions to the insurance certificate—to also include a copy of the complete insurance policy)** on file with the City's Risk Management Division. The cost of such insurance shall be the responsibility of the Applicant/Event Organizer and must meet ALL requirements as directed by the City of Apopka. The City reserves the right to increase coverage as determined for higher risk events or activities. This insurance policy must remain in effect throughout the entire duration of the property use beginning with load-in and ending at the conclusion of load-out.

- Applicant/Event Organizer shall, at its sole cost and expense, procure and maintain throughout the term of this agreement, Commercial General Liability and Workers' Compensation insurance, including Employer Liability insurance, with minimum policy limits of $1,000,000 Combined Single Limits, or to the extent and in such amounts as required and authorized by Florida Law. If such GL insurance contains a general aggregate limit, it shall apply separately to this event in the amount of $2,000,000. Products and completed operations aggregate shall be $1,000,000. Damage to rented premises shall be included at $100,000. The event Applicant/Event Organizer and their representatives who wish to drive on City property to set up or tear down for events, and/or Food Trucks and/or any vehicle that functions as the workplace or is used to perform contracted work must provide an Automobile Liability insurance policy in the minimum amount of $300,000 Combined Single Limit. If alcohol is being served, the Applicant/Event Organizer shall provide evidence of coverage for liquor liability in the minimum amount of $1,000,000. The insurance policy must not exclude Personal Injury/Advertising Injury, Medical, volunteer coverage or spectator liability.
- All insurance policies shall: 1) provide that the insurance carrier shall not cancel, terminate or otherwise modify the terms and conditions of said policies except upon thirty days written notice to the City's contract administrator; 2) be evidenced by an endorsed Certificate of Insurance generated and executed by a licensed insurance broker, brokerage, or similar licensed insurance professional evidencing such coverage, and naming the City of Apopka as a named additional insured, as well as furnishing the City with a certified copy, or copies, of said insurance policies; and 3) be approved as to form and sufficiency by the City's contract administrator. The original insurance certificate(s) and all extensions to the insurance certificate(s) should be sent to: City of Apopka, Risk Management, 120 East Main Street, Apopka, FL 32703 or e-mailed to riskmanagement@apopka.net. All insurance coverage shall be written with a company having an A.M. Best Rating of at least the "A" category and size category of VIII.
- Applicant/Event Organizer is solely responsible for all applicable policy premiums, deductibles, and/or self-insured retention attached to any required coverages. Said insurance coverages procured by the Applicant/Event Organizer as required herein, including but not limited to any excess and/or umbrella coverages, shall be considered, and the Applicant/Event Organizer agrees that said insurance coverages it procures as required herein shall be considered, as primary insurance over and above any other insurance, or self–insurance, available to the City, and that any other insurance, or self-insurance available to the City shall be considered secondary to, or in excess of, the insurance coverage(s) procured by the Applicant/Event Organizer as required herein.
- Applicant/Event Organizer shall require and verify that all subcontractors, including but not limited to concessionaires, vendors, exhibitors, and entertainers, maintain insurance meeting all of the requirements stated herein. Furthermore, the insurance policy held by the Applicant/Event Organizer shall have no endorsement(s) restricting, limiting or excluding the subcontractors or work on behalf of the Applicant/Event Organizer by a subcontractor. The Certificate of Insurance submitted by the Applicant/Event Organizer must clearly state that all such subcontractors are "Named Insureds".

Nothing herein shall be construed to extend the City of Apopka's liability beyond that provided in section 768.28, Florida Statutes.

By signing below, I acknowledge that I have read and understand the insurance requirements contained herein. I further understand that my permit application may be declined if I fail to provide the appropriate insurance coverage.

Signature of Applicant	Michelle Ramharack
Name of Applicant	Michelle Ramharack
Title of Applicant	PINES OF WEKIVA
Sponsoring Organization Name	PINES OF WEKIVA



*= Tent Area * for Craft Vendors.

Between Eagle forest DR. and Falconcrest Blvd Right side of Road Blocked with Tents. All other Streets Remain Unblocked.

EDEN CREST PHASE 1

A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY FLORIDA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF TRACT 33, MAUDEHELEN SUBDIVISION PHASE 4, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 91, PAGES 53 THROUGH 55 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO BEING A POINT ON THE WESTERLY LINE OF MAUDEHELEN SUBDIVISION PHASE 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 70, PAGES 50 THROUGH 52 OF SAID PUBLIC RECORDS; THENCE RUN SOUTH 00°00'39" EAST ALONG SAID WESTERLY LINE FOR A DISTANCE OF 205.75 FEET TO THE SOUTHERLY LINE OF SAID MAUDEHELEN SUBDIVISION PHASE 2; THENCE RUN SOUTH 89°22'06" EAST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 301.46 FEET; THENCE DEPARTING SAID SOUTHERLY LINE RUN SOUTH 00° 37' 54" WEST FOR A DISTANCE OF 130.00 FEET; THENCE RUN SOUTH 89° 22' 06" EAST FOR A DISTANCE OF 15.81 FEET; THENCE RUN SOUTH 00° 37' 54" WEST FOR A DISTANCE OF 55.00 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, WITH A CHORD BEARING OF SOUTH 45° 18' 38" WEST, AND A CHORD DISTANCE OF 21.33 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90° 38' 33" FOR A DISTANCE OF 23.73 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 00° 00' 39" EAST FOR A DISTANCE OF 436.83 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 15.00 FEET, WITH A CHORD BEARING OF SOUTH 44° 39' 08" EAST, AND A CHORD DISTANCE OF 21.08 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89° 16' 59" FOR A DISTANCE OF 23.37 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 89° 17' 38" EAST FOR A DISTANCE OF 3.13 FEET; THENCE RUN SOUTH 00° 42' 22" WEST FOR A DISTANCE OF 55.00 FEET; THENCE RUN NORTH 89° 17' 38" WEST FOR A DISTANCE OF 2.07 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, WITH A CHORD BEARING OF SOUTH 45° 20' 54" WEST, AND A CHORD DISTANCE OF 21.35 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90° 42' 57" FOR A DISTANCE OF 23.75 FEET TO A NON TANGENT LINE; THENCE RUN SOUTH 00° 00' 39" EAST FOR A DISTANCE OF 488.39 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY HAVING A RADIUS OF 15.00 FEET, WITH A CHORD BEARING OF SOUTH 09° 28' 13" EAST, AND A CHORD DISTANCE OF 4.93 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 18° 55' 08" FOR A DISTANCE OF 4.95 FEET TO A NON TANGENT LINE; THENCE RUN SOUTH 89° 27' 30" EAST FOR A DISTANCE OF 111.42 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE WESTERLY HAVING A RADIUS OF 20.00 FEET, WITH A CHORD BEARING OF NORTH 15° 15' 55" EAST, AND A CHORD DISTANCE OF 10.54 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 30° 33' 08" FOR A DISTANCE OF 10.66 FEET TO A NON TANGENT LINE; THENCE RUN SOUTH 89° 05' 25" EAST FOR A DISTANCE OF 60.01 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE EASTERLY HAVING A RADIUS OF 20.00 FEET, WITH A CHORD BEARING OF SOUTH 14° 44' 05" EAST, AND A CHORD DISTANCE OF 10.17 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 29° 26' 52" FOR A DISTANCE OF 10.28 FEET TO A NON TANGENT LINE; THENCE RUN SOUTH 89° 27' 30" EAST FOR A DISTANCE OF 111.51 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE WESTERLY HAVING A RADIUS OF 15.00 FEET, WITH A CHORD BEARING OF NORTH 10° 00' 04" EAST, AND A CHORD DISTANCE OF 5.22 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 20° 01' 25" FOR A DISTANCE OF 5.24 FEET TO A NON TANGENT LINE; THENCE RUN SOUTH 88° 37' 48" EAST FOR A DISTANCE OF 20.01 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE EASTERLY HAVING A RADIUS OF 15.00 FEET, WITH A CHORD BEARING OF SOUTH 09° 28' 13" EAST, AND A CHORD DISTANCE OF 4.93 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 18° 55' 08" FOR A DISTANCE OF 4.95 FEET TO A NON TANGENT LINE; THENCE RUN SOUTH 89° 27' 30" EAST FOR A DISTANCE OF 111.42 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE WESTERLY HAVING A RADIUS OF 20.00 FEET, WITH A CHORD BEARING OF NORTH 15° 15' 55" EAST, AND A CHORD DISTANCE OF 10.54 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 30° 33' 08" FOR A DISTANCE OF 10.66 FEET TO A NON TANGENT LINE; THENCE RUN NORTH 89° 59' 21" EAST FOR A DISTANCE OF 55.00 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE EASTERLY HAVING A RADIUS OF 75.00 FEET, WITH A CHORD BEARING OF SOUTH 01° 59' 23" WEST, AND A CHORD DISTANCE OF 5.24 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 00' 04" FOR A DISTANCE OF 5.24 FEET TO A NON TANGENT LINE; THENCE RUN NORTH 89° 59' 21" EAST FOR A DISTANCE OF 125.18 FEET; THENCE RUN SOUTH 45° 00' 55" EAST FOR A DISTANCE OF 101.22 FEET; THENCE RUN NORTH 45° 24' 56" EAST FOR A DISTANCE OF 59.60 FEET; THENCE RUN NORTH 66° 19' 13" EAST FOR A DISTANCE OF 49.92 FEET; THENCE RUN NORTH 68° 06' 06" EAST FOR A DISTANCE OF 74.56 FEET; THENCE RUN NORTH 29° 04' 54" EAST FOR A DISTANCE OF 23.44 FEET; THENCE RUN NORTH 69° 01' 48" EAST FOR A DISTANCE OF 49.89 FEET; THENCE RUN NORTH 38° 32' 43" EAST FOR A DISTANCE OF 125.55 FEET TO THE EAST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 18; THENCE RUN SOUTH 02° 03' 11" WEST ALONG SAID EAST LINE FOR A DISTANCE OF 1150.99 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 18; THENCE RUN NORTH 89°33'56" WEST ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 18 FOR A DISTANCE OF 1311.51 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 18; THENCE RUN NORTH 89°32'20" WEST ALONG THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 18 FOR A DISTANCE OF 1311.50 FEET TO THE EAST RIGHT OF WAY LINE OF SOUTH BINION ROAD ACCORDING TO ROAD PLAT BOOK 1, PAGES 40 THROUGH 43 OF SAID PUBLIC RECORDS; THENCE RUN NORTH 01°09'43" EAST ALONG SAID EAST RIGHT OF WAY LINE FOR A DISTANCE OF 336.48 FEET TO THE NORTH LINE OF THE SOUTH 1/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 18; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE RUN SOUTH 89°27'30" EAST ALONG SAID NORTH LINE FOR A DISTANCE OF 657.03 FEET TO THE WEST LINE OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 18; THENCE RUN NORTH 01°22'58" EAST ALONG SAID WEST LINE FOR A DISTANCE OF 1006.73 FEET TO THE SOUTH LINE OF SAID SECTION 7; THENCE RUN SOUTH 89°13'08" EAST ALONG SAID SOUTH LINE FOR A DISTANCE OF 615.89 FEET TO THE WEST LINE OF THE WEST 15.00 FEET OF THE EAST 45.00 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 7; THENCE RUN NORTH 00°00'39" WEST ALONG SAID WEST LINE FOR A DISTANCE OF 1071.42 FEET TO THE SOUTHERLY LINE OF SAID MAUDEHELEN SUBDIVISION PHASE 4; THENCE RUN SOUTH 89°13'07" EAST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 90.01 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 66.39 ACRES, MORE OR LESS.

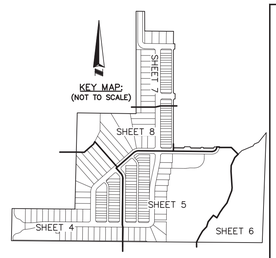
SURVEYOR'S NOTES:

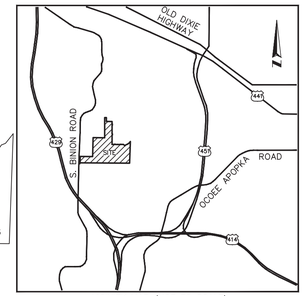
1. BEARINGS SHOWN HEREON ARE ASSUMED AND ARE BASED ON THE SOUTH LINE OF SECTION 7, AS BEING NORTH 89°13'08" WEST (FOR ANGULAR DESIGNATION ONLY).
2. ALL LOT LINES INTERSECTING CURVES ARE RADIAL, UNLESS OTHERWISE NOTED NON-RADIAL (N.R.).
3. ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION AND DATA SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
4. TRACTS C AND D ARE STORMWATER TRACTS AND SHALL BE OWNED AND MAINTAINED BY THE EDEN CREST HOMEOWNERS ASSOCIATION, INC, (THE ASSOCIATION). AN EMERGENCY ACCESS EASEMENT TO THE PRIVATE STORM DRAINAGE SYSTEM OVER SAID STORMWATER TRACTS AND ALL DRAINAGE EASEMENTS SHOWN ON THIS PLAT IS HEREBY DEDICATED TO THE CITY OF APOPKA FOR EMERGENCY MAINTENANCE PURPOSES IN THE EVENT INADEQUATE MAINTENANCE OF THE STORM DRAINAGE SYSTEM CREATES A HAZARD TO THE PUBLIC HEALTH, SAFETY, AND GENERAL WELFARE. THE EMERGENCY ACCESS EASEMENT GRANTED ABOVE DOES NOT IMPOSE ANY OBLIGATION, BURDEN, RESPONSIBILITY OR LIABILITY UPON THE CITY OF APOPKA TO ENTER UPON THE SUBJECT PROPERTY AND TAKE ANY ACTION TO REPAIR OR MAINTAIN THE PRIVATE DRAINAGE SYSTEM. A NON-EXCLUSIVE EASEMENT THROUGH, OVER, UNDER AND ACROSS THE COMMON AREA AND ALL NOTED UTILITY EASEMENTS IS HEREBY DEDICATED FOR USE BY ALL PUBLIC UTILITIES FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING AND REPLACING THEIR RESPECTIVE FACILITIES SERVICING THE LANDS ENCOMPASSED BY THIS PLAT.
5. TRACTS F, G, H, I, J, K, L, M, Q, R, U, V, W, AND X (LANDSCAPE BUFFER) SHALL BE OWNED AND MAINTAINED BY THE ASSOCIATION.
6. TRACTS Y, Z, AA, BB, CC AND JJ (OPEN SPACE) SHALL BE OWNED AND MAINTAINED BY THE ASSOCIATION.
7. TRACT EE (AMENITY) SHALL BE OWNED AND MAINTAINED BY THE ASSOCIATION.
8. TRACT FF (LIFT STATION) SHALL BE OWNED AND MAINTAINED BY THE CITY OF APOPKA.
9. TRACT II (CONSERVATION) SHALL BE OWNED BY THE ASSOCIATION WITH DEVELOPMENTS RIGHTS DEDICATED TO THE CITY OF APOPKA, FLORIDA. NO CONSTRUCTION, CLEARING, GRADING OR ALTERATION OF TRACT II IS ALLOWED UNLESS APPROVED BY THE CITY OF APOPKA AND/OR ALL OTHER APPLICABLE JURISDICTIONAL AGENCIES. TRACT II IS SUBJECT TO A CONSERVATION EASEMENT IN FAVOR OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT PURSUANT TO SECTION 704.06 FLORIDA STATUTES, TO BE DEDICATED BY SEPARATE INSTRUMENT IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
10. TRACT KK (ACCESS) SHALL BE OWNED AND MAINTAINED BY THE ASSOCIATION.
11. TRACTS MM, NN, OO AND QQ (PRIVATE ALLEY) SHALL BE OWNED AND MAINTAINED BY THE ASSOCIATION.
12. THE DRAINAGE EASEMENTS SHOWN HEREON ARE PRIVATE AND ARE DEDICATED TO THE ASSOCIATION. THE DRAINAGE EASEMENTS WILL BE MAINTAINED ACCORDING TO THE DECLARATION.
13. A NON-EXCLUSIVE EASEMENT THROUGH, OVER, UNDER AND ACROSS TRACT A AND ALL UTILITY EASEMENTS SHOWN HEREON IS HEREBY DEDICATED FOR THE USE BY ALL PUBLIC UTILITIES FOR THE PURPOSE OF CONSTRUCTION, MAINTAINING AND REPLACING THEIR RESPECTIVE FACILITIES SERVICING THE LANDS ENCOMPASSED BY THIS PLAT.
14. A DRAINAGE EASEMENT OVER TRACT C (STORMWATER) IS DEDICATED TO ORANGE COUNTY, FLORIDA.
15. THIS PLAT IS PART OF A PHASED DEVELOPMENT. LOT NUMBERS SHOWN HEREON ARE AS PER THE APPROVED PLANS. MISSING LOT NUMBERS WILL BE INCLUDED ON FUTURE PHASES.
16. THE WALL MAINTENANCE EASEMENT (W.M.E.) SHOWN HEREON IS DEDICATED TO AND MAINTAINED BY THE ASSOCIATION.

PROPERTY INFORMATION REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FATIC FILE NUMBER:110465256, DATED AUGUST 30, 2024.

UNDERLYING RIGHTS OF WAY, EASEMENTS OR PLATS AFFECTING SAID PROPERTY ARE AS FOLLOWS:

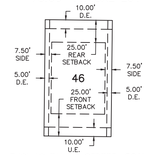
1. GRANT OF EASEMENT GRANTED TO BRUCE HUGGINS AND WIFE, FLOSSIE L. HUGGINS BY INSTRUMENT RECORDED IN BOOK 2787, PAGE 889. **AFFECTS SUBJECT PROPERTY (TRACT KK) AS SHOWN HEREON.**





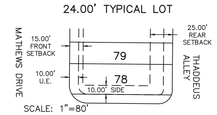
VICINITY MAP (NOT TO SCALE)

75.00' TYPICAL LOT



THOMAS FAMILY STREET SCALE: 1"=80'

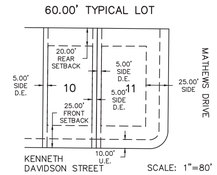
24.00' TYPICAL LOT



SCALE: 1"=80'

KENNETH DAVIDSON STREET

60.00' TYPICAL LOT



KENNETH DAVIDSON STREET SCALE: 1"=80'

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SHEET INDEX

SHEET 1 OF 8 – LEGAL DESCRIPTION, NOTES, LEGEND & DEDICATION
SHEETS 2–3 OF 8 – BOUNDARY
SHEETS 4–8 OF 8 – LOT GEOMETRY

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SYMBOL AND ABBREVIATION LEGEND:

℄	CENTER LINE	U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY	D.E.	DRAINAGE EASEMENT
P.I.	POINT OF INTERSECTION	W.M.E.	WALL MAINTENANCE EASEMENT
P.C.	POINT OF CURVATURE	P.S.M.	PROFESSIONAL SURVEYOR AND MAPPER
P.T.	POINT OF TANGENCY	LB	LICENSED BUSINESS
N.T.	NOT TANGENT	P.B.	PLAT BOOK
(OA)	OVERALL LENGTH	ORB	OFFICIAL RECORD BOOK
(N.R.)	NON-RADIAL	PG(S).	PAGE(S)
N	NORTH/NORTHING	N.T.S.	NOT TO SCALE
E	EAST/EASTING	■	SET 4"x4" CONCRETE MONUMENT LB #6723 PERMANENT REFERENCE MONUMENT (PRM)
W.E.	WALL EASEMENT	◉	SET NAIL & DISK LB #6723 PERMANENT CONTROL POINT (PCP)
CCR	CERTIFIED CORNER RECORD		

CERTIFICATE OF REVIEW BY REVIEWING SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed:_____ Date_____

Printed Name: Ralph A. Nieto, P.S.M.
Registration Number 6025

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, THAT I THE UNDERSIGNED, BEING A LICENSED SURVEYOR AND MAPPER, DO HEREBY CERTIFY THAT ON _____ COMPLETED THE SURVEY OF THE LANDS AS SHOWN IN THE FOREGOING PLAT OR PLAN; THAT SAID PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS SURVEYED AND PLATTED AND WAS PREPARED UNDER MY DIRECTION AND SUPERVISION: THAT PERMANENT REFERENCE MONUMENTS HAVE BEEN PLACED AS SHOWN THEREON; AND THIS PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATURES: AND THAT SAID LAND IS LOCATED IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA.

BY: _____ DATE: _____

JAMES L. RICKMAN
P.S.M. #5633
ALLEN & COMPANY
LICENSED BUSINESS #6723
16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787

PLAT BOOK ____ PG. ____

EDEN CREST PHASE 1

D E D I C A T I O N

THIS IS TO CERTIFY THAT THE UNDERSIGNED, APOPKA PROJECT 1, LLC, AN OHIO LIMITED LIABILITY COMPANY, BEING THE OWNER IN FEE SIMPLE OF ALL OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATES SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATES THE UTILITY EASEMENTS TO THE PERPETUAL USE OF THE PUBLIC.

TRACT B (ADDITIONAL RIGHT-OF-WAY), TRACT FF (LIFT STATION), AND TRACT A (RIGHT-OF-WAY) ARE HEREBY DEDICATED IN FEE SIMPLE TO CITY OF APOPKA WITHOUT ANY RESTRICTION WHATSOEVER. CITY OWNERSHIP OF THESE TRACTS AND ANY IMPROVEMENTS THEREON VESTS UPON APPROVAL OF THIS PLAT BY THE CITY COUNCIL OF APOPKA. RECORDING OF THIS PLAT SHALL ACT AS CONVEYANCE TO THE CITY AND NO FURTHER INSTRUMENTS SHALL BE NECESSARY TO VEST FEE SIMPLE TITLE IN THE CITY AS AFOREMENTIONED.

IN WITNESS WHEREOF, APOPKA PROJECT 1, LLC, AN OHIO LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE EXECUTED AND ACKNOWLEDGED BY ITS UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED ON THIS _____ DAY OF _____2024.

APOPKA PROJECT 1, LLC, AN OHIO LIMITED LIABILITY COMPANY

BY: _____

PRINTED NAME: _____

TITLE: _____

_____
SIGNATURE OF WITNESS

_____
PRINTED NAME OF WITNESS

_____
SIGNATURE OF WITNESS

_____
PRINTED NAME OF WITNESS

STATE OF FLORIDA,
COUNTY OF ORANGE COUNTY

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME, BY MEANS OF [ ] PHYSICAL PRESENCE OR [ ] ONLINE NOTARIZATION, THIS ___ DAY OF _____, 2024, BY _____, AS _____OF APOPKA PROJECT 1, LLC, AN OHIO LIMITED LIABILITY COMPANY, SUCH PERSON [ ] IS PERSONALLY KNOWN TO ME OR [ ] HAS PRODUCED _____ AS IDENTIFICATION.

_____
SIGNATURE OF PERSON TAKING ACKNOWLEDGEMENT

NOTARY PUBLIC

PRINTED NAME: _____

COMMISSION NO: _____

MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

Examined and Approved _____
Chairman Date

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved _____
Richard Earp Date

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on_____ the foregoing plat was approved by the Municipality

_____
Mayor

Attest: _____
City Clerk

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records

on _____ as Doc.# _____

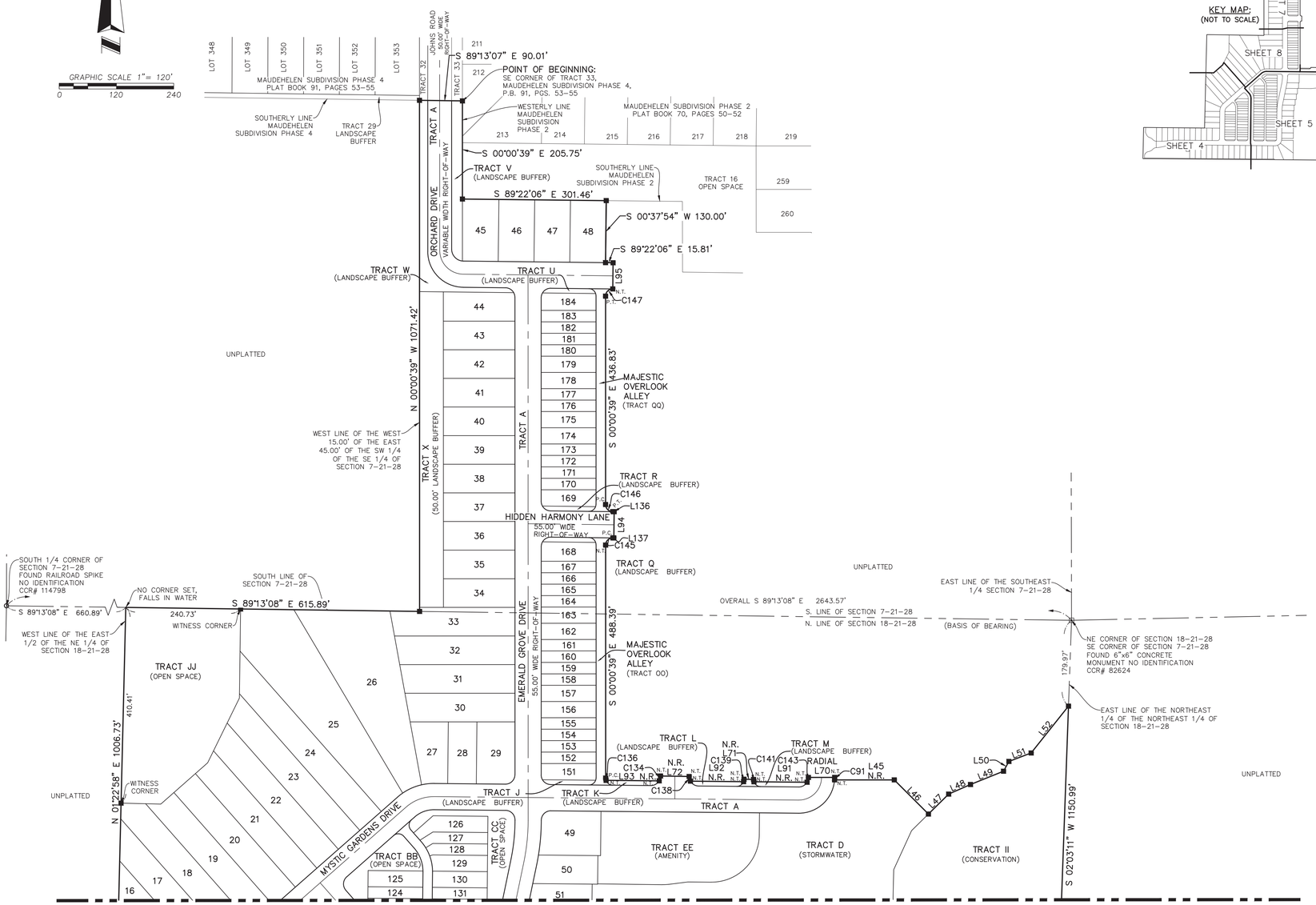
County Comptroller in and for Orange County, Florida.

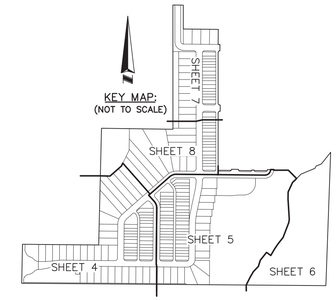
By_____

PLAT BOOK ___ PG. ___

EDEN CREST PHASE 1

A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA





MATCHLINE SHEET 3

LINE TABLE		
LINE	BEARING	LENGTH
L45	N89°59'21"E	125.18'
L46	S45°00'55"E	101.22'
L47	N45°24'56"E	59.60'
L48	N66°19'13"E	49.92'
L49	N68°06'06"E	74.56'
L50	N29°04'54"E	23.44'
L51	N69°01'48"E	49.89'
L52	N38°32'43"E	125.55'
L70	N89°59'21"E	55.00'
L71	S88°37'48"E	20.01'
L72	S89°05'25"E	60.01'
L91	S89°27'30"E	111.42'
L92	S89°27'30"E	111.51'
L93	S89°27'30"E	111.42'
L94	S00°42'22"W	55.00'
L95	S00°37'54"W	55.00'
L136	S89°17'38"E	3.13'
L137	N89°17'38"W	2.07'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C91	75.00'	S01°59'23"W	5.24'	004°00'04"	5.24'
C134	20.00'	N15°15'55"E	10.54'	030°33'08"	10.66'
C136	15.00'	S09°28'13"E	4.93'	018°55'08"	4.95'
C138	20.00'	S14°44'05"E	10.17'	029°26'52"	10.28'
C139	15.00'	N10°00'04"E	5.22'	020°01'25"	5.24'
C141	15.00'	S09°28'13"E	4.93'	018°55'08"	4.95'
C143	20.00'	N15°15'55"E	10.54'	030°33'08"	10.66'
C145	15.00'	S45°20'54"W	21.35'	090°42'57"	23.75'
C146	15.00'	S44°39'08"E	21.08'	089°16'59"	23.37'
C147	15.00'	S45°18'38"W	21.33'	090°38'33"	23.73'

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EDEN CREST PHASE 1

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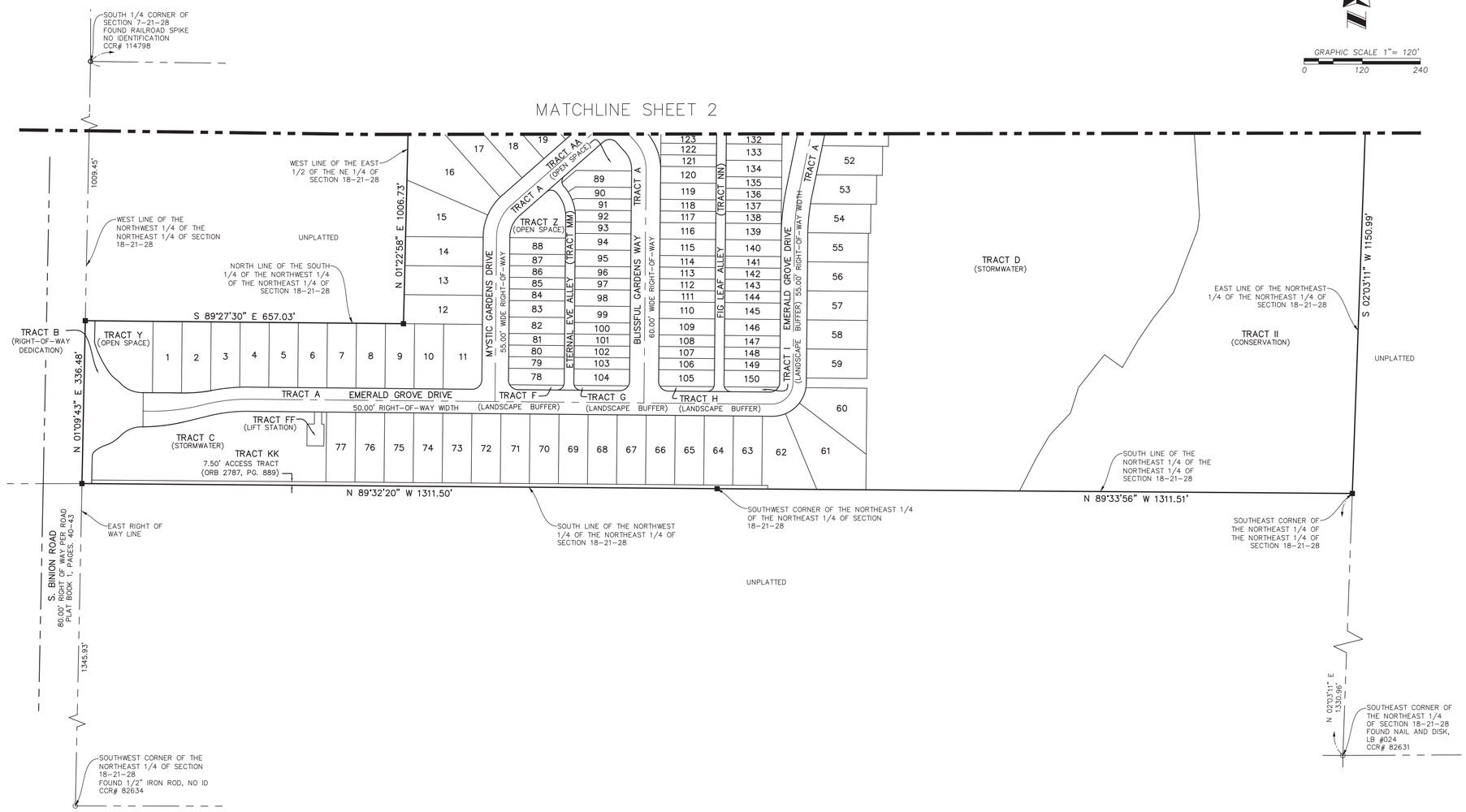
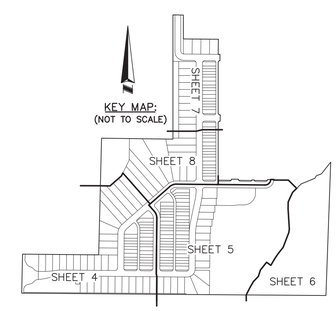
CITY OF APOPKA, ORANGE COUNTY, FLORIDA





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EDEN CREST PHASE 1

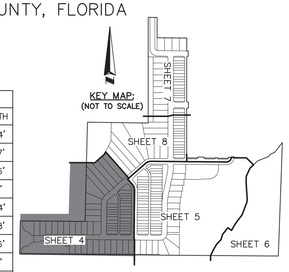
A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

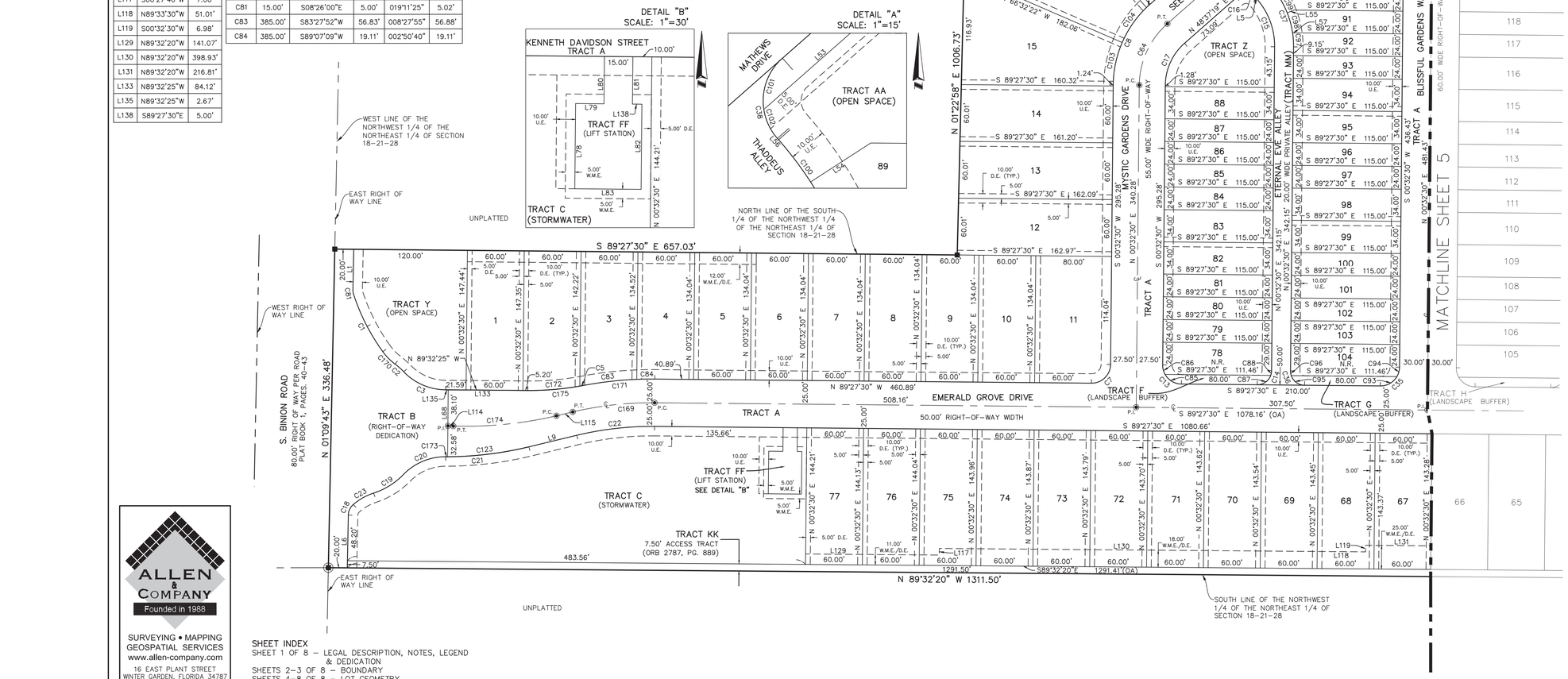
GRAPHIC SCALE 1"=60'
0 60' 120'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N01°09'43"E	42.72'
L5	N41°22'41"W	0.49'
L6	N01°09'43"E	55.70'
L9	N76°27'14"E	51.97'
L53	S48°37'19"W	38.01'
L54	S57°03'08"W	18.91'
L55	S68°17'52"W	7.64'
L56	N41°22'41"W	0.49'
L57	S81°39'19"W	1.15'
L58	S41°22'41"E	25.17'
L68	S00°27'35"W	70.68'
L69	N41°22'41"W	72.67'
L74	S88°37'02"E	83.32'
L75	N48°37'19"E	130.85'
L76	N26°07'19"E	151.23'
L78	N00°32'30"E	45.00'
L79	S89°27'30"E	15.00'
L80	N00°32'30"E	25.00'
L81	S00°32'30"W	25.00'
L82	S00°32'30"W	45.00'
L83	N89°27'30"W	35.00'
L114	N88°16'48"W	5.70'
L115	S76°27'14"W	12.59'
L117	S00°27'40"W	7.00'
L118	N89°33'30"W	51.01'
L119	S00°32'30"W	6.98'
L129	N89°32'20"W	141.07'
L130	N89°32'20"W	398.93'
L131	N89°32'20"W	216.81'
L133	N89°32'25"W	84.12'
L135	N89°32'25"W	2.67'
L138	S89°27'30"E	5.00'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C1	217.00'	S27°00'38"E	67.76'	017°57'52"	68.04'
C2	78.00'	S48°26'54"E	12.43'	009°08'35"	12.45'
C3	62.00'	S66°42'31"E	48.12'	045°39'48"	49.41'
C5	300.00'	N79°34'56"E	3.67'	000°42'03"	3.67'
C7	20.00'	S45°32'30"W	28.28'	090°00'00"	31.42'
C8	115.00'	S24°34'54"W	93.70'	048°04'49"	96.50'
C13	20.00'	S44°27'30"E	28.28'	090°00'00"	31.42'
C14	15.00'	N45°32'30"E	21.21'	090°00'00"	23.56'
C15	75.00'	N20°25'06"W	53.66'	041°55'11"	54.87'
C16	15.00'	N86°22'41"W	21.21'	090°00'00"	23.56'
C17	60.00'	S24°34'54"W	48.89'	048°04'49"	50.35'
C18	15.00'	N25°06'02"E	12.17'	047°52'38"	12.53'
C19	78.00'	N58°03'41"E	37.28'	027°39'03"	37.64'
C20	62.00'	N67°07'16"E	48.22'	045°46'13"	49.53'
C21	373.57'	N83°11'30"E	88.67'	013°37'52"	88.88'
C22	337.00'	N83°29'52"E	82.65'	014°05'15"	82.86'
C23	62.00'	N60°27'46"E	24.56'	022°50'52"	24.72'
C31	20.00'	S86°22'41"E	28.28'	090°00'00"	31.42'
C33	55.00'	S20°25'06"E	39.35'	041°55'11"	40.24'
C35	20.00'	S45°32'30"W	28.28'	090°00'00"	31.42'
C36	15.00'	N44°27'30"W	21.21'	090°00'00"	23.56'
C37	95.00'	N20°25'06"W	67.97'	041°55'11"	69.51'
C38	15.00'	N03°37'19"E	21.21'	090°00'00"	23.56'
C64	87.50'	N24°34'54"E	71.29'	048°04'49"	73.43'
C69	85.00'	N20°25'06"W	60.81'	041°55'11"	62.19'
C81	15.00'	S08°26'00"E	5.00'	019°11'25"	5.02'
C83	385.00'	S83°27'52"W	56.83'	008°27'55"	56.88'
C84	385.00'	S89°07'09"W	19.11'	002°50'40"	19.11'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C85	20.00'	S59°27'30"E	20.00'	060°00'00"	20.94'
C86	20.00'	S14°27'30"E	10.35'	030°00'00"	10.47'
C87	15.00'	N55°16'38"E	17.32'	070°31'44"	18.46'
C88	15.00'	N10°16'38"E	5.07'	019°28'16"	5.10'
C93	20.00'	N60°32'30"E	20.00'	060°00'00"	20.94'
C94	20.00'	N15°32'04"E	10.36'	030°00'52"	10.48'
C95	15.00'	S54°11'38"E	17.32'	070°31'44"	18.46'
C96	15.00'	S09°11'38"E	5.07'	019°28'16"	5.10'
C97	95.00'	N03°54'06"W	14.72'	008°53'11"	14.73'
C98	95.00'	N15°01'25"W	22.10'	013°21'27"	22.15'
C99	95.00'	N27°19'30"W	18.62'	011°14'44"	18.65'
C100	95.00'	N37°09'47"W	13.97'	008°25'50"	13.98'
C101	15.00'	S19°59'24"W	14.38'	057°15'49"	14.99'
C102	15.00'	S25°00'36"E	8.45'	032°44'11"	8.57'
C103	115.00'	S12°00'04"W	45.70'	022°55'08"	46.00'
C104	115.00'	S34°44'08"W	44.97'	022°33'00"	45.26'
C105	115.00'	S47°18'58"W	5.24'	002°36'41"	5.24'
C123	373.57'	N83°01'20"E	86.47'	013°17'32"	86.67'
C169	362.00'	S83°29'52"W	88.78'	014°05'15"	89.01'
C170	62.00'	S44°30'23"E	18.36'	017°01'38"	18.43'
C171	385.00'	N84°53'12"E	75.87'	011°18'35"	76.00'
C172	300.00'	N85°11'46"E	55.04'	010°31'38"	55.12'
C173	373.57'	N89°50'16"E	2.21'	000°20'20"	2.21'
C174	425.00'	N84°05'13"E	112.90'	015°15'58"	113.24'
C175	300.00'	S84°50'45"W	58.70'	011°13'41"	58.79'





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PLAT BOOK ___ PG. ___

EDEN CREST PHASE 1

A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

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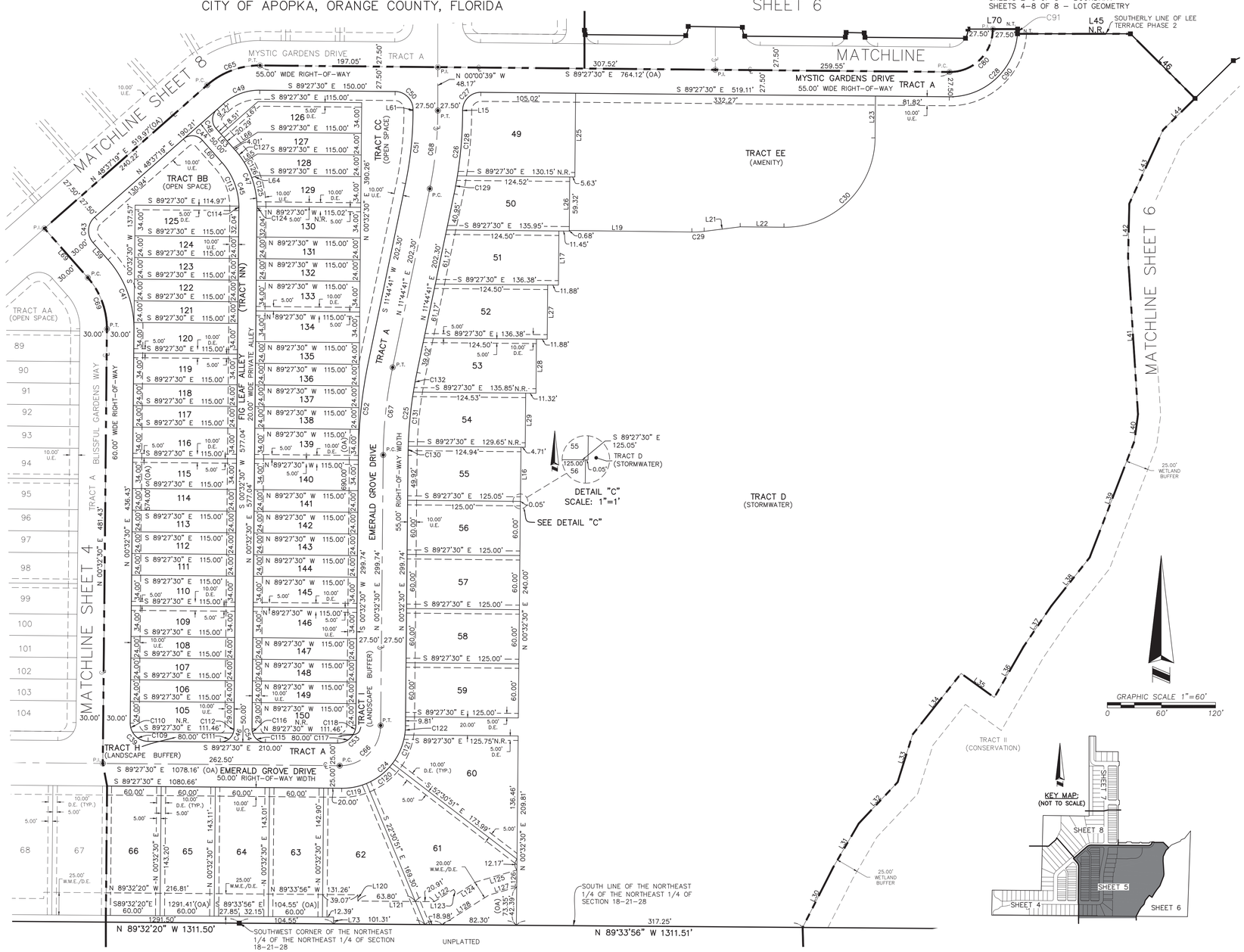

LINE TABLE		
LINE	BEARING	LENGTH
L15	N00°00'39"W	0.21'
L16	S00°32'30"W	60.00'
L17	N00°32'30"E	60.00'
L19	S89°16'31"E	135.88'
L21	N82°52'49"E	40.21'
L22	S89°27'30"E	48.51'
L23	N00°32'30"E	46.35'
L25	S00°32'30"W	92.85'
L26	N00°32'30"E	60.00'
L27	N00°32'30"E	60.00'
L28	S00°32'30"W	60.00'
L29	S00°32'30"W	60.00'
L30	N26°55'28"E	74.59'
L31	N30°13'28"E	56.43'
L32	N43°17'16"E	62.77'
L33	N17°25'59"E	55.41'
L34	N38°28'04"E	86.37'
L35	S54°04'27"E	45.41'
L36	N29°56'27"E	65.52'
L37	N34°18'46"E	54.31'
L38	N38°22'08"E	68.31'
L39	N21°02'38"E	137.93'
L40	N07°42'13"E	30.04'
L41	N03°37'01"W	174.69'
L42	N01°19'39"E	59.36'
L43	N24°35'29"E	89.88'
L44	N45°24'56"E	49.73'
L45	N89°59'21"E	125.18'
L46	S45°00'55"E	101.22'
L47	N45°24'56"E	59.60'
L59	N41°22'41"W	25.17'
L60	S41°22'41"E	32.81'
L61	S00°00'39"E	1.13'
L63	N41°22'41"W	32.81'
L64	N69°48'40"E	6.58'
L65	N58°17'07"E	17.34'
L66	N57°34'32"E	32.17'
L67	N48°37'19"E	54.49'
L69	N41°22'41"W	72.67'
L70	N89°59'21"E	55.00'
L73	S00°26'04"W	7.50'
L120	N00°28'54"E	7.00'
L121	N89°33'56"W	84.71'
L122	S57°37'58"W	25.38'
L123	N32°22'02"W	6.24'
L124	S57°37'58"W	25.29'
L125	S73°52'10"W	47.28'
L126	N00°32'30"E	18.79'
L127	N73°52'10"E	32.17'
L128	N57°37'58"E	61.33'

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CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C24	70.00'	N45°32'30"E	98.99'	090°00'00"	109.96'
C25	472.50'	N06°08'35"E	92.24'	011°12'11"	92.39'
C26	452.50'	N05°52'01"E	92.68'	011°45'19"	92.84'
C27	20.00'	N45°15'55"E	28.42'	090°33'08"	31.61'
C28	75.00'	N45°15'55"E	106.58'	090°33'08"	118.53'
C29	100.00'	N86°48'09"E	13.68'	007°50'39"	13.69'
C30	100.00'	N45°32'30"E	141.42'	090°00'00"	157.08'
C39	20.00'	N44°27'30"W	28.28'	090°00'00"	31.42'
C41	115.00'	N20°25'06"W	82.27'	041°55'11"	84.14'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C43	20.00'	N03°37'19"E	28.28'	090°00'00"	31.42'
C44	15.00'	S86°22'41"E	21.21'	090°00'00"	23.56'
C45	75.00'	S20°25'06"E	53.66'	041°55'11"	54.87'
C46	15.00'	S45°32'30"W	21.21'	090°00'00"	23.56'
C47	95.00'	N20°25'06"W	67.97'	041°55'11"	69.51'
C48	15.00'	N03°37'19"E	21.21'	090°00'00"	23.56'
C49	60.00'	N69°34'54"E	42.93'	041°55'11"	43.90'
C50	20.00'	S44°44'05"E	28.15'	089°26'52"	31.22'
C51	397.50'	S05°52'01"W	81.41'	011°45'19"	81.56'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C52	527.50'	S06°08'35"W	102.98'	011°12'11"	103.14'
C53	20.00'	S45°32'30"W	28.28'	090°00'00"	31.42'
C54	15.00'	N44°27'30"W	21.21'	090°00'00"	23.56'
C65	87.50'	N69°34'54"E	62.60'	041°55'11"	64.02'
C66	45.00'	N45°32'30"E	63.64'	090°00'00"	70.69'
C67	500.00'	S06°08'35"W	97.61'	011°12'11"	97.76'
C68	425.00'	N05°52'01"E	87.04'	011°45'19"	87.20'
C69	85.00'	N20°25'06"W	60.81'	041°55'11"	62.19'
C80	47.50'	N45°15'55"E	67.50'	090°33'08"	75.07'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C90	75.00'	N47°15'57"E	102.83'	086°33'05"	113.30'
C91	75.00'	S01°59'23"W	5.24'	004°00'04"	5.24'
C109	20.00'	S59°27'30"E	20.00'	060°00'00"	20.94'
C110	20.00'	S14°27'30"E	10.35'	030°00'00"	10.47'
C111	15.00'	N55°16'38"E	17.32'	070°31'44"	18.46'
C112	15.00'	N10°16'38"E	5.07'	019°28'16"	5.10'
C113	75.00'	N21°09'55"W	51.83'	040°25'34"	52.92'
C114	75.00'	N00°12'19"W	1.96'	001°29'38"	1.96'
C115	15.00'	S54°11'38"E	17.32'	070°31'44"	18.46'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C116	15.00'	S09°11'38"E	5.07'	019°28'16"	5.10'
C117	20.00'	N60°32'30"E	20.00'	060°00'00"	20.94'
C118	20.00'	N15°32'30"E	10.35'	030°00'00"	10.47'
C119	70.00'	N79°00'50"E	27.98'	023°03'20"	28.17'
C120	70.00'	N52°29'09"E	36.23'	030°00'01"	36.65'
C121	70.00'	N23°11'51"E	34.55'	028°34'36"	34.91'
C122	70.00'	N04°43'31"E	10.21'	008°22'03"	10.22'
C124	95.00'	N00°02'53"W	1.96'	001°10'45"	1.96'
C125	95.00'	N10°24'48"W	32.26'	019°33'04"	32.42'

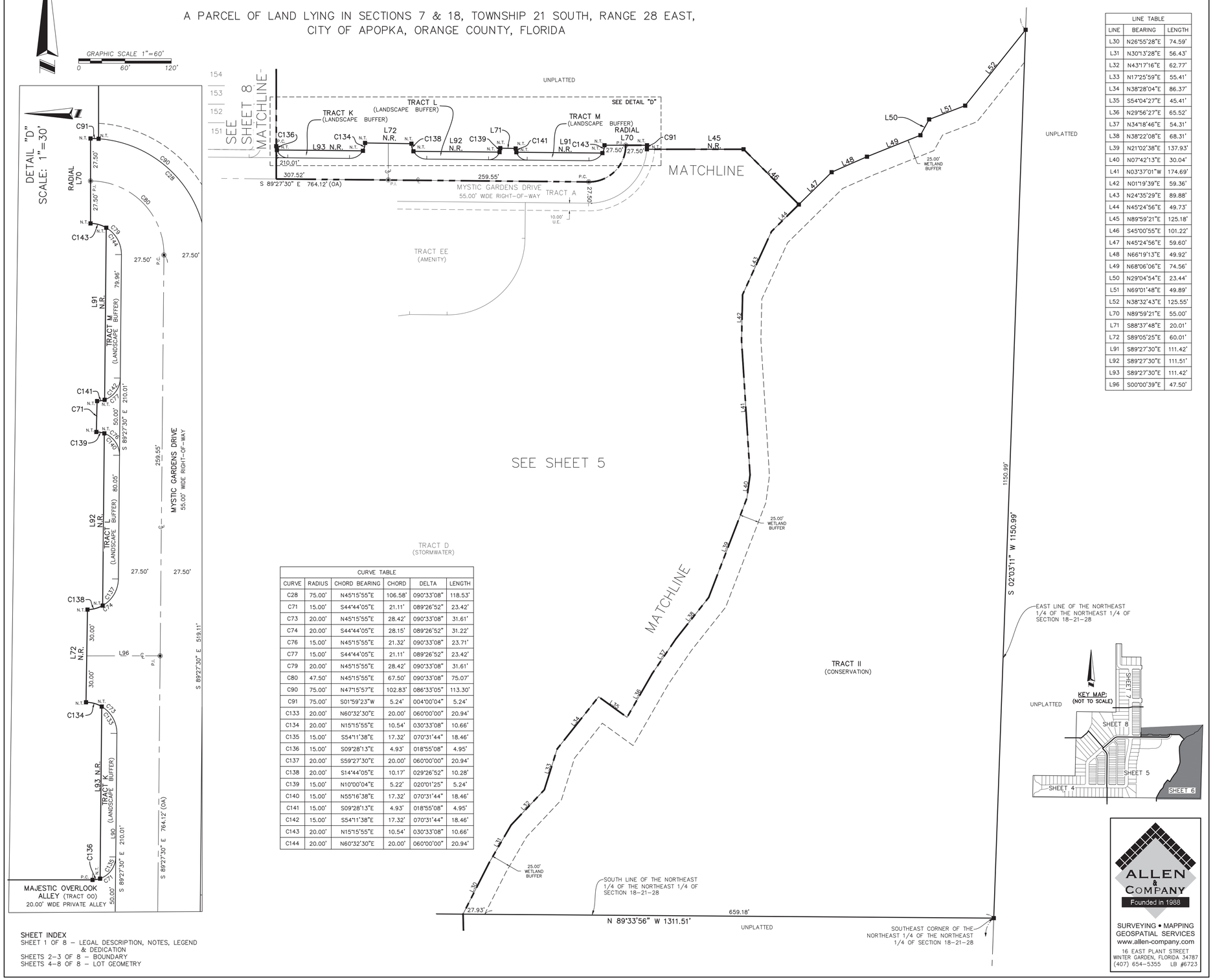
CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C126	95.00'	N25°57'06"W	19.08'	011°31'33"	19.11'
C127	95.00'	N36°32'47"W	16.00'	009°39'49"	16.02'
C128	452.50'	N04°35'32"E	72.63'	009°12'22"	72.71'
C129	452.50'	N10°28'12"E	20.13'	002°32'57"	20.13'
C130	472.50'	S01°09'09"W	10.08'	001°13'19"	10.08'
C131	472.50'	S05°25'01"W	60.22'	007°18'25"	60.26'
C132	472.50'	S10°24'27"W	22.05'	002°40'27"	22.05'

PLAT BOOK ___ PG. ___

EDEN CREST PHASE 1

A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

GRAPHIC SCALE 1"=60'
0 60' 120'



LINE TABLE		
LINE	BEARING	LENGTH
L30	N26°55'28"E	74.59'
L31	N30°13'28"E	56.43'
L32	N43°17'16"E	62.77'
L33	N17°25'59"E	55.41'
L34	N38°28'04"E	86.37'
L35	S54°04'27"E	45.41'
L36	N29°56'27"E	65.52'
L37	N34°18'46"E	54.31'
L38	N38°22'08"E	68.31'
L39	N21°02'38"E	137.93'
L40	N07°42'13"E	30.04'
L41	N03°37'01"W	174.69'
L42	N01°19'39"E	59.36'
L43	N24°35'29"E	89.88'
L44	N45°24'56"E	49.73'
L45	N89°59'21"E	125.18'
L46	S45°00'55"E	101.22'
L47	N45°24'56"E	59.60'
L48	N66°19'13"E	49.92'
L49	N68°06'06"E	74.56'
L50	N29°04'54"E	23.44'
L51	N69°01'48"E	49.89'
L52	N38°32'43"E	125.55'
L70	N89°59'21"E	55.00'
L71	S88°37'48"E	20.01'
L72	S89°05'25"E	60.01'
L91	S89°27'30"E	111.42'
L92	S89°27'30"E	111.51'
L93	S89°27'30"E	111.42'
L96	S00°00'39"E	47.50'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C28	75.00'	N45°15'55"E	106.58'	090°33'08"	118.53'
C71	15.00'	S44°44'05"E	21.11'	089°26'52"	23.42'
C73	20.00'	N45°15'55"E	28.42'	090°33'08"	31.61'
C74	20.00'	S44°44'05"E	28.15'	089°26'52"	31.22'
C76	15.00'	N45°15'55"E	21.32'	090°33'08"	23.71'
C77	15.00'	S44°44'05"E	21.11'	089°26'52"	23.42'
C79	20.00'	N45°15'55"E	28.42'	090°33'08"	31.61'
C80	47.50'	N45°15'55"E	67.50'	090°33'08"	75.07'
C90	75.00'	N47°15'57"E	102.83'	086°33'05"	113.30'
C91	75.00'	S01°59'23"W	5.24'	004°00'04"	5.24'
C133	20.00'	N60°32'30"E	20.00'	060°00'00"	20.94'
C134	20.00'	N15°15'55"E	10.54'	030°33'08"	10.66'
C135	15.00'	S54°11'38"E	17.32'	070°31'44"	18.46'
C136	15.00'	S09°28'13"E	4.93'	018°55'08"	4.95'
C137	20.00'	S59°27'30"E	20.00'	060°00'00"	20.94'
C138	20.00'	S14°44'05"E	10.17'	029°26'52"	10.28'
C139	15.00'	N10°00'04"E	5.22'	020°01'25"	5.24'
C140	15.00'	N55°16'38"E	17.32'	070°31'44"	18.46'
C141	15.00'	S09°28'13"E	4.93'	018°55'08"	4.95'
C142	15.00'	S54°11'38"E	17.32'	070°31'44"	18.46'
C143	20.00'	N15°15'55"E	10.54'	030°33'08"	10.66'
C144	20.00'	N60°32'30"E	20.00'	060°00'00"	20.94'

SHEET INDEX
SHEET 1 OF 8 – LEGAL DESCRIPTION, NOTES, LEGEND & DEDICATION
SHEETS 2–3 OF 8 – BOUNDARY
SHEETS 4–8 OF 8 – LOT GEOMETRY

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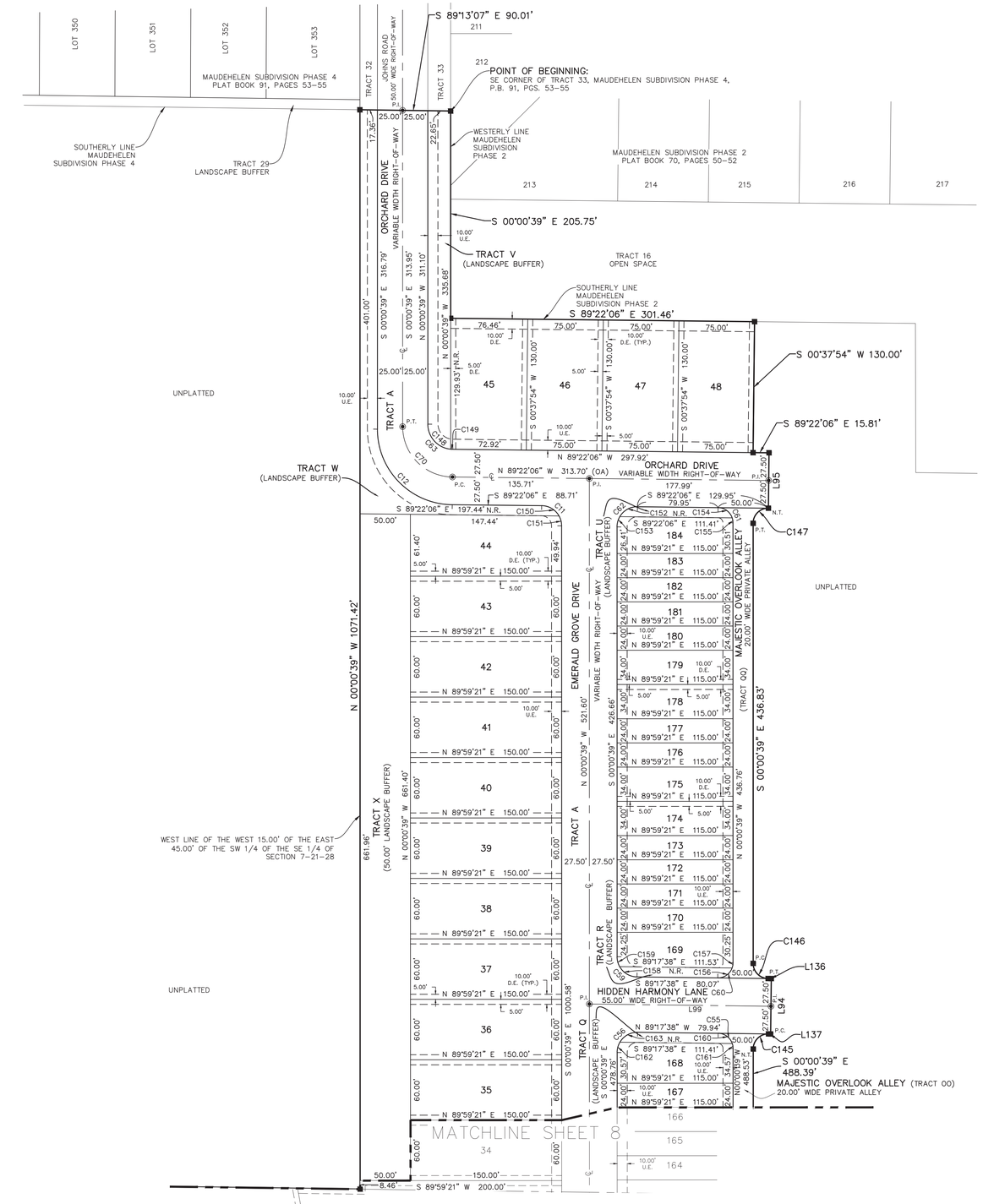
EDEN CREST PHASE 1

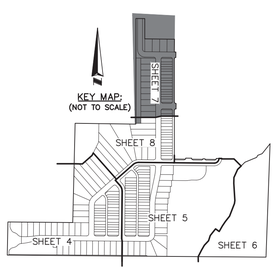
A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

GRAPHIC SCALE 1"=60'
0 60' 120'

LINE TABLE		
LINE	BEARING	LENGTH
L99	N89°17'38"W	180.11'
L136	S89°17'38"E	3.13'
L137	N89°17'38"W	2.07'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C11	20.00'	S44°41'22"E	28.13'	089°21'27"	31.19'
C12	75.00'	S44°41'22"E	105.47'	089°21'27"	116.97'
C55	15.00'	N44°39'08"W	21.08'	089°16'59"	23.37'
C56	20.00'	S45°20'52"W	28.46'	090°43'01"	31.67'
C59	20.00'	S44°39'08"E	28.11'	089°16'59"	31.17'
C60	15.00'	N45°20'52"E	21.35'	090°43'01"	23.75'
C61	15.00'	N44°41'22"W	21.09'	089°21'27"	23.39'
C62	20.00'	S45°18'38"W	28.44'	090°38'33"	31.64'
C63	25.00'	N44°41'22"W	35.16'	089°21'27"	38.99'
C70	50.00'	S44°41'22"E	70.31'	089°21'27"	77.98'
C145	15.00'	S45°20'54"W	21.35'	090°42'57"	23.75'
C146	15.00'	S44°39'08"E	21.08'	089°16'59"	23.37'
C147	15.00'	S45°18'38"W	21.33'	090°38'33"	23.73'
C148	25.00'	S42°18'08"E	33.65'	084°34'59"	36.91'
C149	25.00'	S86°58'52"E	2.08'	004°46'28"	2.08'
C150	20.00'	N59°22'06"W	20.00'	060°00'00"	20.94'
C151	20.00'	N14°41'22"W	10.14'	029°21'27"	10.25'
C152	20.00'	S60°37'54"W	20.00'	060°00'00"	20.94'
C153	20.00'	S15°18'38"W	10.57'	030°38'33"	10.70'
C154	15.00'	N54°06'14"W	17.32'	070°31'44"	18.46'
C155	15.00'	N09°25'31"W	4.91'	018°49'44"	4.93'
C156	15.00'	N55°26'30"E	17.32'	070°31'44"	18.46'
C157	15.00'	N10°05'00"E	5.26'	020°11'17"	5.29'
C158	20.00'	S59°17'38"E	20.00'	060°00'00"	20.94'
C159	20.00'	S14°39'08"E	10.11'	029°16'59"	10.22'
C160	15.00'	N54°01'46"W	17.32'	070°31'44"	18.46'
C161	15.00'	N09°23'16"W	4.89'	018°45'15"	4.91'
C162	20.00'	S15°20'52"W	10.59'	030°43'01"	10.72'
C163	20.00'	S60°42'22"W	20.00'	060°00'00"	20.94'





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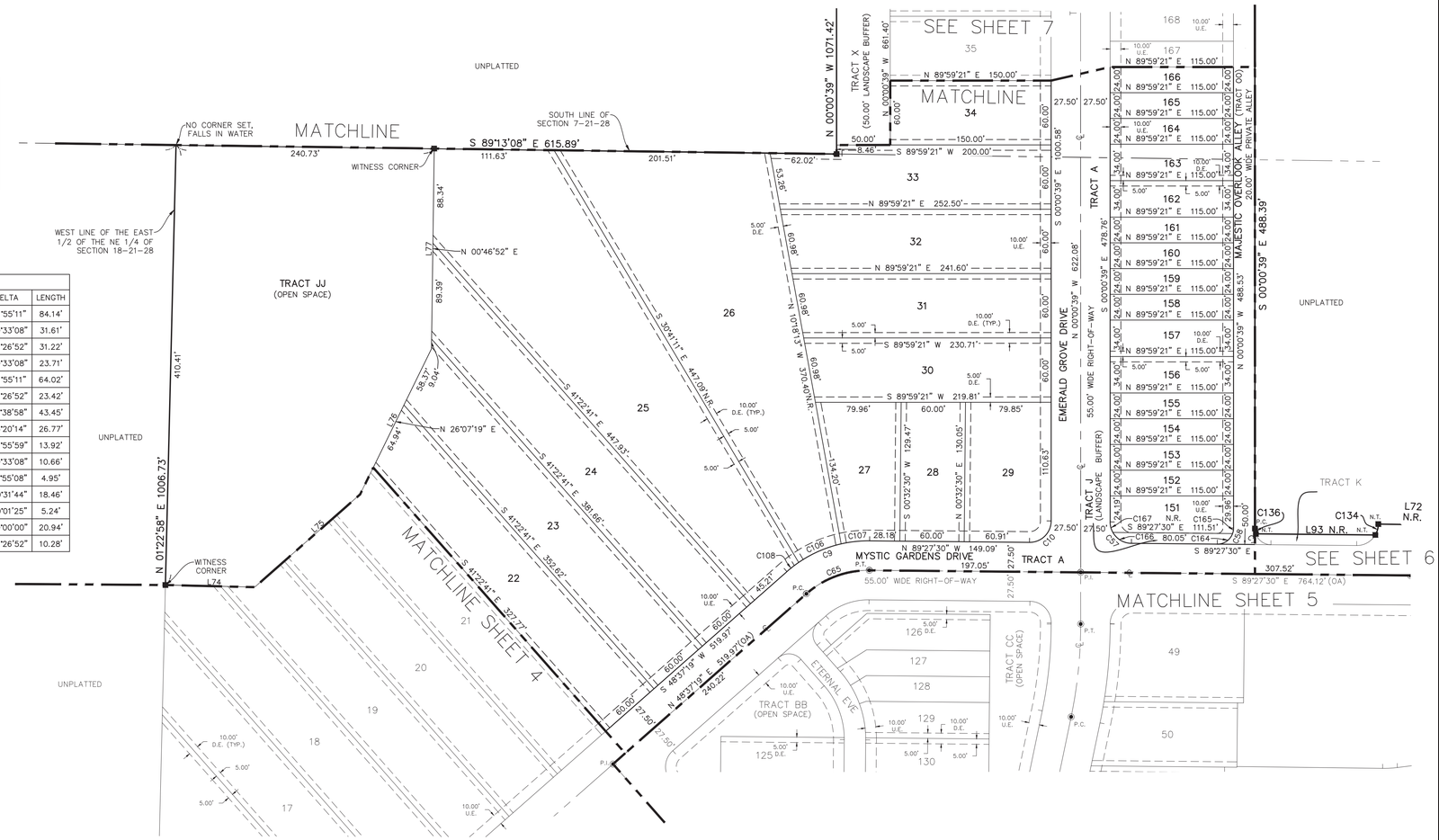
EDEN CREST PHASE 1

A PARCEL OF LAND LYING IN SECTIONS 7 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

GRAPHIC SCALE 1"=60'
0 60' 120'

LINE TABLE		
LINE	BEARING	LENGTH
L74	S88°37'02"E	83.32'
L75	N48°37'19"E	130.85'
L76	N26°07'19"E	151.23'
L77	N00°46'52"E	186.77'
L93	S89°27'30"E	111.42'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C9	115.00'	S69°34'54"W	82.27'	041°55'11"	84.14'
C10	20.00'	S45°15'55"W	28.42'	090°33'08"	31.61'
C57	20.00'	S44°44'05"E	28.15'	089°26'52"	31.22'
C58	15.00'	N45°15'55"E	21.32'	090°33'08"	23.71'
C65	87.50'	N69°34'54"E	62.60'	041°55'11"	64.02'
C71	15.00'	S44°44'05"E	21.11'	089°26'52"	23.42'
C106	115.00'	S66°22'47"W	43.20'	021°38'58"	43.45'
C107	115.00'	S83°52'23"W	26.71'	013°20'14"	26.77'
C108	115.00'	S52°05'18"W	13.91'	006°55'59"	13.92'
C134	20.00'	N15°15'55"E	10.54'	030°33'08"	10.66'
C136	15.00'	S09°28'13"E	4.93'	018°55'08"	4.95'
C164	15.00'	N55°16'38"E	17.32'	070°31'44"	18.46'
C165	15.00'	N10°00'04"E	5.22'	020°01'25"	5.24'
C166	20.00'	S59°27'30"E	20.00'	060°00'00"	20.94'
C167	20.00'	S14°44'05"E	10.17'	029°26'52"	10.28'



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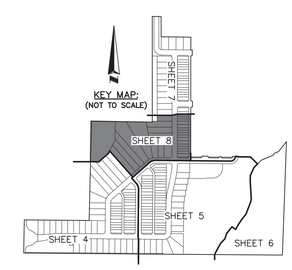

WILLOW RUN

A TRACT OF LAND LYING IN SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST AS BEING N85°38'24"E FOR ANGULAR DESIGNATION ONLY.
2. ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION AND DATA SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
3. ALL LOT LINES INTERSECTING CURVES ARE RADIAL, UNLESS OTHERWISE NOTED NON-RADIAL (N.R.).
4. THE FOLLOWING TRACTS AND EASEMENTS COMPRISE THE COMMON AREAS AS MORE PARTICULARLY DEFINED IN THE COMMUNITY DECLARATION FOR WILLOW RUN AND ANY AMENDMENTS AND/OR SUPPLEMENTS THERETO THE ("DECLARATION") AND SHALL BE DEDICATED TO AND MAINTAINED BY THE WILLOW RUN COMMUNITY ASSOCIATION, INC. ("ASSOCIATION"):
   TRACT 'B' (PRIVATE RIGHT-OF-WAY)
   TRACTS 'C' AND 'D' (STORMWATER)
   TRACTS 'E' AND 'G' (LANDSCAPE BUFFER)
   TRACTS 'F', 'I', 'J' AND 'K' (LANDSCAPE/WALL BUFFER)
   TRACT 'H' (LANDSCAPE/FENCE BUFFER)
   TRACT 'L' (LANDSCAPE BUFFER)
   TRACT M (POCKET PARK/DOG PARK/WALKING PATH)
   TRACTS 'N' (OPEN SPACE)
   TRACT 'O' (MAIL KIOSK)
   TRACT P (LIFT STATION)
   TRACT 'Q' (TRAFFIC ISLAND)
   WALL FENCE MAINTENANCE EASEMENT (W.F.M.E.)
   PRIVATE DRAINAGE EASEMENT (P.D.E.)
   PRIVATE PEDESTRIAN TRAIL ACCESS EASEMENT (P.T.A.E.)
   FENCE EASEMENT (F.E.)
   FENCE MAINTENANCE EASEMENT (F.M.E.)
5. THE OWNERS OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 36, 37, 38, 39, 40, 41, 42, 43, 44, 53, 54, 55, 56, 57, 58 AND 59 ARE SUBJECT TO A WALL EASEMENT (W.E.), AS DEFINED IN THE SUPPLEMENTAL DECLARATION TO THE COMMUNITY DECLARATION FOR WILLOW RUN. RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
6. RETAINING WALLS SHALL BE MAINTAINED BY THE ASSOCIATION.

LEGAL DESCRIPTION:

A TRACT OF LAND LYING IN SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 19 FOR A POINT OF REFERENCE; THENCE RUN NORTH 85°38'24" EAST, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 19, FOR A DISTANCE OF 742.00 FEET TO THE WEST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 19; THENCE RUN SOUTH 00°00'04" EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 60.24 FEET TO THE A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF APPY LANE, ACCORDING TO OFFICIAL RECORDS BOOK 9701, PAGE 2389 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE RUN NORTH 85°38'18" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1575.43 FEET; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, RUN SOUTH 00°24'08" EAST, PARALLEL WITH AND 600.00 FEET WEST OF (PERPENDICULAR MEASURE) OF THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 19, FOR A DISTANCE OF 1288.74 FEET TO THE NORTH RIGHT-OF-WAY LINE OF LENT ROAD, ACCORDING TO RIGHT-OF-WAY AGREEMENT, RECORDED IN OFFICIAL RECORDS BOOK 4, PAGES 13 AND 14 OF SAID PUBLIC RECORDS; THENCE RUN SOUTH 86°34'19" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2264.68 FEET TO THE EAST RIGHT-OF-WAY LINE OF PLYMOUTH-SORRENTO ROAD, ACCORDING TO DOCUMENT #_____ OF SAID PUBLIC RECORDS; THENCE RUN NORTH 00°02'10" EAST, ALONG SAID EAST RIGHT-OF-WAY LINE, FOR A DISTANCE OF 641.29 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 19; THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE RUN NORTH 86°06'20" EAST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 681.89 FEET TO THE AFORESAID WEST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 19; THENCE RUN NORTH 00°00'04" WEST, ALONG SAID WEST LINE, FOR A DISTANCE OF 616.71 FEET TO THE POINT OF BEGINNING.

CONTAINS: 56.22 ACRES, MORE OR LESS.

SHEET INDEX

SHEET 1 of 10 – legal description, dedication, Surveyor's notes & legend

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SHEETS 3 through 10 of 10 – lot and tract geometry

"NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY."

LEGEND:

P.S.M.	PROFESSIONAL SURVEYOR & MAPPER	■	SET 4" X 4" CONCRETE MONUMENT LB 6723 PERMANENT REFERENCE MONUMENT (P.R.M.)	P.I.	POINT OF INTERSECTION
LB	LICENSED BUSINESS	⊡	FOUND 4" X 4" CONCRETE MONUMENT AS NOTED	P.C.	POINT OF CURVATURE
LLC	LIMITED LIABILITY COMPANY			P.T.	POINT OF TANGENCY
℄	CENTERLINE			N.T.	NON-TANGENT
CCR#	CERTIFIED CORNER RECORD NUMBER	◉	SET NAIL & DISK LB 6723 PERMANENT CONTROL POINT (P.C.P.)	N.R.	NON-RADIAL
U.E.	UTILITY EASEMENT			P.D.E.	PRIVATE DRAINAGE EASEMENT
D.E.	DRAINAGE EASEMENT	○	FOUND IRON ROD OR PIPE AS NOTED		CHANGE IN DIRECTION
W.F.M.E.	WALL FENCE MAINTENANCE EASEMENT	RAD.	RADIAL	F.M.E.	FENCE MAINTENANCE EASEMENT
F.E.	FENCE EASEMENT	P.T.A.E.	PEDESTRIAN TRAIL ACCESS EASEMENT		

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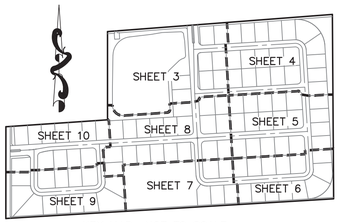
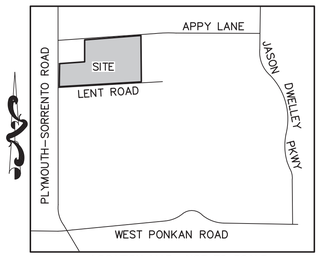


KEY MAP NOT TO SCALE



LOCATION MAP NOT TO SCALE

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

Examined and Approved _____
Chairman Date

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on_____ the foregoing plat was approved by the Municipality

_____
Mayor

Attest: _____
City Clerk

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved _____
City Engineer Date

CERTIFICATE OF APPROVAL BY ZONING DIRECTOR

Examined and Approved _____
Zoning Director Date

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on _____ completed the survey of the lands as shown in the foregoing plat or plan: that said plat is a true and correct representation of the lands surveyed and platted and was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.

By: _____ Date: _____

James L. Rickman P.S.M. # 5633
Allen & Company
Licensed Business # 6723
16 East Plant Street
Winter Garden, Florida 34787

PLAT BOOK_____ PAGE _____

WILLOW RUN
DEDICATION

THIS is to certify that the undersigned, M/I HOMES OF ORLANDO, LLC, a Florida limited liability company hereafter referred to as "Owner" is the lawful owner of the lands described in the caption hereon, and that it has caused the same to be surveyed, and this plat, made in accordance with said survey, is hereby adopted as the true and correct plat of said lands. No part of said lands, except as noted on the face of this plat, is dedicated to the City of Apopka or to the public. None of the property designated "Common Area" on this plat is required for public use: and such "Common Area" is not and will not be a part of the County system of public roads. Said "Common Area" is instead part of the "Common Area" created by this plat and will be subject to the declaration of covenants. conditions, and restrictions for Willow Run Community Association, Inc. as recorded in Official Records Book_____, Page_____ (herein after referred to as the "Declaration"). Said "Common Area" shall remain private and the sole and exclusive property of Owner its successors and assigns. Owner does hereby grant to the present and future owners of lots (1 through 110) and their guests, invitees, domestic help, and to delivery, pick-up and fire protection services, police and other authorities of law, United States mail carriers, representatives of utilities, holders of mortgage liens on such lands, and such other persons as owner, its successor and assigns, may from time to time designate the non-exclusive and perpetual right of ingress and egress over and across the roads and sidewalks, as they may from time to time be constructed on Tract 'B' of the "Common Area". The Owner, in recording this plat has created the Common Area" shown hereon, which common area is a portion of the "Common Area" described in the declaration. Said "Common Area" is not dedicated to the use and enjoyment of the general public, but its use is reserved for the common use and enjoyment of the property owners of Willow Run. The nature and extent of, and the reservations and restrictions on such common use and enjoyment are more fully set forth in the Declaration. Tract 'B' is subject to a dedicated utility easement to the City of Apopka for maintaining water, sewer and reclaim water lines.

NOTWITHSTANDING the foregoing: An emergency access easement to the private storm drainage system over Tract 'B' and over all drainage easements shown on this plat is hereby dedicated to the City of Apopka for emergency maintenance purposes in the event inadequate maintenance of the storm drainage system creates a hazard to the public health, safety, and general welfare. The emergency access easement granted above does not impose any obligation, burden, responsibility or liability upon the City of Apopka to enter upon the subject property and take any action to repair or maintain the private drainage system. A non-exclusive easement through, over, under and across the common area and all noted utility easements is hereby dedicated for use by all public utilities for the purpose of constructing, maintaining and replacing their respective facilities servicing the lands encompassed by this plat.
The utility easements shown hereon are dedicated to the perpetual use of the public.

IN WITNESS WHEREOF, the undersigned, M/I HOMES OF ORLANDO, LLC a Florida limited liability company, has caused these presents to be executed and acknowledged by its undersigned Officer thereunto duly authorized on this ___ day of _____ 2024.

By: M/I HOMES OF ORLANDO, LLC, a Florida limited liability company

WITNESSES:

_____
Printed Name of Witness

_____
Printed Name of Witness

By: _____
Daniel Kaiser, Vice President
Printed name Title

STATE OF

COUNTY OF

The foregoing instrument was acknowledged before me, by means of [ ] physical presence or [ ] online notarization, this ___ day of _____, 2024, by Daniel Kaiser who is [ ] personally known to me or [ ] has produced _____ as identification.

SIGNATURE OF NOTARY PUBLIC _____

PRINTED NAME OF NOTARY PUBLIC _____

CERTIFICATE OF REVIEW BY REVIEWING SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed: _____ Date: _____

Printed Name: Ralph A. Nieto
Registration Number 6025

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records

on _____ as Doc.# _____

County Comptroller in and for Orange County, Florida.

By _____

WILLOW RUN

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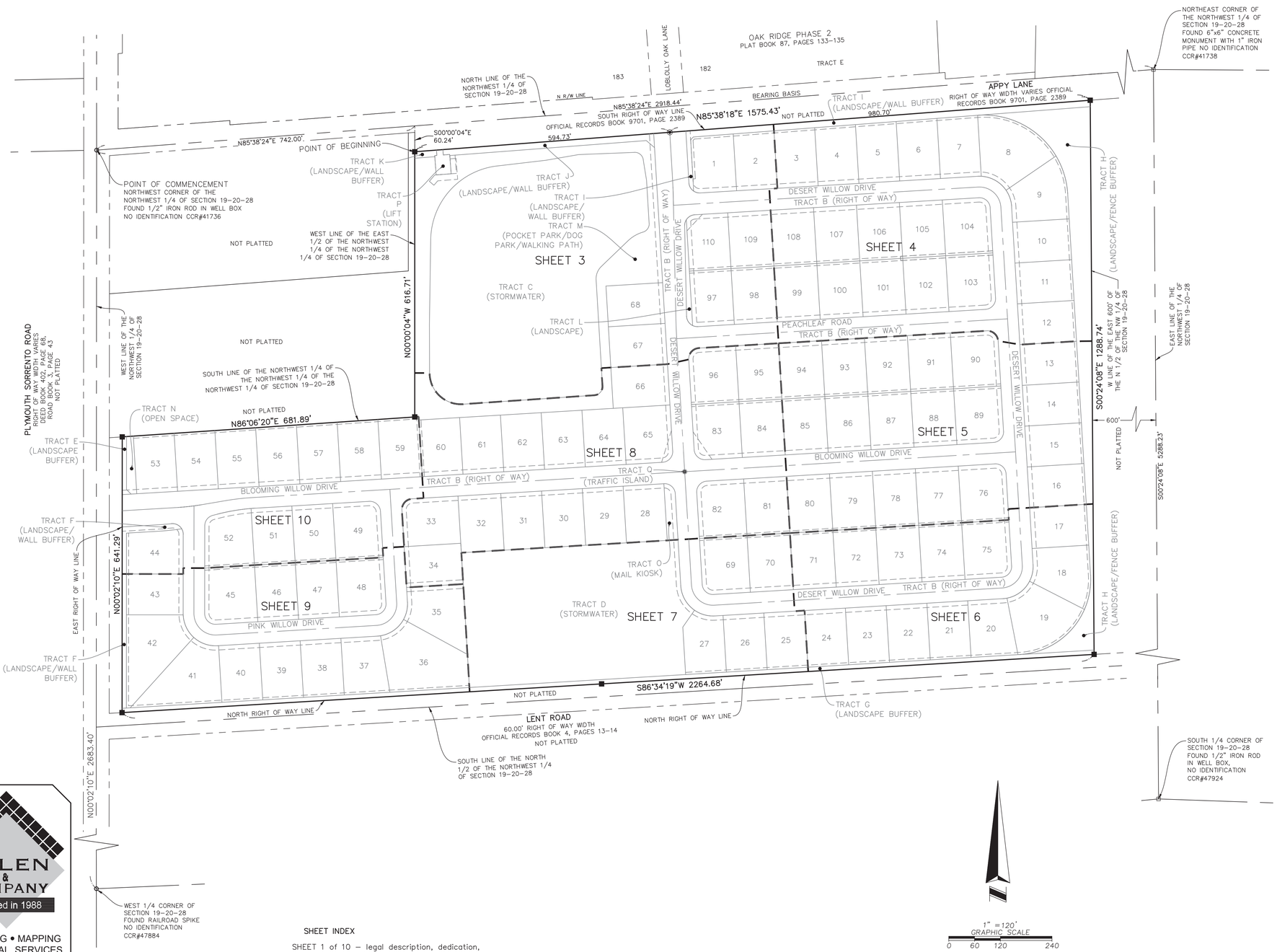

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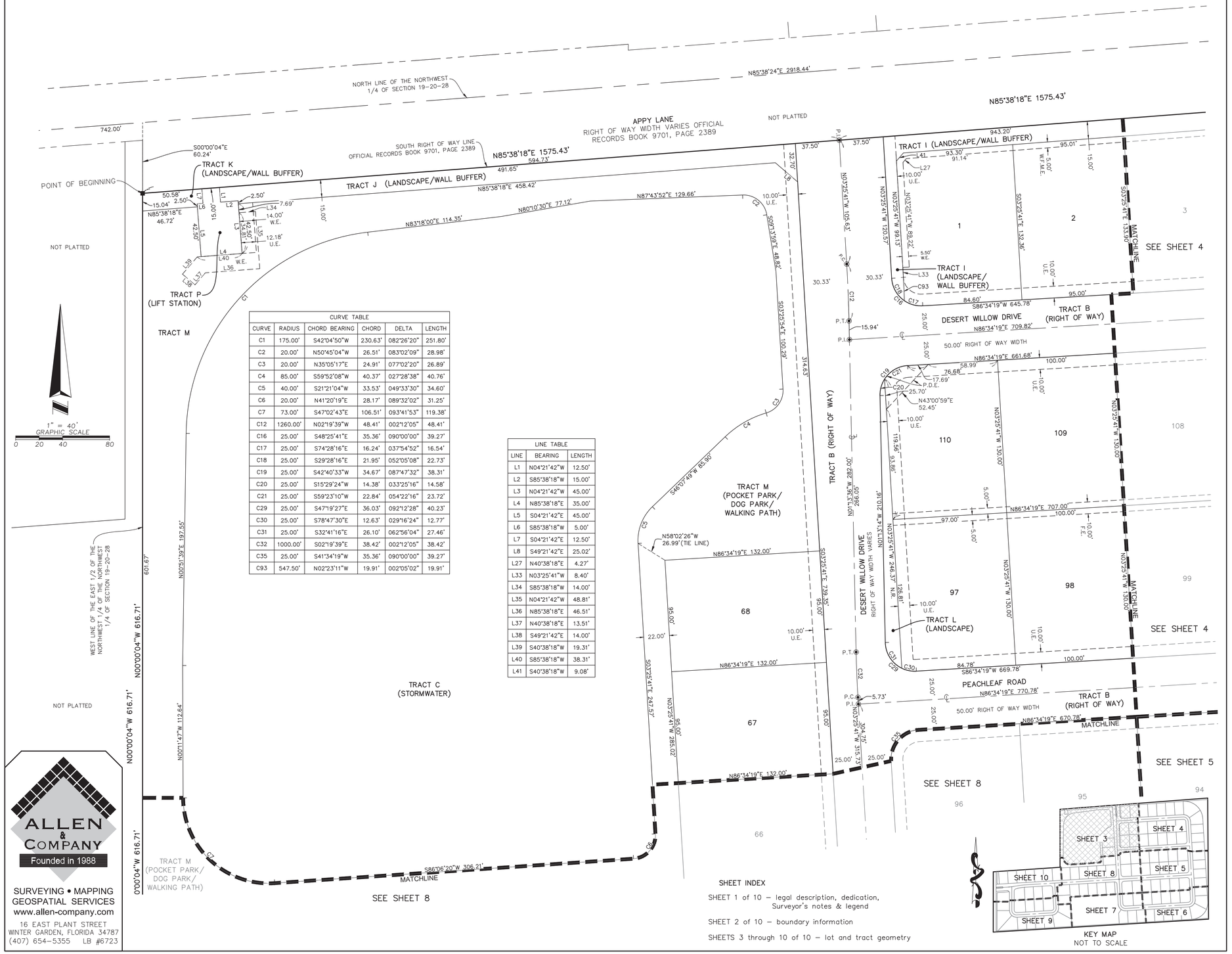

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C1	175.00'	S42°04'50"W	230.63'	082°26'20"	251.80'
C2	20.00'	N50°45'04"W	26.51'	083°02'09"	28.98'
C3	20.00'	N35°05'17"E	24.91'	077°02'20"	26.89'
C4	85.00'	S59°52'08"W	40.37'	027°28'38"	40.76'
C5	40.00'	S21°21'04"W	33.53'	049°33'30"	34.60'
C6	20.00'	N41°20'19"E	28.17'	089°32'02"	31.25'
C7	73.00'	S47°02'43"E	106.51'	093°41'53"	119.38'
C12	1260.00'	N02°19'39"W	48.41'	002°12'05"	48.41'
C16	25.00'	S48°25'41"E	35.36'	090°00'00"	39.27'
C17	25.00'	S74°28'16"E	16.24'	037°54'52"	16.54'
C18	25.00'	S29°28'16"E	21.95'	052°05'08"	22.73'
C19	25.00'	S42°40'33"W	34.67'	087°47'32"	38.31'
C20	25.00'	S15°29'24"W	14.38'	033°25'16"	14.58'
C21	25.00'	S59°23'10"W	22.84'	054°22'16"	23.72'
C29	25.00'	S47°19'27"E	36.03'	092°12'28"	40.23'
C30	25.00'	S78°47'30"E	12.63'	029°16'24"	12.77'
C31	25.00'	S32°41'16"E	26.10'	062°56'04"	27.46'
C32	1000.00'	S02°19'39"E	38.42'	002°12'05"	38.42'
C35	25.00'	S41°34'19"W	35.36'	090°00'00"	39.27'
C93	547.50'	N02°23'11"W	19.91'	002°05'02"	19.91'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N04°21'42"W	12.50'
L2	S85°38'18"W	15.00'
L3	N04°21'42"W	45.00'
L4	N85°38'18"E	35.00'
L5	S04°21'42"E	45.00'
L6	S85°38'18"W	5.00'
L7	S04°21'42"E	12.50'
L8	S49°21'42"E	25.02'
L27	N40°38'18"E	4.27'
L33	N03°25'41"W	8.40'
L34	S85°38'18"W	14.00'
L35	N04°21'42"W	48.81'
L36	N85°38'18"E	46.51'
L37	N40°38'18"E	13.51'
L38	S49°21'42"E	14.00'
L39	S40°38'18"W	19.31'
L40	S85°38'18"W	38.31'
L41	S40°38'18"W	9.08'

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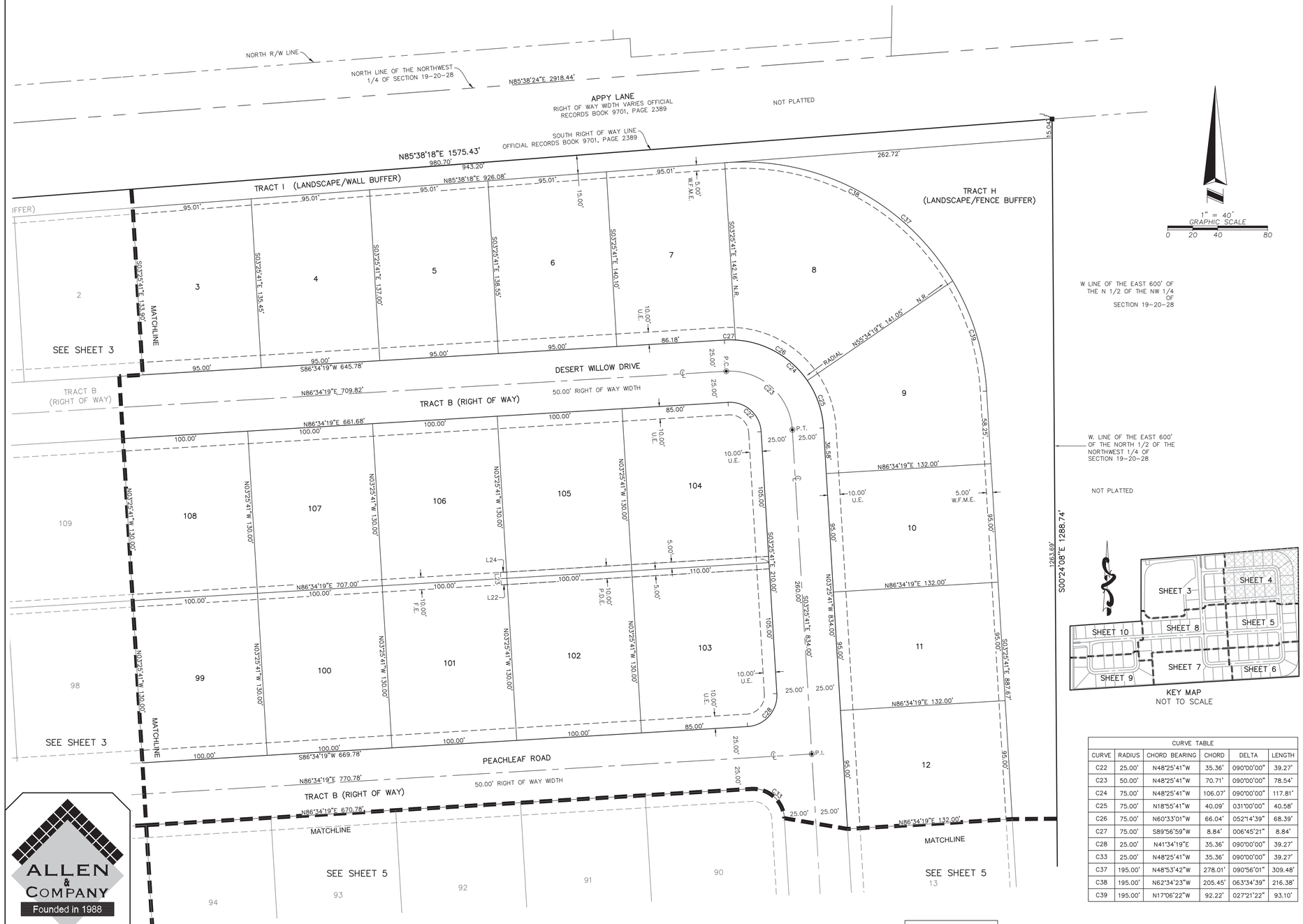

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C22	25.00'	N48°25'41"W	35.36'	090°00'00"	39.27'
C23	50.00'	N48°25'41"W	70.71'	090°00'00"	78.54'
C24	75.00'	N48°25'41"W	106.07'	090°00'00"	117.81'
C25	75.00'	N18°55'41"W	40.09'	031°00'00"	40.58'
C26	75.00'	N60°33'01"W	66.04'	052°14'39"	68.39'
C27	75.00'	S89°56'59"W	8.84'	006°45'21"	8.84'
C28	25.00'	N41°34'19"E	35.36'	090°00'00"	39.27'
C33	25.00'	N48°25'41"W	35.36'	090°00'00"	39.27'
C37	195.00'	N48°53'42"W	278.01'	090°56'01"	309.48'
C38	195.00'	N62°34'23"W	205.45'	063°34'39"	216.38'
C39	195.00'	N17°06'22"W	92.22'	027°21'22"	93.10'

LINE TABLE		
LINE	BEARING	LENGTH
L22	S86°34'19"W	5.00'
L23	N03°25'41"W	10.00'
L24	N86°34'19"E	5.00'

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CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C33	25.00'	N48°25'41"W	35.36'	090°00'00"	39.27'
C34	25.00'	N41°34'19"E	35.36'	090°00'00"	39.27'
C54	25.00'	N48°25'41"W	35.36'	090°00'00"	39.27'

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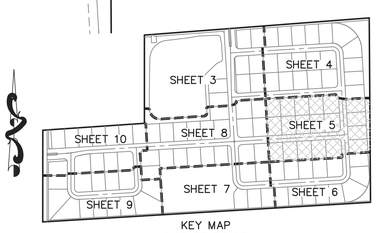

KEY MAP
NOT TO SCALE

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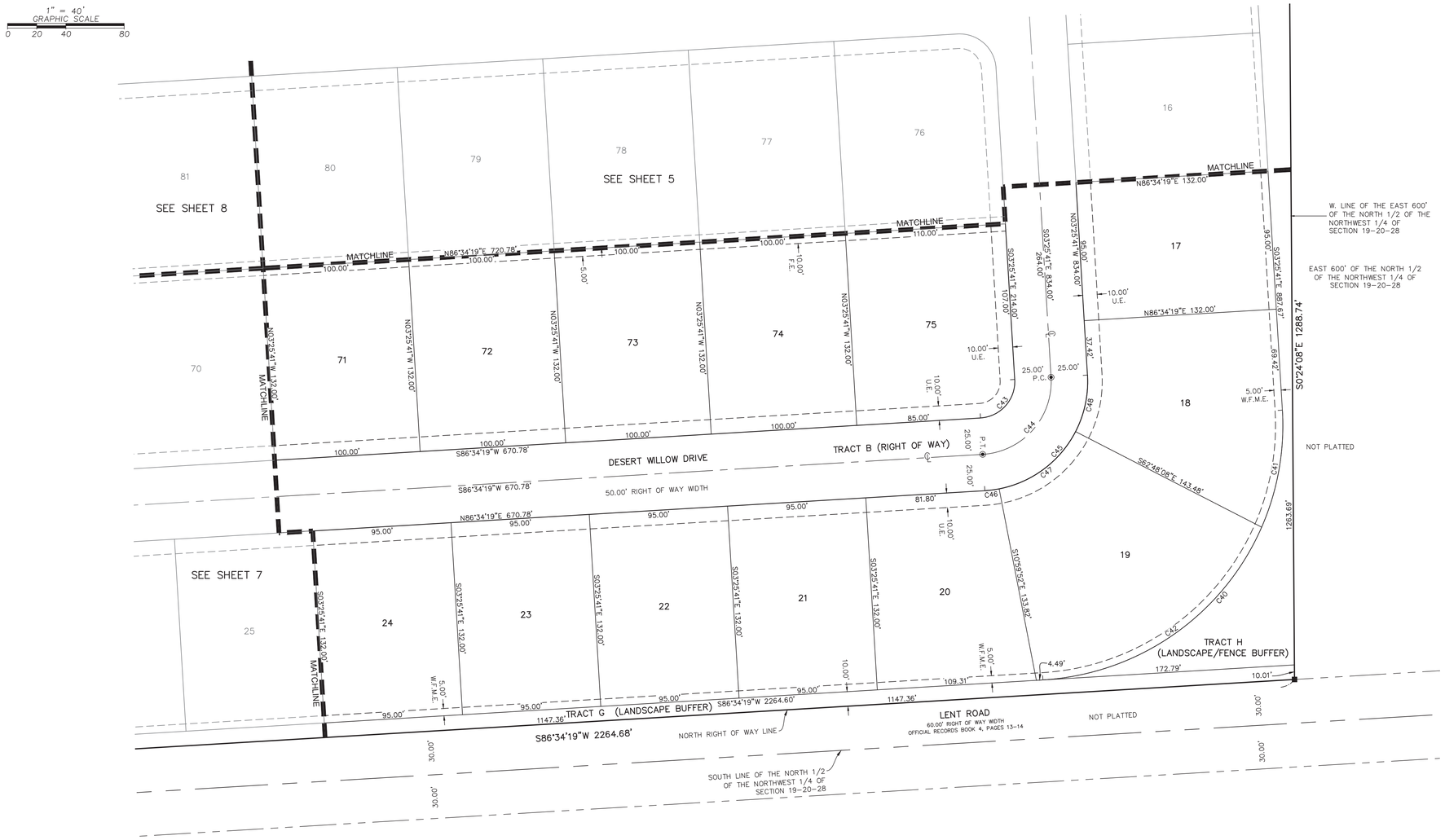

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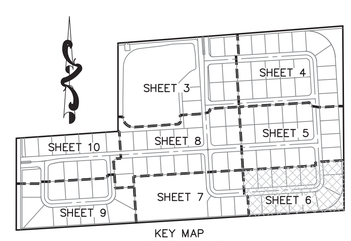
C40	175.00'	N41°34'19"E	247.49'	090°00'00"	274.89'
C41	175.00'	N10°02'40"E	81.54'	026°56'43"	82.30'
C42	175.00'	N55°02'40"E	183.02'	063°03'17"	192.59'
C43	25.00'	N41°34'19"E	35.36'	090°00'00"	39.27'
C44	50.00'	N41°34'19"E	70.71'	090°00'00"	78.54'
C45	75.00'	N41°34'19"E	106.07'	090°00'00"	117.81'
C46	75.00'	N82°47'13"E	9.90'	007°34'11"	9.91'
C47	75.00'	N53°06'00"E	65.53'	051°48'15"	67.81'
C48	75.00'	N11°53'06"E	39.61'	030°37'34"	40.09'



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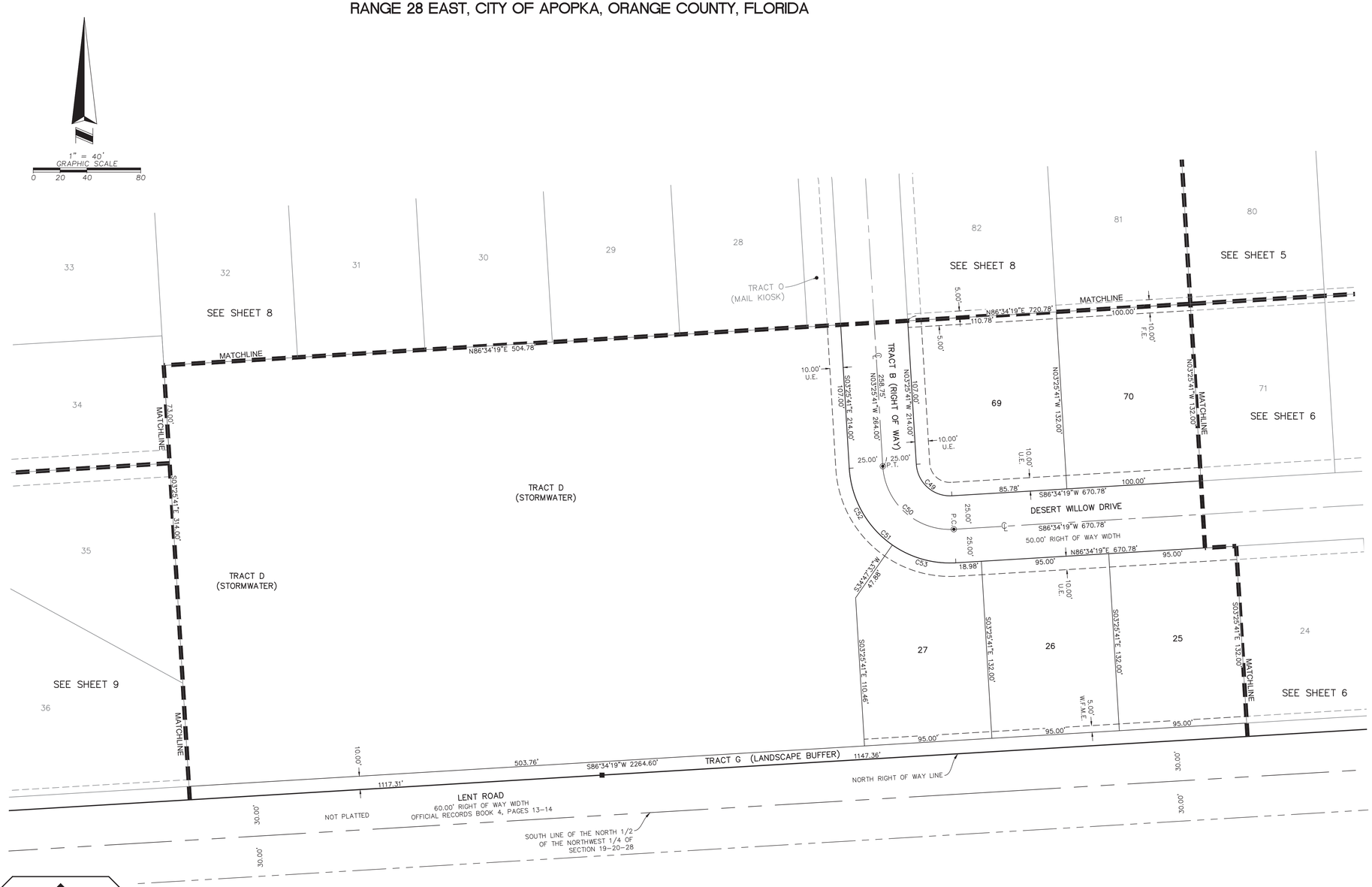

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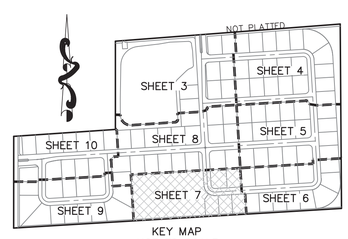
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C49	25.00'	S48°25'41"E	35.36'	090°00'00"	39.27'
C50	50.00'	S48°25'41"E	70.71'	090°00'00"	78.54'
C51	75.00'	S48°25'41"E	106.07'	090°00'00"	117.81'
C52	75.00'	S29°19'04"E	65.50'	051°46'45"	67.78'
C53	75.00'	S74°19'04"E	49.11'	038°13'15"	50.03'



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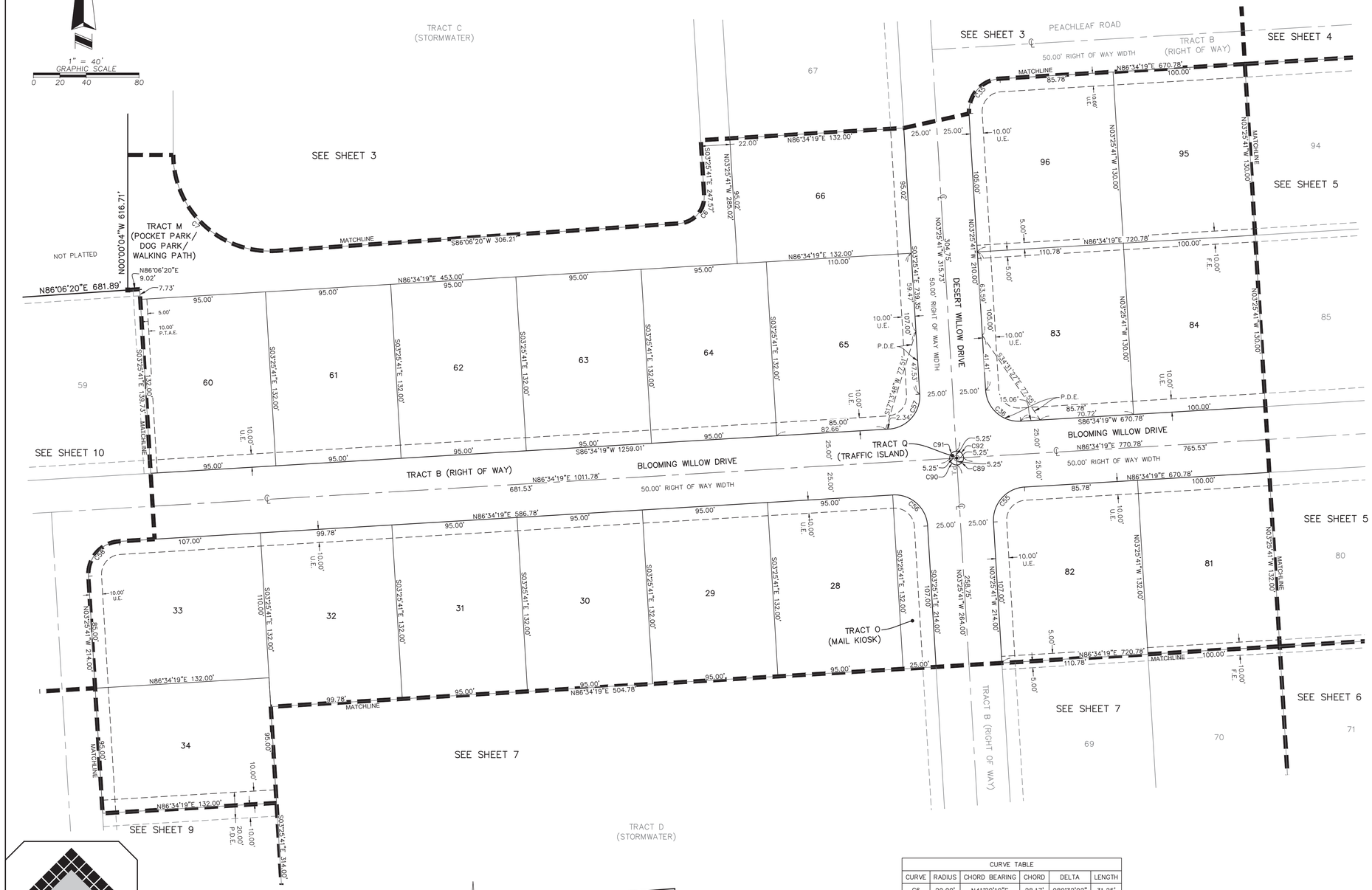

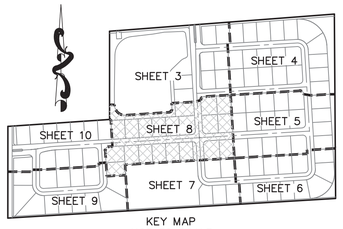

KEY MAP
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CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C6	20.00'	N41°20'19"E	28.17'	089°32'02"	31.25'
C7	73.00'	S47°02'43"E	106.51'	093°41'53"	119.38'
C35	25.00'	S41°34'19"W	35.36'	090°00'00"	39.27'
C36	25.00'	S48°25'41"E	35.36'	090°00'00"	39.27'
C55	25.00'	S41°34'19"W	35.36'	090°00'00"	39.27'
C56	25.00'	N48°25'41"W	35.36'	090°00'00"	39.27'
C57	25.00'	N41°34'19"E	35.36'	090°00'00"	39.27'
C58	25.00'	S41°34'19"W	35.36'	090°00'00"	39.27'
C89	5.25'	N41°34'19"E	7.42'	090°00'00"	8.25'
C90	5.25'	S48°25'41"E	7.42'	090°00'00"	8.25'
C91	5.25'	S41°34'19"W	7.42'	090°00'00"	8.25'
C92	5.25'	N48°25'41"W	7.42'	090°00'00"	8.25'

SHEET INDEX

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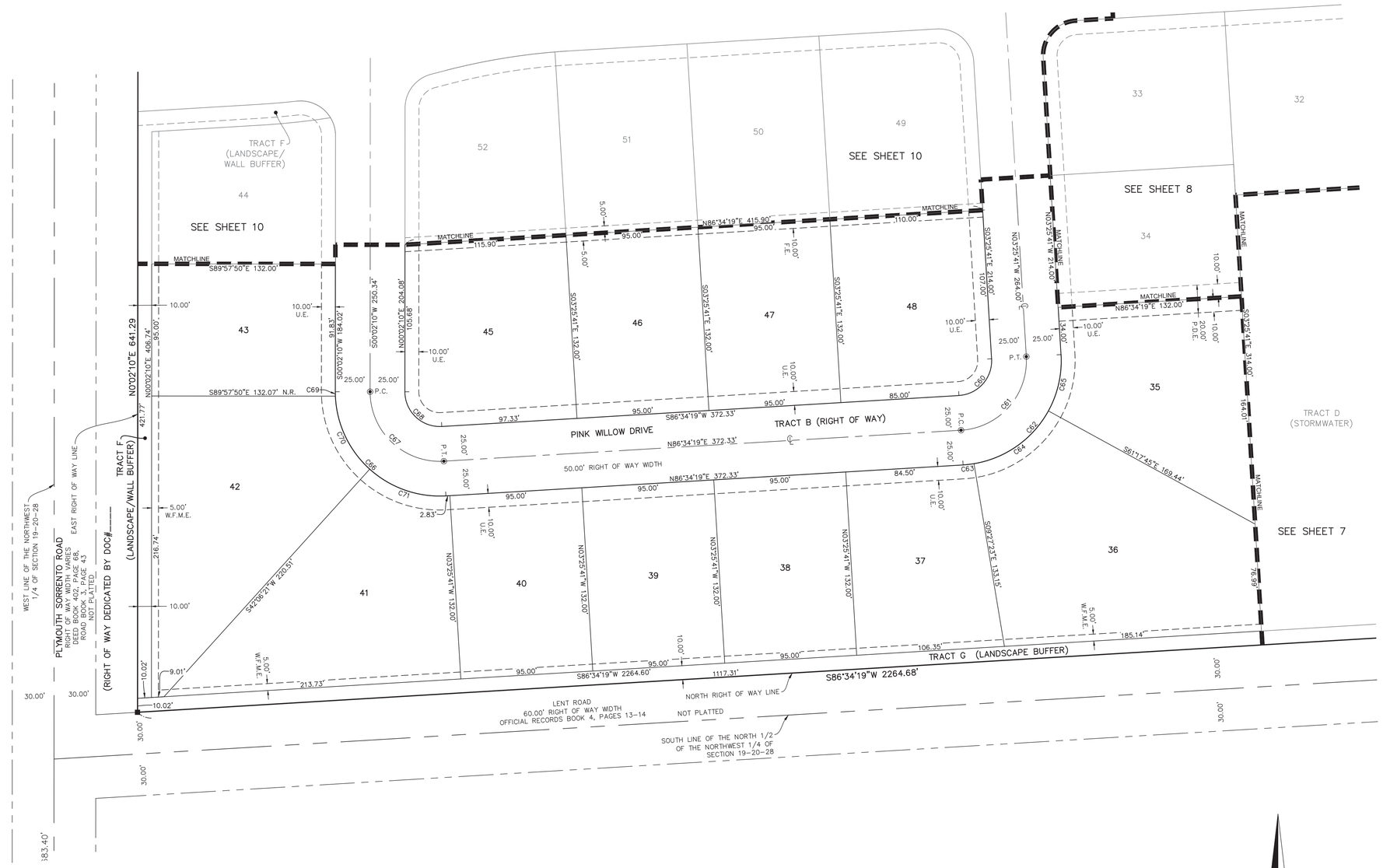
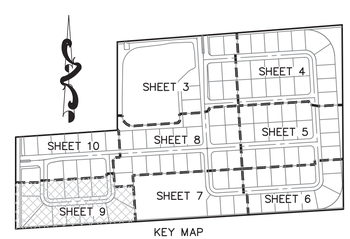
WILLOW RUN

A TRACT OF LAND LYING IN SECTION 19, TOWNSHIP 20 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA



CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C60	25.00'	N41°34'19"E	35.36'	090°00'00"	39.27'
C61	50.00'	N41°34'19"E	70.71'	090°00'00"	78.54'
C62	75.00'	N41°34'19"E	106.07'	090°00'00"	117.81'
C63	75.00'	N83°33'28"E	7.89'	006°01'41"	7.89'
C64	75.00'	N54°37'26"E	65.57'	051°50'22"	67.86'
C65	75.00'	N12°38'17"E	41.51'	032°07'57"	42.06'
C66	75.00'	S46°41'46"E	109.22'	093°27'51"	122.34'
C67	50.00'	S46°41'46"E	72.82'	093°27'51"	81.56'
C68	25.00'	S46°41'46"E	36.41'	093°27'51"	40.78'
C69	75.00'	S01°10'26"E	3.17'	002°25'11"	3.17'
C70	75.00'	S25°08'20"E	58.02'	045°30'37"	59.57'
C71	75.00'	S70°39'40"E	58.05'	045°32'02"	59.60'



KEY MAP
NOT TO SCALE

1" = 40'
GRAPHIC SCALE
0 20 40 80

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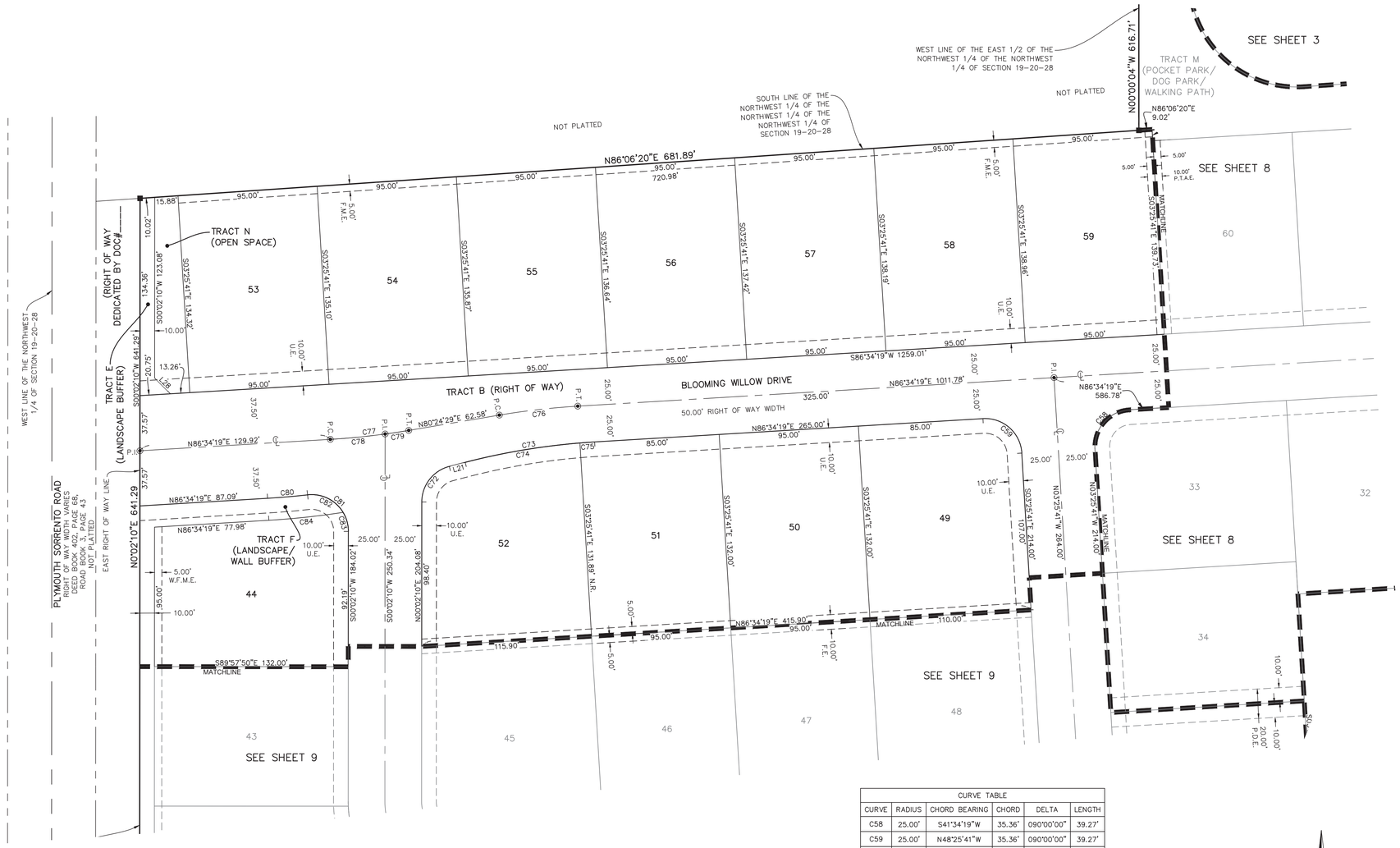
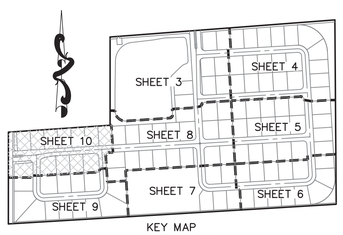


CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C58	25.00'	S41°34'19"W	35.36'	090°00'00"	39.27'
C59	25.00'	N48°25'41"W	35.36'	090°00'00"	39.27'
C72	25.00'	S37°46'04"W	30.60'	075°27'48"	32.93'
C73	462.50'	S81°02'08"W	89.24'	011°04'21"	89.38'
C74	462.50'	S80°24'58"W	79.28'	009°50'00"	79.38'
C75	462.50'	S85°57'09"W	10.00'	001°14'20"	10.00'
C76	500.00'	S83°29'24"W	53.76'	006°09'50"	53.79'
C77	500.00'	N83°29'22"E	53.77'	006°09'53"	53.80'
C78	500.00'	N84°25'21"E	37.50'	004°17'54"	37.51'
C79	500.00'	N81°20'26"E	16.28'	001°51'56"	16.28'
C80	537.50'	N85°06'43"E	27.39'	002°55'11"	27.39'
C81	25.00'	N48°09'21"W	37.27'	096°23'02"	42.06'
C82	25.00'	N63°43'23"W	26.96'	065°14'58"	28.47'
C83	25.00'	N15°31'52"W	13.42'	031°08'04"	13.58'
C84	552.50'	N83°56'04"E	50.85'	005°16'30"	50.87'

LINE TABLE		
LINE	BEARING	LENGTH
L21	S75°29'58"W	11.18'
L28	S44°57'50"E	15.15'



KEY MAP
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1" = 40'
GRAPHIC SCALE
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MINOR DEVELOPMENT PLAN
FOR
1400 W KELLY PARK RD.

Sheet List Table	
Sheet Number	Sheet Title
C-1.0	COVER
C-2.0	GENERAL NOTES
C-3.0	EROSION CONTROL PLAN
C-3.1	SWPPP GENERAL REQUIREMENTS
C-4.0	EXISTING CONDITIONS, CLEARING AND DEMOLITION PLAN
C-5.0	SITE PLAN
C-6.0	PAVEMENT GEOMETRY AND STRIPING PLAN
C-7.0	OVERALL GRADING AND DRAINAGE PLAN
C-7.1	GRADING AND DRAINAGE PLAN 1
C-7.2	GRADING AND DRAINAGE PLAN 2
C-7.3	SITE DETAILS
C-8.0	OVERALL WATER AND SEWER PLAN
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C-8.3	UTILITIES DETAILS
C-8.4	UTILITIES DETAILS
C-8.5	UTILITIES DETAILS
C-9.0	SITE PROFILE VIEWS PLAN
U-LS	LIFT STATION DETAILS (NOT INCLUDED)
SHEET 1 OF 2	BOUNDARY, TOPOGRAPHIC, & TREE SURVEY
SHEET 2 OF 2	BOUNDARY, TOPOGRAPHIC, & TREE SURVEY
LS-00	LANDSCAPE NOTES
LS-01	LANDSCAPE PLAN
LS-02	LANDSCAPE PLAN
LS-03	LANDSCAPE PLAN
LS-04	LANDSCAPE DETAILS
IR-00	IRRIGATION NOTES
IR-01	IRRIGATION PLAN
IR-02	IRRIGATION PLAN
IR-03	IRRIGATION PLAN
IR-04	IRRIGATION DETAILS

PREPARED FOR:
MICHAEL A. GENTLES

PROPERTY ADDRESS:
1400 W KELLY PARK ROAD
APOPKA, FL 32712

SECTION 17, TOWNSHIP 20 SOUTH, RANGE 28 EAST
PARCEL ID No: 17-20-28-0000-00-008

SITE LOCATION
1 IN = 2,000 FT

OWNER:

MICHAEL A. GENTLES
1178 SPINNING WHEEL DR
APOPKA, FL 32712-6503
CONTACT:

ENGINEER:

STORYBOOK DEVELOPMENT SERVICES, LLC
5931 BRICK COURT, SUITE 168
WINTER PARK, FL 32792
JOSE CHAVES, P.E.
PH: 321-246-8811

LANDSCAPE ARCHITECT:

SURVEYORS:

PANTALONE INDUSTRIES, LLC
3920 GREENVIEW PINES COURT
ORLANDO, FL 32817
STEPHEN PANTALONE
STEPHEN@PANTALONEINDUSTRIES.COM
PH: 304-376-4439

GEOTECHNICAL ENGINEER:

YOVAISH ENGINEERING SERVICES, LLC
1178 SPINNING WHEEL DR.
APOPKA, FL 32712
DOUGLAS J. YOVAISH, P.E.
PH: 407-478-8978

LEGAL DESCRIPTION:

THE WEST 170.0 FEET OF THE EAST 370.0 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER ALL IN SECTION 17, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ALL IN ORANGE COUNTY, FLORIDA.

LESS: THE NORTH 30 FEET THEREOF FOR KELLY PARK ROAD RIGHT-OF-WAY.

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
JOSE A. CHAVES
JOSE@STORYBOOKTEAM.COM
321-246-8811

JOSE A. CHAVES STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 78518

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSE CHAVES, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

Jose A Chaves

JOSE ANTONIO CHAVES LICENSE No. 78518 STATE OF FLORIDA PROFESSIONAL ENGINEER

REVISIONS							
#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
COVER
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	
SHEET:	C-1.0

GENERAL NOTES

1. UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE PERFORMED CONSISTENT WITH SPECIFICATIONS FROM CITY OF APOPKA, FLORIDA, ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION.

2. THIS DESIGN HAS BEEN BASED UPON GEOTECHNICAL EVALUATION PERFORMED BY YOVAISH ENGINEERING SERVICES, LLC. ON FEBRUARY 21, 2024. STORYBOOK DEVELOPMENT SERVICES, LLC MAKES NO ASSURANCES REGARDING THE ACCURACY OF SUCH GEOTECHNICAL EVALUATION.

3. THIS DESIGN HAS BEEN BASED UPON BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY PERFORMED BY PANTALONE INDUSTRIES, LLC. STORYBOOK DEVELOPMENT SERVICES, LLC MAKES NO ASSURANCES REGARDING THE ACCURACY OF THE SURVEY. ELEVATIONS SHOWN HEREON ARE BASED OFF THE NORTH AMERICAN DATUM OF 1988 (NAVD88). SEE SURVEY FOR BENCHMARK REFERENCE.

4. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN EXISTING ROAD RIGHTS-OF-WAY WITH THE CITY OF APOPKA.

5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND IN-HAND BEFORE BEGINNING CONSTRUCTION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL INSPECTION CRITERIA AND SCHEDULES, AND FOR SIGNING SAID INSPECTIONS.

7. IF ANY TESTING, INSPECTION OR APPROVAL REQUIRED FOR THIS PROJECT REVEAL DEFECTIVE WORK, CONTRACTOR SHALL NOT BE ALLOWED TO RECEIVE ANY ASSOCIATED COSTS AND THE OWNER SHALL BE ENTITLED TO DEDUCT FROM THE CONTRACT PRICE, BY ISSUING A CHANGE ORDER, OWNER'S COST ARISING OUT OF THE DEFECTIVE WORK, INCLUDING COSTS OF REPEATED PROCEDURES, COMPENSATION FOR ENGINEER'S AND DESIGN ENGINEER'S SERVICES AND OTHER RELATED COSTS.

8. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, THE WORK REQUIRED AND ALL OTHER CONDITIONS THAT MAY EFFECT THE SUCCESSFUL COMPLETION OF THE JOB PRIOR TO COMMENCEMENT OF WORK.

9. IN THE EVENT THE CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS HE SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ENGINEER.

10. IF HISTORICAL, OR ARCHEOLOGICAL ARTIFACTS, SUCH AS INDIAN CANOES, ARE DISCOVERED AT ANY TIME WITHIN THE PROJECT SITE, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE FOLLOWING:
    THE OWNER
    THE ST JOHNS RIVER WATER MANAGEMENT DISTRICT
    THE BUREAU OF HISTORICAL PRESERVATION DIVISION OF HISTORICAL RESOURCES
    R.A. GRAY BUILDING, 500 S. BRONOUGH ST. TALLAHASSEE, FLORIDA 32399-0250

11. PLANS MUST MEET COMPLIANCE WITH THE LAND USAGE REQUIREMENTS SET THE CITY OF APOPKA LAND DEVELOPMENT CODE, OTHER RELEVANT PROVISIONS OF THE CITY'S LAND DEVELOPMENT CODE, THE CITY'S UTILITY SYSTEMS DEPARTMENT UTILITY STANDARDS MANUAL, AND THE CITY WIDE DESIGN STANDARDS.

12. ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING THE APPROVAL OF FINAL CONSTRUCTION PLANS..

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND FOR NOTIFYING THE VARIOUS UTILITY PROVIDERS TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, TEMPORARY DISRUPTION OF SERVICE, OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY PROVIDERS AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY PROVIDER DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

14. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE SYSTEMS AND TOPOGRAPHIC FEATURES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, WHICH WOULD APPRECIABLY AFFECT THE EXECUTION OF THESE PLANS, THE CONTRACTOR WILL HALT ALL CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH GOVERNMENTAL DEPARTMENTS, PUBLIC UTILITIES, PUBLIC CARRIERS, SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND TELEGRAPH FACILITIES SUCH AS PAVEMENTS, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS, OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED THEREWITH THAT ARE ENCOUNTERED IN THE WORK IN ORDER THAT SUCH ITEMS MAY BE PROPERLY SUPPORTED, PROTECTED, OR LOCATED.

16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL REASONABLE AND PRUDENT PRECAUTIONS TO INSURE THAT ALL COMPLETED WORK, MATERIALS AND EQUIPMENT STORED ON SITE ARE SAFE AND SECURED FROM UNAUTHORIZED ACCESS OR USE. SUCH PRECAUTIONS MAY INCLUDE INSTALLATION OF SIGNS, FENCES, OR POSTING OF SECURITY GUARDS.

17. CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND GUIDELINES PERTAINING TO SAFE UTILIZATION OF EQUIPMENT OR MATERIALS AS PUBLISHED BY MANUFACTURER.

18. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO: ALL EMPLOYEES ON THE PROJECT AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY, ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATE THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS; AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAY, STRUCTURE AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION.

19. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.

20. ALL DAMAGE OR LOSS TO ANY PROPERTY REFERRED TO HEREIN CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR.

21. UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSE THEREOF.

22. THE CONTRACTOR SHALL NOT LOAD OR PERMIT ANY PART OF THE WORK TO BE LOADED SO AS TO ENDANGER ITS SAFETY.

23. THOSE PARTS OF WORK IN PLACE WHICH ARE SUBJECT TO DAMAGE BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.

24. THE CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ACT OF 1970 AND ALL RULES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT, AND THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY AND ALL APPLICABLE STATE LAWS AND REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH.

25. THE CONTRACTOR SHALL PROTECT AND KEEP OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FREE AND HARMLESS FROM ANY AND ALL LIABILITY, PUBLIC OR PRIVATE, PENALTIES, CONTRACTUAL OR OTHERWISE, LOSSES, DAMAGES, COSTS, ATTORNEY'S FEES, EXPENSES, CAUSES OF ACTION, CLAIMS OR JUDGEMENTS RESULTING FROM THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AS AMENDED OR ANY RULE OR REGULATION PROMULGATED THEREUNDER OR OF ANY STATE LAWS OR REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, AND CONTRACTOR SHALL INDEMNIFY OWNER FROM ANY SUCH CLAIMS, PENALTIES, SUITES OR ACTIONS, PUBLIC OR PRIVATE ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE BY CONTRACTOR, AND CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.

26. ALL WORK AND MATERIALS FURNISHED SHALL BE IN REASONABLE CONFORMITY WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS, AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONTRACT, PLANS OR SPECIFICATIONS.

27. THE CONTRACTOR SHALL CONTROL HIS OPERATIONS AND THOSE OF HIS SUBCONTRACTORS, AND ALL SUPPLIERS TO ASSURE THE LEAST INCONVENIENCE TO THE TRAVELING PUBLIC. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED MOVEMENT OF VEHICULAR TRAFFIC AND SHALL LIMIT HIS OPERATIONS FOR THE SAFETY AND CONVENIENCE OF THE TRAVELING PUBLIC. UNDER ALL CIRCUMSTANCES, SAFETY SHALL BE THE MOST IMPORTANT CONSIDERATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER AND THE ENGINEER FOR THE ACTS AND OMISSIONS OF CONTRACTOR'S EMPLOYEES AND ALL THEIR SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

28. PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL BARRICADES, WARNING SIGNS, AND MARKINGS FOR HAZARDS AND THE CONTROL OF TRAFFIC, IN REASONABLE CONFORMITY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS; SUCH AS TO EFFECTIVELY PREVENT ACCIDENTS IN ALL PLACES WHERE THE WORK CAUSES OBSTRUCTIONS TO THE NORMAL TRAFFIC OR CONSTITUTES IN ANY WAY A HAZARD TO THE PUBLIC.

33. PRIOR TO PERFORMING ANY WORK, CONTRACTOR SHALL NOTIFY UNDERGROUND UTILITIES, NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 72 HOURS PRIOR TO START OF WORK. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, AND STORMWATER PONDS) CONTRACTOR SHALL INSTALL FENCES AND TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED. CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE PROVISIONS OF THE FLORIDA STATE TRENCH SAFETY ACT.

34. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN CONSISTENT WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, AND SUBMIT TO THE ENGINEER AND ORANGE COUNTY AND OBTAIN PLAN APPROVAL PRIOR TO CONSTRUCTION. TRAFFIC CONTROL PLAN SHALL BE SUPERVISED BY A MAINTENANCE OF TRAFFIC CERTIFIED INDIVIDUAL.

35. CONTRACTOR SHALL PRESERVE ALL PERMANENT REFERENCE MONUMENTS, PERMANENT CONTROL POINTS, PERMANENT BENCH MARKS AND PROPERTY CORNERS. IN THE EVENT THE MONUMENTS, POINTS OR MARKERS ARE DISTURBED THE CONTRACTOR SHALL EMPLOY A FLORIDA REGISTERED LAND SURVEYOR TO RESET OR REPLACE THEM.

36. THE OWNER, OWNER'S AGENT, AND INSPECTORS OF APPLICABLE GOVERNMENT JURISDICTIONS, SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHEREVER AND WHENEVER IT IS IN PREPARATION OR PROGRESS; AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND FOR THE INSPECTION.

37. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT.

38. THE CONTRACTOR SHALL COMPLY WITH ALL LOAD RESTRICTIONS IN THE HAULING OF MATERIALS IN PUBLIC ROADS BEYOND THE LIMITS OF THE WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR THE DAMAGE WHICH MAY RESULT FROM THE MOVING OF MATERIAL AND EQUIPMENT.

39. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE POLICIES AND GUIDELINES ESTABLISHED BY THE CITY OF APOPKA, FLORIDA FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE OR INJURY TO PROPERTY OF ANY CHARACTER, DURING THE EXECUTION OF THE WORK, RESULTING FROM ANY OMISSION, NEGLECT, OR MISCONDUCT IN HIS MANNER OR METHOD OF EXECUTING THE WORK, OR AT ANYTIME DUE TO DEFECTIVE WORK OR MATERIALS.

40. THE CONTRACTOR SHALL INSURE THAT PROPER SOIL DENSITIES ARE ACHIEVED FOR PLACEMENT OF ALL HEADWALL/ENDWALL FOOTINGS, RETAINING WALLS, AND IN GENERAL, ANY FOOTING SUPPORT DESCRIBED ON THESE PLANS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SUFFICIENT SOILS TESTING HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.

41. THE CONTRACTOR SHALL COMPLY WITH THE CITY'S STANDARDS AND SPECIFICATIONS FOR STRIPPING, CLEARING, GRUBBING, GRADING, BACKFILLING, AND EMBANKMENT PREPARATION WITHIN ALL DESIGNED ROADWAY RIGHT-OF-WAY SECTIONS.

42. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE GEOTECHNICAL ENGINEER'S REPORT FOR THIS PROJECT FROM THE ENGINEER AND MEET THE GEOTECHNICAL ENGINEER'S REQUIREMENTS FOR SOIL PREPARATION ON THE SITE.

43. AFTER THE ROADWAY HAS BEEN CONSTRUCTED TO SUBGRADE, IT SHALL BE PROOF-ROLLED TO ASSURE THAT PROPER COMPACTION HAS BEEN ATTAINED. THE PROOF-ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND THAT ALL DELETERIOUS MATERIALS HAVE BEEN REMOVED.

44. COMPACT THE TOP 24 INCHES OF UTILITY TRENCHES WITHIN ROADWAYS TO 98% OF THE MODIFIED PROCTOR DENSITY; WITHIN OTHER AREAS TO 95%.

45. IN OTHER AREAS WHICH REQUIRE FILL MATERIAL THE CONTRACTOR WILL STRIP OR OTHERWISE REMOVE ALL VEGETATION SUCH AS BRUSH, HEAVY SODS, HEAVY GROWTH OF GRASS, DECAYED VEGETABLE MATTER, RUBBISH AND ANY OTHER DELETERIOUS MATERIAL BEFORE EMBANKMENT IS STARTED. IMMEDIATELY PRIOR TO THE PLACEMENT OF FILL MATERIALS, THE ENTIRE AREA UPON WHICH FILL IS TO PLACED, SHALL BE SCARIFIED IN A DIRECTION APPROXIMATELY PARALLEL TO THE AXIS OF FILL. THE GEOTECHNICAL ENGINEER SHALL APPROVE THE AREA PRIOR TO THE PLACEMENT OF FILL.

46. DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND SHALL ROUTE DISCHARGE WATER IN SUCH A MANNER TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM SITE.

47. RECORD DRAWINGS: AT THE END OF CONSTRUCTION, THE CONTRACTOR WILL PROVIDE ONE SET OF DRAWINGS SHOWING ALL CHANGES MARKED IN WATERPROOF RED WITH THE FOLLOWING CONTRACTOR CERTIFICATION EXECUTED ON EACH SHEET: THE CONTRACTOR, _____ HEREBY CERTIFIES TO THE OWNER THAT IMPROVEMENTS COVERED BY THIS DRAWING AND ALL RELATED DETAILS HAVE BEEN CONSTRUCTED AS INDICATED OR AS MODIFIED BY THE NOTES AND GRAPHICS SHOWN. ABSENT A NOTE OR GRAPHIC TO THE CONTRARY, THE IMPROVEMENTS HAVE BEEN CONSTRUCTED MEETING INDUSTRY STANDARD TOLERANCES. SIGNED_____DATE:_____
AUTHORIZED CONTRACTOR'S REPRESENTATIVE

48. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

49. MISCELLANEOUS ENGINEER NOTIFICATIONS

A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER 24 HOUR ADVANCE NOTIFICATION FOR THE FOLLOWING CONSTRUCTION AND OBSERVATION ACTIVITIES.
   a. SANITARY SEWER VIDEO INSPECTION.
   b. CONNECTIONS TO EXISTING SYSTEMS
   c. THRUST BLOCK POURS AND RESTRAINT CONNECTIONS
   d. STORM DRAINAGE LAMPING
   e. INLET TOP POURS (REINFORCING STEEL CHECK)
   f. WATER & FORCE MAIN PRESSURE TESTS
   g. BACTERIOLOGICAL SAMPLING
   h. BASE OBSERVATION & SOUNDING
   i. ASPHALT PLACEMENT
   j. PRE-FINAL INSPECTION
   k. FINAL INSPECTION

B. THE CONTRACTOR SHALL KEEP DAILY "AS-BUILT" DRAWINGS AND MAKE THEM READILY ACCESSIBLE.

C. THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE ENGINEER A PROJECT CONSTRUCTION SCHEDULE (BAR GRAPH) AND UPDATE SAID SCHEDULE ON A MONTHLY BASIS.

D. ALL FUEL STORAGE AREAS SHALL HAVE THE PROPERTY OWNER'S PRIOR APPROVAL AND APPROPRIATE MEASURES SHALL BE TAKEN TO INSURE PROTECTION OF GROUNDWATER AND SOIL RESOURCES.

E. THE CONTRACTOR SHALL COORDINATE ALL BACKFILL OPERATIONS WITH THE PROJECT GEOTECHNICAL ENGINEER AND SUBMIT TEST REPORTS TO THE ENGINEER PRIOR TO BEGINNING WORK ON THE NEXT ITEM OF WORK, I.E. SUBGRADE PRIOR TO CURB.

F. THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER, RETEST AND OR PERFORM ANY ACTION NECESSARY TO ENSURE THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

WATER

1. ALL WATER MAIN FITTINGS, VALVES, RESTRAINTS, COUPLINGS, PIPE, AND IN GENERAL ALL MATERIALS REQUIRED FOR INSTALLING THE WATER SUPPLY SYSTEM SHALL CONFORM TO THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL 2021 EDITION.

2. LOCATING TAPE CAPABLE OF REGISTERING ON A METAL LOCATOR SHALL BE INSTALLED DIRECTLY ABOVE THE PIPE CENTERLINE AND BURIED TO A MINIMUM DEPTH OF SIX (6) INCHES AND MAXIMUM DEPTH OF TWELVE (12) INCHES FOR ALL PROPOSED PRESSURE SYSTEMS. THE TAPE SHALL BE LAID CONTINUOUSLY WITHOUT GAPS BETWEEN ENDS OVER ALL INSTALLED PIPING. THE TAPE SHALL HAVE THE WORD "CAUTION" AND THE LINE IDENTIFICATION; SUCH AS, "CAUTION, WATER LINE BURIED BELOW", PRINTED CONTINUOUSLY ALONG ITS LENGTH. FULL RANGE MARKERS SHALL BE USED.

3. UTILITY SEPARATION NOTES:

1. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

A. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 65-610, F.A.C..

B. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

C. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR
PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.. THE MINIMUM HORIZONTAL DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.

D. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

4. VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.

A. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

B. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

C. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C..

5. SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.

A. NO WATER MAINS SHALL PASS THROUGH, OR INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE OR ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.

6. SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

A. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM THE ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER,WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED BY PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S. AND RULE 64E-6.002, F.A.C..

7. WHERE DUCTILE IRON PIPE IS REQUIRED FOR WATER MAINS, IT SHALL CONFORM TO ANSI/AWWA A21.51.A MINIMUM THICKNESS OF CLASS 50 PER ANSI/AWWA SHALL BE SUPPLIED. DIP PIPE MUST BE IN CONFORMANCE WITH AWWA C150 AND C151.

8. TESTING: THE CONTRACTOR TO TEST ALL WATER MAINS AS PER THE FOLLOWING: HYDROSTATIC TEST PER AWWA-C600 (OR M23) STANDARD, AND DISINFECTION OF WATER MAIN PER AWWA-C651.

9. WATER MAINS SHALL COMPLY WITH AWWA STANDARDS. ALL 4" DIAMETER THRU 12" DIAMETER PVC WATER MAINS SHALL BE AWWA C900-DR18. ALL WATER MAINS LESS THAN 4" IN DIAMETER SHALL BE IN ACCORDANCE WITH ASTM 2241 SDR21 CLASS 200. PIPE SIZES 16" THRU 36" SHALL BE IN ACCORDANCE WITH AWWA C-905.52 ALL WATER MAINS SHALL BEAR THE NSF LOGO INDICATING APPROVAL FOR DRINKING WATER AND SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM OTHER WATER LINES.

10. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, WASTEWATER AND RECLAIMED WATERLINES.

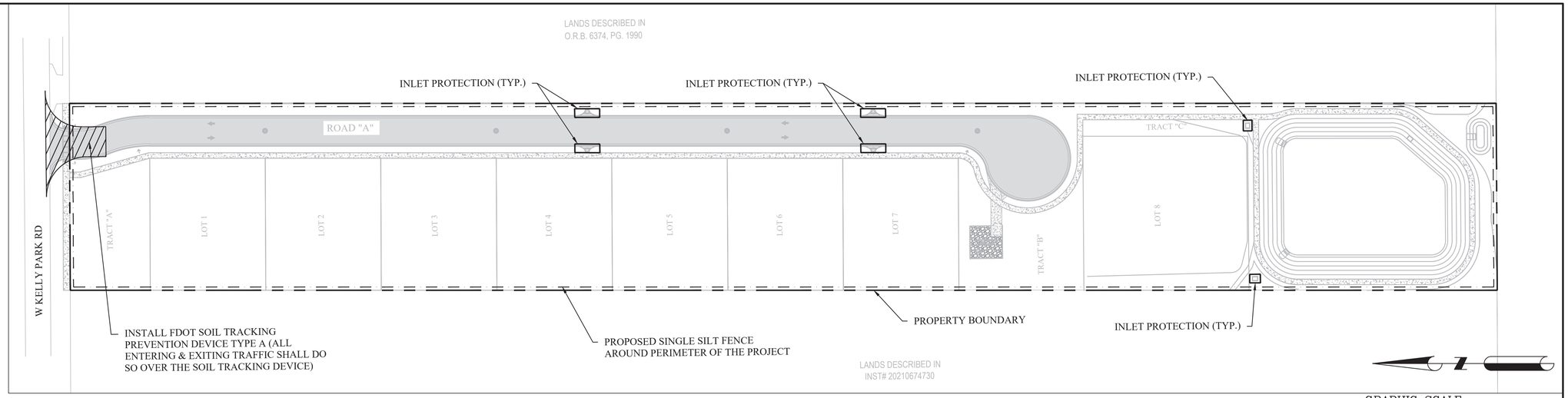
11. ALL FIRE HYDRANTS SHALL BE POSITIONED NO MORE THAN 10 FEET FROM THE CURB.

12. PRESSURE PIPE LENGTHS DO NOT INCLUDE BENDS, AIR RELEASE VALVES OR FIRE HYDRANT ASSEMBLIES.

13. A BACKFLOW DEVICE (I.E. JUMPER CONNECTION) IS REQUIRED AT ALL ACTIVE WATER MAINS AND PROPOSED NEW WATER MAIN IMPROVEMENTS.

SEWER

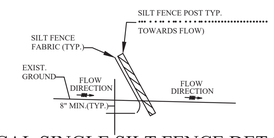
14. UNDERGROUND GRAVITY SEWER PIPING WHICH IS NOT MANUFACTURED OF METAL OR CONCRETE PIPE SHALL BE COLOR CODED GREEN USING LIGHT STABLE COLORANTS. UNDERGROUND METAL PIPE SHALL BE COLOR CODED OR MARKED USING GREEN AS A PREDOMINANT COL



GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.



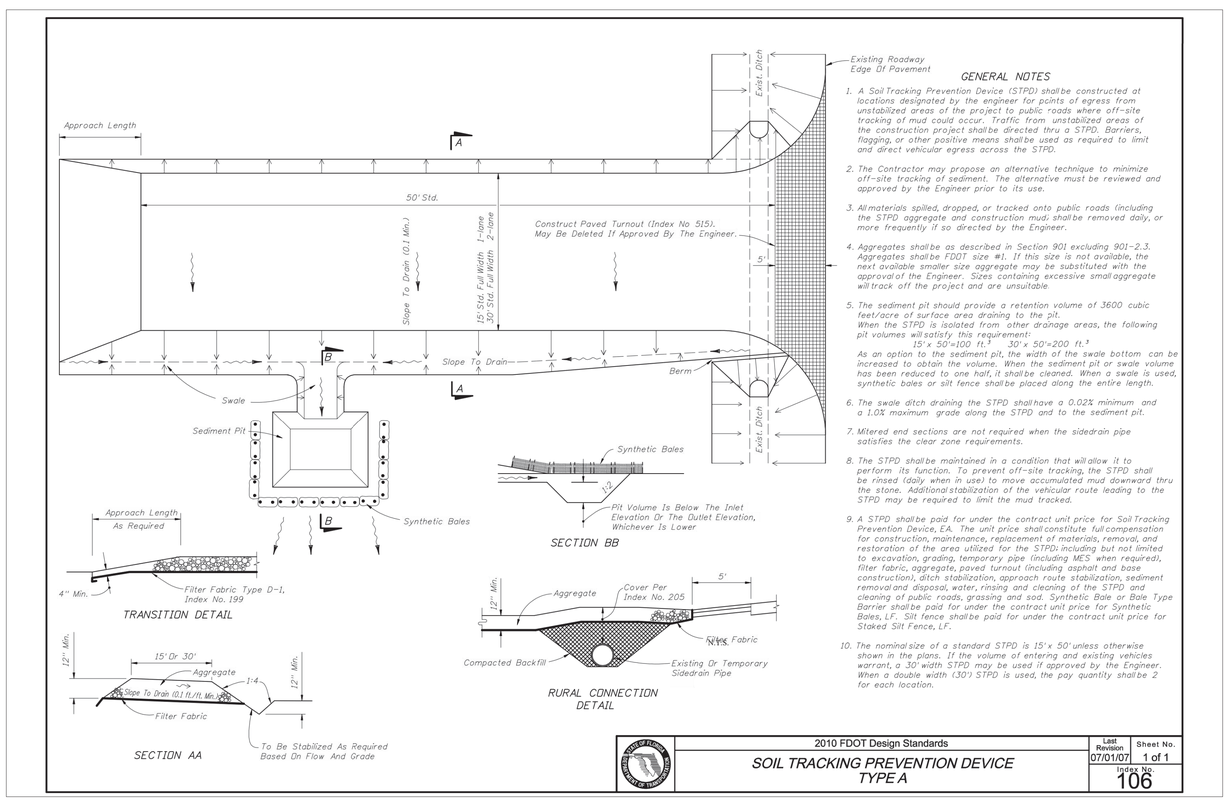
TYPICAL SINGLE SILT FENCE DETAIL

N.T.S.

FDOT APPROVED TEMPORARY SILT FENCE PRE-ASSEMBLED IN 100' ROLLS UTILIZING 2" X 2" X 4' WOODEN POSTS @ 8' C/C MAX. w/3' OF WOVEN GEOTEXTILE MATERIAL MEETING THE REQUIREMENTS OF SEC. 985-4, SIMILAR & EQUAL TO THAT SUPPLIED BY FIFEPIPE CO. OF TAMPA FLA.

CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AS FOLLOWS:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF ITS USE, IT SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT.
4. ANY SEDIMENT DEPOSITS LEFT IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE FINISHED GRADE, PREPARED AND SEEDED.



GENERAL NOTES

1. A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of egress from unstabilized areas of the project to public roads where off-site tracking of mud could occur. Traffic from unstabilized areas of the construction project shall be directed thru a STPD. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicular egress across the STPD.
2. The Contractor may propose an alternative technique to minimize off-site tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.
3. All materials spilled, dropped, or tracked onto public roads (including the STPD aggregate and construction mud) shall be removed daily, or more frequently if so directed by the Engineer.
4. Aggregates shall be as described in Section 901 excluding 901-2.3. Aggregates shall be FDOT size #1. If this size is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unsuitable.
5. The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit. When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement: $15' \times 50' = 100\ ft.^3$ $30' \times 50' = 200\ ft.^3$ As an option to the sediment pit, the width of the swale bottom can be increased to obtain the volume. When the sediment pit or swale volume has been reduced to one half, it shall be cleaned. When a swale is used, synthetic bales or silt fence shall be placed along the entire length.
6. The swale ditch draining the STPD shall have a 0.02% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
7. Mitered end sections are not required when the sidedrain pipe satisfies the clear zone requirements.
8. The STPD shall be maintained in a condition that will allow it to perform its function. To prevent off-site tracking, the STPD shall be rinsed (daily when in use) to move accumulated mud downward thru the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit the mud tracked.
9. A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, EA. The unit price shall constitute full compensation for construction, maintenance, replacement of materials, removal, and restoration of the area utilized for the STPD; including but not limited to excavation, grading, temporary pipe (including MES when required), filter fabric, aggregate, paved turnout (including asphalt and base construction), ditch stabilization, approach route stabilization, sediment removal and disposal, water, rinsing and cleaning of the STPD and cleaning of public roads, grassing and sod. Synthetic Bale or Bale Type Barrier shall be paid for under the contract unit price for Synthetic Bales, LF. Silt fence shall be paid for under the contract unit price for Staked Silt Fence, LF.
10. The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and existing vehicles warrant, a 30' width STPD may be used if approved by the Engineer. When a double width (30') STPD is used, the pay quantity shall be 2 for each location.

2010 FDOT Design Standards	Last Revision	Sheet No.
SOIL TRACKING PREVENTION DEVICE TYPE A	07/01/07	1 of 1
	Index No. 106	

SOIL TRACKING PREVENTION DEVICE (TYPE A)

EROSION AN SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHERE AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF COMPLETION.
5. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH $\frac{1}{2}$ INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
6. FDOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON CENTER.
7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE SOTNES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
8. SYNTHETIC BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER.
9. SYNTHETIC BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
10. THE FILTER BARRIER SHALL BE ENTRANCED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8 INCHES. AFTER THE SYNTHETIC BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
11. EACH SYNTHETIC BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBAR DRIVEN THROUGH THE BALE.
12. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SYNTHETIC BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
13. NECESSARY REPAIRS TO BARRIER OR REPLACEMENT OF SYNTHETIC BALES SHALL BE ACCOMPLISHED PROMPTLY.
14. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SYNTHETIC BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
15. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
16. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
17. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE0THIRD THE HEIGHT OF THE BARRIER.
18. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
19. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
20. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO $\frac{1}{4}$ THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
21. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS SPECIFICATIONS AND THE ST. JOHNS WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
22. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATIONS (F.D.E.R.) CHAPTER 6.
23. EROSION AND SEDIMENT CONTROL BARRIER SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
24. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
25. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
26. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
27. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
28. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, SYNTHETIC HAY BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
29. ALL DEWATERING EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
30. THIS PLAN INDICATES THE MINIMUM EROSION AN SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
31. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRES, RELATIVE TO COMPLIANCE WITH SRJWMD FOR EROSION AND SEDIMENTATION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
JOSE A. CHAVES
JOSE@STORYBOOKTEAM.COM
321-246-8811

JOSE A. CHAVES STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 78518

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JOSE CHAVES, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

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JOSE ANTONIO CHAVES
LICENSE
No. 78518
STATE OF FLORIDA
PROFESSIONAL ENGINEER

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

REVISIONS

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
EROSION CONTROL PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 50'
SHEET:	C-3.0

STORM WATER POLLUTION PREVENTION PLAN

OWNER'S REQUIREMENTS

SITE DESCRIPTION

PROJECT NAME AND LOCATION:
1400 W KELLY PARK ROAD
CITY OF APOPKA, FLORIDA

OWNER NAME AND ADDRESS:

MR. MICHAEL A. GENTLES
1400 W KELLY PARK ROAD
CITY OF APOPKA, FLORIDA

DESCRIPTION:

THIS PROJECT INCLUDES THE CONSTRUCTION OF ROADWAYS, RETENTION POND AND UTILITIES.
1. TOTAL SITE AREA = 5.06 AC
2. AREA TO BE DEDICATED FOR R.O.W. = 1.16 AC
3. DEVELOPABLE AREA = 3.90 AC

SOIL DISTURBING ACTIVITIES WILL INCLUDE:
CLEARING AND GRUBBING ; EARTHWORK, PAVEMENT AND GRADING;
STORM SEWER, UTILITIES AND PREPARATION FOR FINAL PLANTING
AND SEEDING.

RUNOFF CURVE NUMBERS:
1. PRE-CONSTRUCTION = ____
2. DURING CONSTRUCTION = ____
3. POST-CONSTRUCTION = ____

SOILS:
SEE SOIL BORING REPORT FOR SOILS DATA

SITE MAPS:
* SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES,

AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS, PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS AND STORM WATER DISCHARGE POINTS.
* SEE ATTACHED EROSION & TURBIDITY CONTROL PLAN FOR LOCATION OF TEMPORARY STABILIZATION PRACTICES, AND TURBIDITY BARRIERS
* SEE GENERAL NOTES FOR REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION.

SITE AREA:
1. TOTAL AREA OF SITE = 5.06 AC
2. TOTAL AREA TO BE DISTURBED = 5.06 AC

NAME OF RECEIVING WATERS:

1. ANTICIPATED START DATE OF CONSTRUCTION: _____
2. ANTICIPATED END DATE OF CONSTRUCTION: _____

(CONSTRUCTION DATES ARE TO BE FILLED IN PRIOR TO COMMENCEMENT OF CONSTRUCTION)

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY (DESCRIPTION:) A SERIES OF PIPES AND INLETS CONVEYING RUNOFF TO THE PROPOSED STORMWATER RETENTION POND FOR THE PROJECT. AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT

WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE, WHEN CONSTRUCTION IS COMPLETE, A TOTAL OF 5.06 ACRES WILL HAVE BEEN REGRADED. THE SITE DISCHARGES
TO A DRY DETENTION SYSTEM.

TIMING OF CONTROLS/MEASURES

REFER TO "CONTRACTORS REQUIREMENTS" FOR THE TIMING OF CONTROL/MEASURES.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS WILL BE OBTAINED AND IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION:

D.E.R. DREDGE/FILL PERMIT # _____
C.O.E. DREDGE/FILL PERMIT # _____
S.F.W.M.D. M.S.S.W. PERMIT # _____
N.P.D.E.S PERMIT # _____

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____
OWNER/OPERATOR

DATED: _____

CONTRACTOR'S REQUIREMENTS

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:
1. INSTALL ALL UTILITIES, STORM SEWER, CURBS & GUTTER.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED
3. CLEAR AND GRUB DETENTION POND AREA
4. CONSTRUCT DETENTION POND
5. CONTINUE CLEARING AND GRUBBING
6. STOCK PILE TOP SOIL IF REQUIRED ON SITE AS REQUIRED
7. PERFORM PRELIMINARY GRADING
8. STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE
9. CONSTRUCT EROSION CONTROL PRACTICES
10. APPLY BASE TO PROJECT
11. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING
12. COMPLETE FINAL PAVING
13. REMOVE ACCUMULATED SEDIMENT FROM BASINS
14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASINS WILL BE INSTALLED PRIOR TO THE CLEARING AND GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM ANY SEDIMENT TRAPS.

CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED , MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED,TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

MAINT./INSP. PROCEDURES CONT'D.

* THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.

* TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

* A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED.
THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS.
THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

* THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

* PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE. SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

* WATER FROM WATER LINE FLUSHING

* PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

* UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTROLS CONT'D.

4. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED WITHOUT PROPER CONTROLS TO PROTECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

5. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

6. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

7. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 7 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.

8. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 7 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA. ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

9. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.

10. TEMPORARY REGRASSING : IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 85 PERCENT UNIFORM GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

11. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

12. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

13. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.

STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKE: IF REQUIRED, TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.

2. TEMPORARY SEDIMENT TRAP: IF REQUIRED, A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA.
THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:

A. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS.

C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.

3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE.

NOTE:

THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS,WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE:

☐ Concrete	☐ Fertilizers	☐ Wood
☐ Asphalt	☐ Petroleum Based Products	☐ Masonry Blocks
☐ Tar	☐ Cleaning Solvents	☐ Roofing Materials
☐ Detergents	☐ Paints	☐ Metal Studs
☐ _____	☐ _____	☐ _____

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF:

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:

* AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

* ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

* PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.

* SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

* WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

* MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

* THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

* PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

* ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

SPILL PREVENTION CONT'D.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY SIGNIFICANT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

WASHING OF VEHICLES SHOULD BE CONDUCTED USING PRACTICES THAT PREVENT DIRECT, UNTREATED DISCHARGES OF WASTEWATER AND HAZARDOUS WASTES. A DESIGNATED AREA MUST BE CREATED SPECIFICALLY FOR WASHING VEHICLES THAT WILL BE STABILIZED (AT A MINIMUM STONE DUST GRAVEL #2 AND UP) AND COVERED WITH LINED BERM.

SPILL CONTROL PRACTICES

CLEANUP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO ENSURE THE PROJECT'S EROSION AND SEDIMENT CONTROLS ARE EFFECTIVE:

* NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

* ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.

* ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF

* BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

* SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.

* DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	DATE	SIGNATURE	RESPONSIBLE FOR DUTIES
			GENERAL CONTRACTOR
			SUB-CONTRACTOR
			SUB-CONTRACTOR
			SUB-CONTRACTOR
			SUB-CONTRACTOR
			SUB-CONTRACTOR

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
JOSE A. CHAVES
JOSE@STORYBOOKTEAM.COM
321-246-8811

JOSE A. CHAVES STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 78518

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JOSE ANTONIO CHAVES LICENSE No. 78518 STATE OF FLORIDA PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
SWPPP GENERAL REQUIREMENTS PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	NA
SHEET:	C-3.1

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

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LICENSE
No. 78518
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

REVISIONS

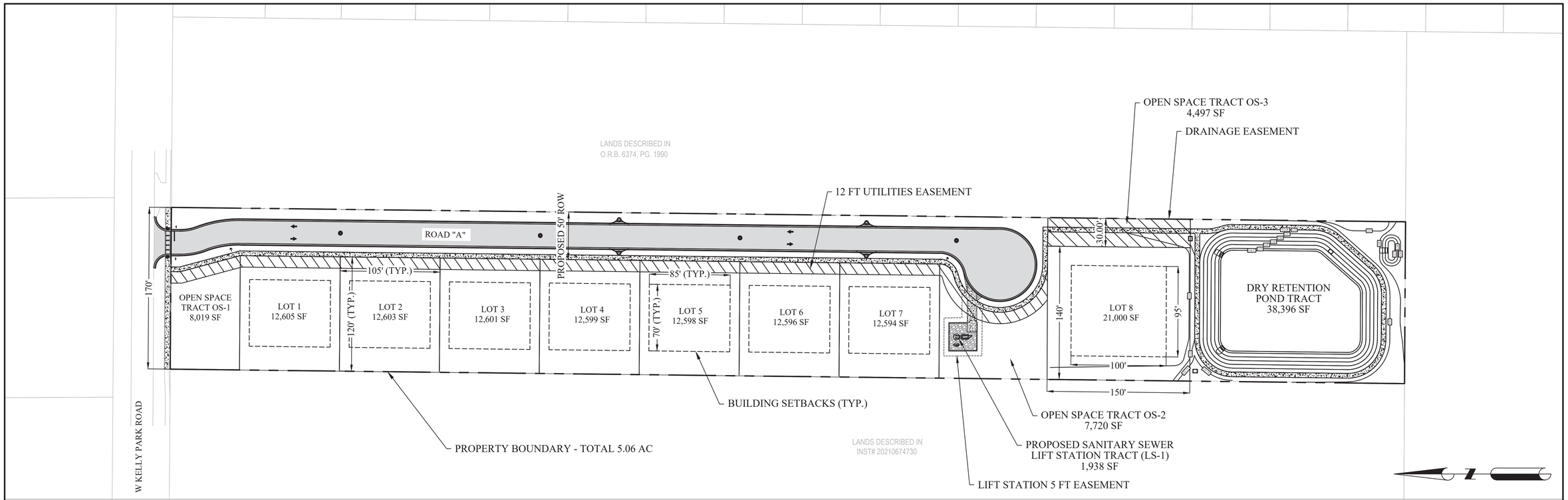
#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN

EXISTING CONDITIONS, CLEARING AND DEMOLITION PLAN

CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 50'
SHEET:	C-4.0



SITE DATA

PARCEL ID: 17-20-28-0000-00-008
ADDRESS: 1400 W KELLY PARK ROAD, APOPKA, FL 32712
FUTURE LAND USE: LOW DENSITY SUBURBAN RESIDENTIAL (RVLS)
ZONING: RESIDENTIAL SINGLE FAMILY ESTATE (RSF-1A)
NUMBER OF LOTS: 8
DENSITY: 1.58 D.U./ NET PROJECT AREA (3 DU/AC MAX)

SITE STANDARDS

MINIMUM LOT WIDTH: 85' FT
MINIMUM LIVING AREA: 1,800 SF
SETBACKS
- FRONT: 25'
- REAR: 25'
- SIDE: 10'
MAX. HEIGHT: 35'

MIN. OPEN SPACE REQUIRED: 20%
OPEN SPACE PROVIDED: 23.1%

GROSS PROJECT AREA: 5.06 ACRES (100%)

RESIDENTIAL LOTS AREA: 2.51 ACRES (49.6%)

TOTAL POND TRACT AREA: 0.88 ACRES
(75% OF AREA ALLOWED FOR OPEN SPACE) 0.66 ACRES
(25% REMINDER) 0.22 ACRES (4.4%)

OPEN SPACE & RECREATION: 1.12 ACRES (22.1%)
(INC. AREAS FROM TRACTS OS-1, OS-2 & OS-3)
(75% OF POND AREA ALLOWED FOR OPEN SPACE) 0.46 ACRES 0.66 ACRES

LIFT STATION TRACT (LS-1): 0.05 ACRES (1.0%)
R-O-W: 1.16 ACRES (22.9%)

UTILITIES

WATER: CITY OF APOPKA
SEWER: CITY OF APOPKA
POWER: DUKE ENERGY, INC.

OWNERSHIP AND MAINTENANCE

DEVELOPMENT PARCELS	AREA	OWNERSHIP	MAINTENANCE
RIGHT-OF-WAY	0.66 AC	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA
OPEN SPACE TRACT (OS-1)	0.18 AC	PRIVATE	TO BE OWNED AND MAINTAINED BY THE HOA
OPEN SPACE TRACT (OS-2)	0.22 AC	PRIVATE	TO BE OWNED AND MAINTAINED BY THE HOA
OPEN SPACE TRACT (OS-3)	0.11 AC	PRIVATE	TO BE OWNED AND MAINTAINED BY THE HOA
LIFT STATION TRACT (LS-1)	0.05 AC	PRIVATE	TO BE OWNED AND MAINTAINED BY THE HOA
POND TRACT	0.88 AC	PRIVATE	TO BE OWNED AND MAINTAINED BY THE HOA

GRAPHIC SCALE
50 0 25 50 100 200
(IN FEET)
1 inch = 50 ft.

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
JOSE A. CHAVES
JOSE@STORYBOOKTEAM.COM
321-246-8811

JOSE A. CHAVES STATE OF FLORIDA,
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STATE OF FLORIDA
PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
SITE PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE: 10/14/2024
PROJECT NO.:
DRAWN BY: JAC
CHECKED BY: JAC
SCALE: 1" = 50'
SHEET: C-5.0

GRAPHIC SCALE

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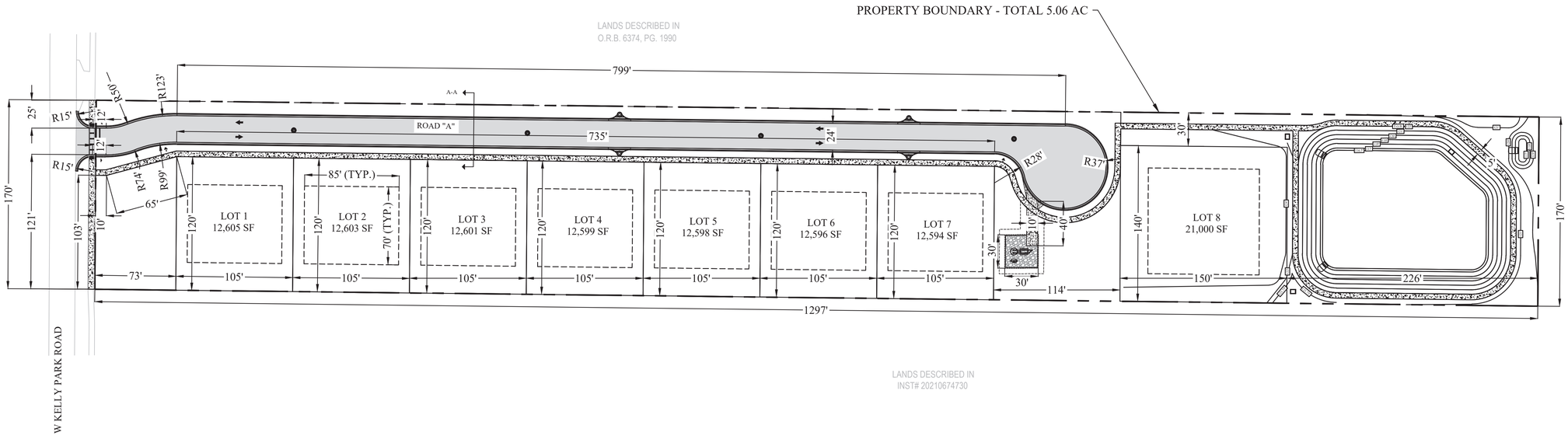
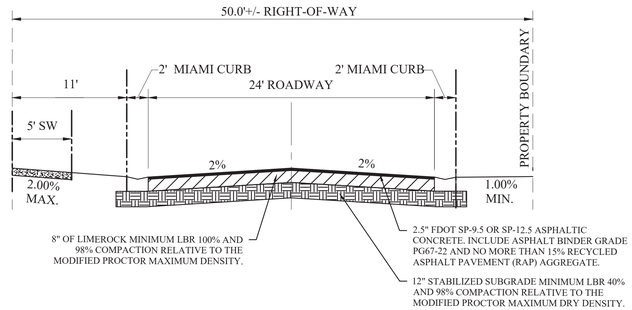
(IN FEET)
1 inch = 50 ft.



ASPHALTIC CONCRETE PAVEMENT
(SEE DETAIL)

CONCRETE PAVEMENT
(SEE DETAIL)

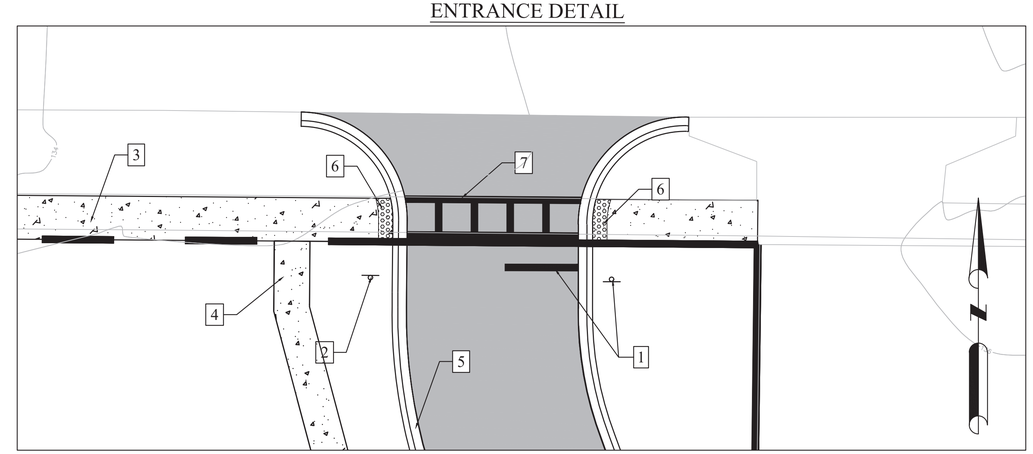


NOTE:
1. INSTALLATION HEIGHT OF SIGNS SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL (M.U.T.C.D.) 7' CLEARANCE.
2. ROADSIDE SIGN PLACEMENT SHALL CONFORM TO FDOT INDEX 700-101.
3. - TUBE TYPICAL FOR ALL POST MOUNTED TRAFFIC SIGNS.

ROADWAY SECTION A-A

NTS

ENTRANCE DETAIL



PROPOSED CONSTRUCTION LEGEND

1. STOP SIGN R1-1 AND 24" WHITE STOP BAR
2. MAX. SPEED SIGN R2-1
3. 6 FT CONCRETE SIDEWALK
4. 5 FT CONCRETE SIDEWALK
5. FDOT MIAMI CURB (TYP)
6. CURB RAMP WITH DETECTABLE WARNING STRIP (FDOT 522-002 INDEX)
7. 5 FT CROSSWALK PER FDOT INDEX 711-001

GRAPHIC SCALE

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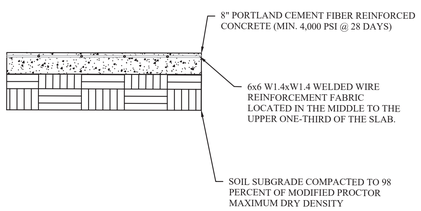
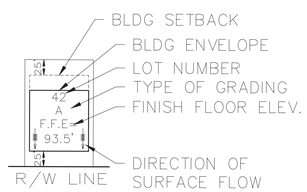
(IN FEET)
1 inch = 10 ft.



LIFT STATION CONCRETE PAVEMENT SECTION
(N.T.S.)



TYPICAL LOT LAYOUT

NTS

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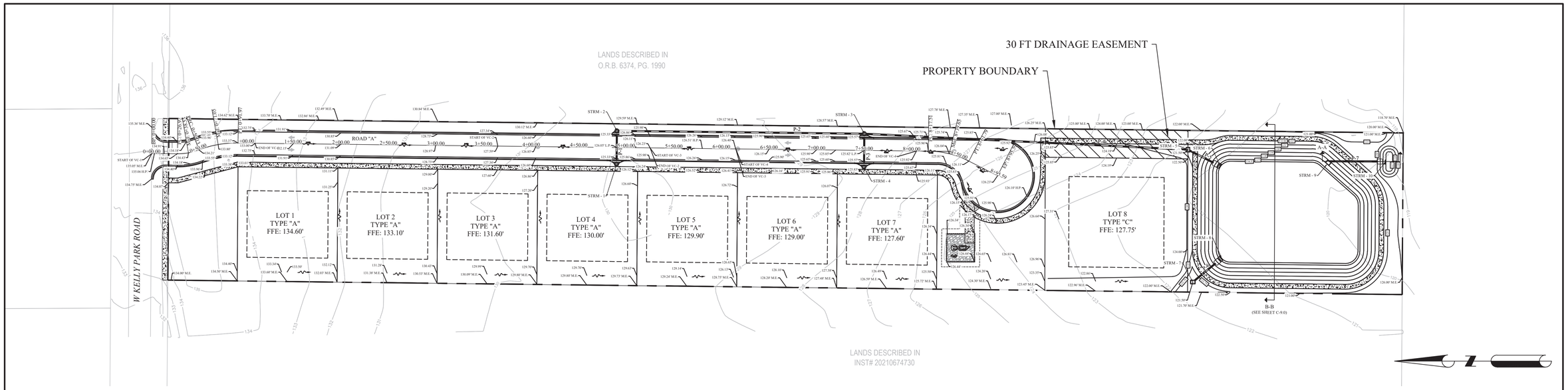
PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
PAVEMENT GEOMETRY, STRIPING AND SIGNAGE PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	VARIES
SHEET:	C-6.0



STRUCTURE TABLE

STRUCTURE NUMBER	TYPE	TOP EL (FT)	INVERT (FT)	
STRM-1	CURB INLET TOP - FDOT TYPE P-2	125.83	E:	118.27
STRM-2	CURB INLET TOP - FDOT TYPE P-2	125.83	W:	118.20
			S:	118.10
STRM-3	CURB INLET TOP - FDOT TYPE P-2	126.07	N:	117.45
			W:	122.17
			S:	117.35
STRM-4	CURB INLET TOP - FDOT TYPE P-2	126.07	E:	122.24
STRM-5	DBI - FDOT TYPE C	121.50	N:	116.67
			S:	116.57
STRM-6	MES		W:	116.50
STRM-7	DBI - FDOT TYPE C	121.50	E:	116.57
STRM-8	MITERED END SECTION			116.50
STRM-9	CONTROL STRUCTURE	120.90	E:	117.11
STRM-10	MITERED END SECTION			117.00

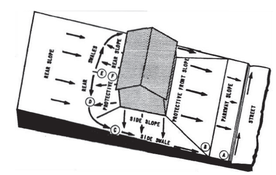
PIPE TABLE

PIPE NUMBER	PIPE DIAMETER, TYPE AND SLOPE	LENGTH (FT)	FROM: STRUC. # INV EL (FT)	TO: STRUC. # INV EL (FT)
P-1	15" RCP @ 0.20%	35	STRM - 1	STRM - 2
			118.27	118.20
P-2	15" RCP @ 0.22%	300	STRM - 2	STRM - 3
			118.10	117.45
P-3	15" RCP @ 0.20%	35	STRM - 4	STRM - 3
			122.24	122.17
P-4	15" RCP @ 0.20%	341	STRM - 3	STRM - 5
			117.35	116.67
P-5	15" RCP @ 0.20%	33	STRM - 5	STRM - 6
			116.57	116.50
P-6	15" RCP @ 0.20%	34	STRM - 7	STRM - 8
			116.57	116.50
P-7	15" RCP @ 0.20%	55	STRM - 9	STRM - 10
			117.11	117.00

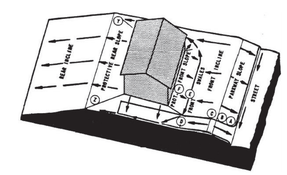
GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.



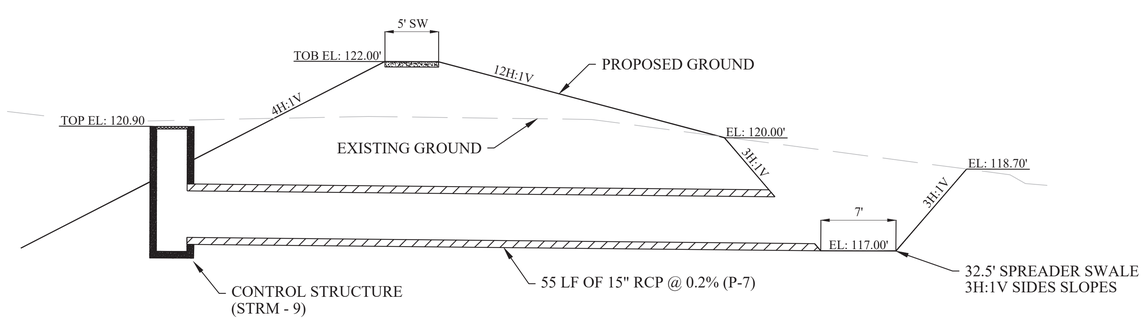
TYPE "A" LOT GRADING
NTS



TYPE "C" LOT GRADING
NTS

NOTES

1. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION ETC. TO THE CONSERVATION AREAS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE CONSERVATION AREAS AS AREAS ARE TO REMAIN NATURAL.
2. EXISTING UTILITIES ARE TO BE FIELD VERIFIED BY CONTRACTOR.
3. USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.
4. OWNERSHIP AND MAINTENANCE OF ALL EASEMENTS AND TRACTS SHOWN WITHIN THESE PLANS WILL BE THE RESPONSIBILITY OF THE OWNERS, SUCCESSORS, ASSIGNEES, & BENEFICIARIES, INCLUDING THE HOME OWNERS ASSOCIATION.
5. PROJECT SIGNAGE WILL COMPLY WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE.
6. ALL ROADS WITHIN THE THE RIGHT-OF-WAY WILL BE PUBLIC.
7. TRASH PICK-UP WILL BE CURB SIDE.
8. THE PROJECT WILL BE CONSTRUCTED IN 1 PHASE.
9. SIDEWALK WILL BE ALONG COMMON AREAS. SIDEWALK IN FRONT OF HOMES WILL BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.
10. ELEVATIONS SHOWN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
11. DRIVEWAYS SHALL NOT EXCEED A SLOPE OF 14% +/-
12. DRIVEWAYS SHALL NOT BE LESS THAN 2% SLOPE
13. SIDE YARD SWALE SLOPE SHALL NO BE LESS THAN 1% SLOPE AT ANY LOCATION.



SECTION A-A

NTS

STORYBOOK DEVELOPMENT SERVICES, LLC
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JOSE A. CHAVES
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321-246-8811

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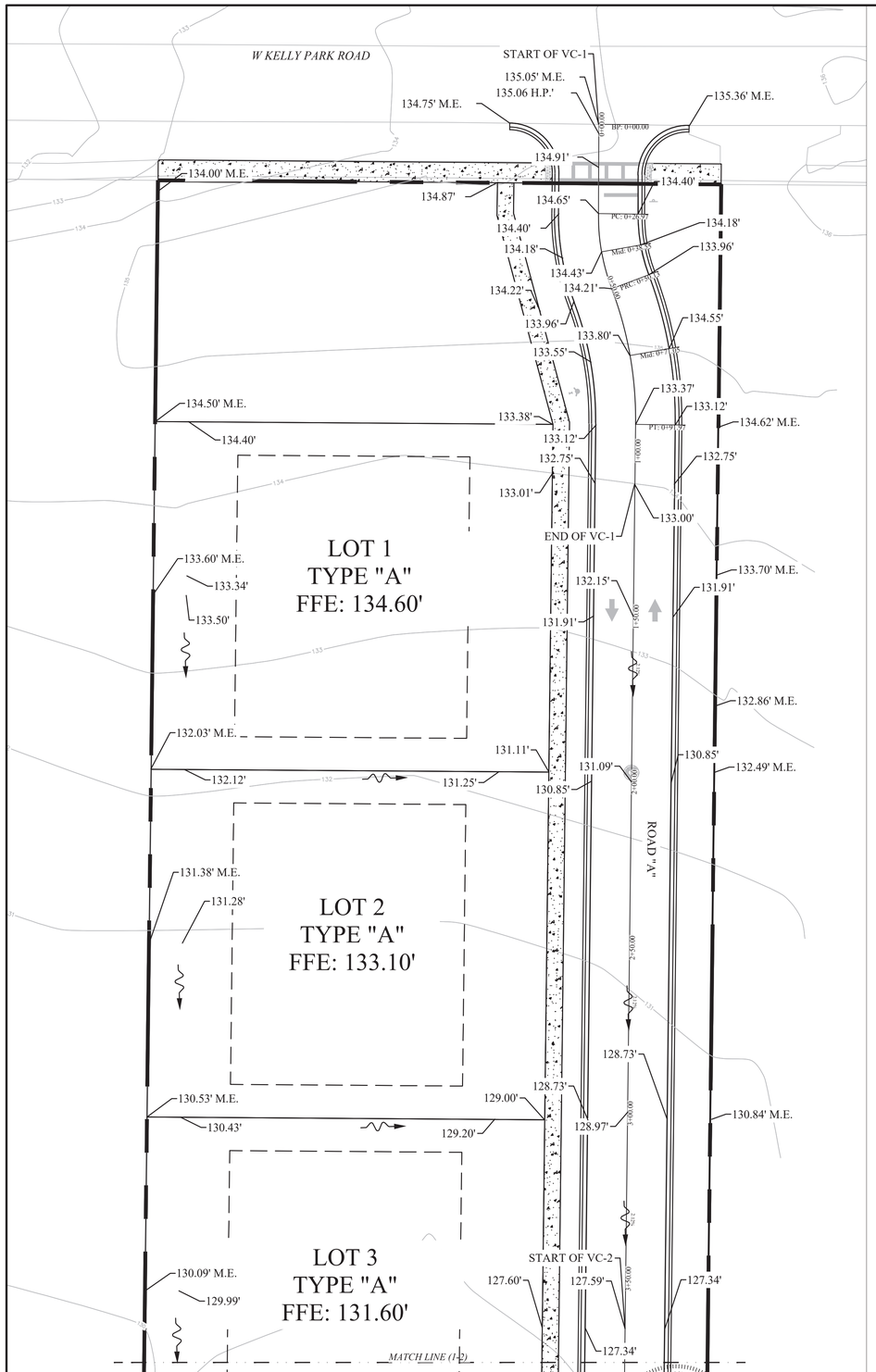
JOSE ANTONIO CHAVES LICENSE No. 78518 STATE OF FLORIDA PROFESSIONAL ENGINEER

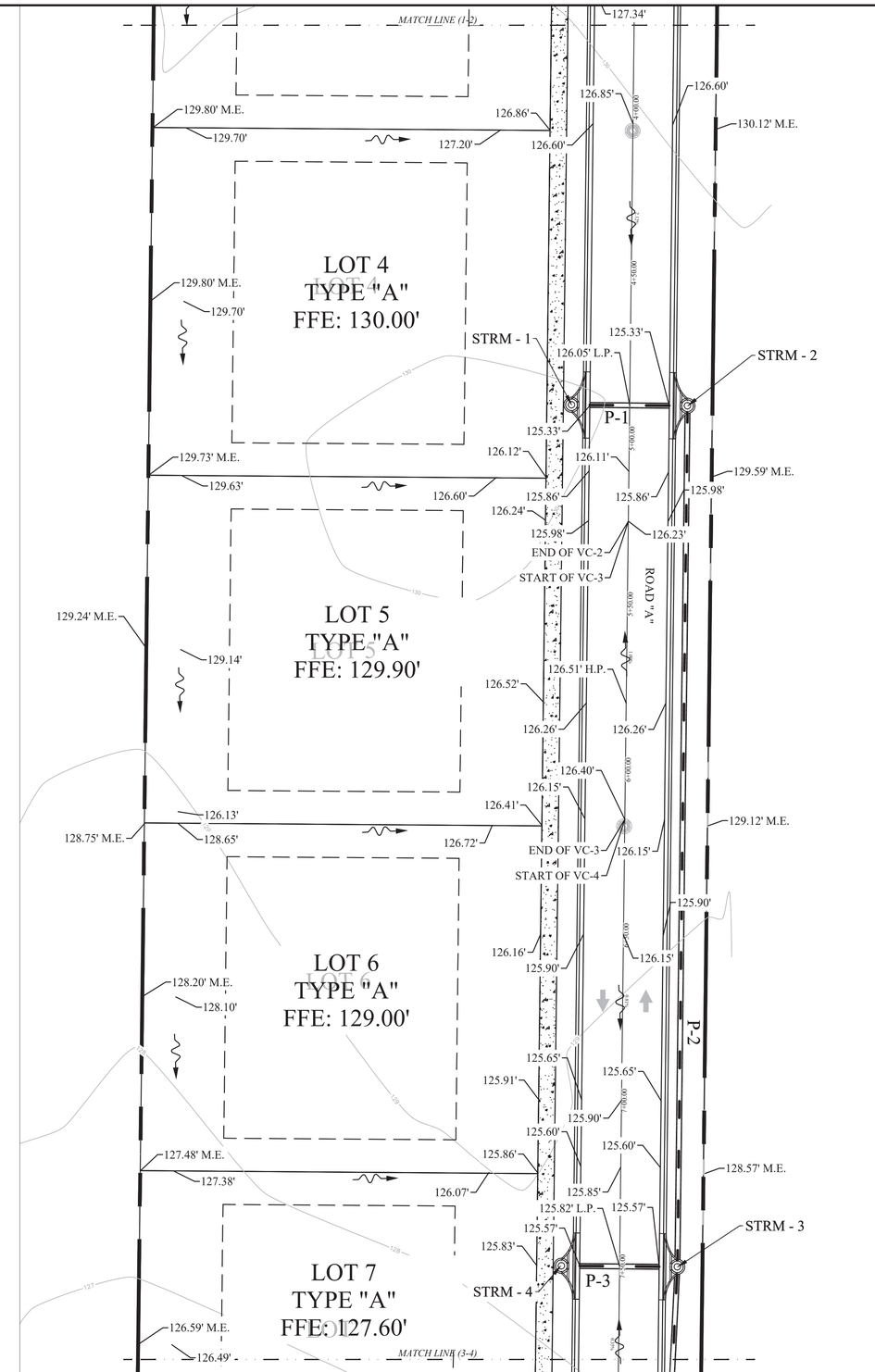
REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
OVERALL GRADING AND DRAINAGE PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 50'
SHEET:	C-7.0





GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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REVISIONS

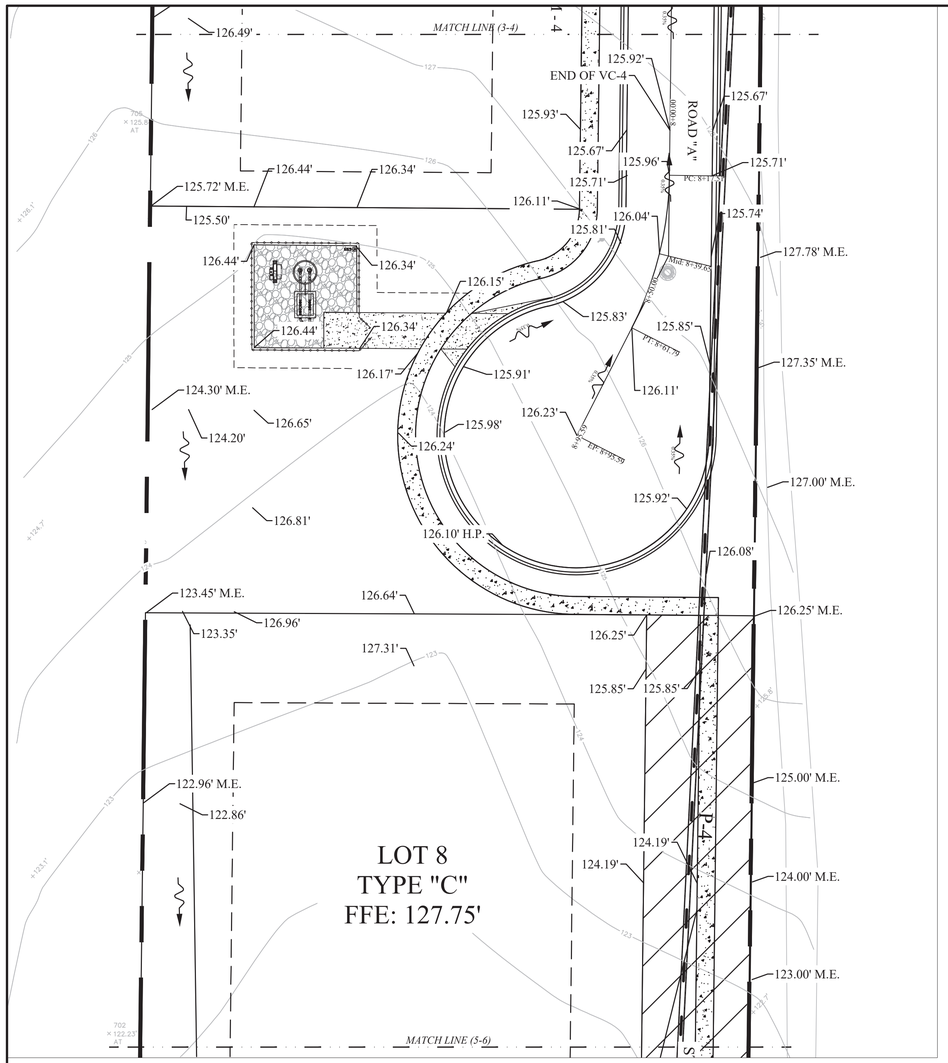
#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

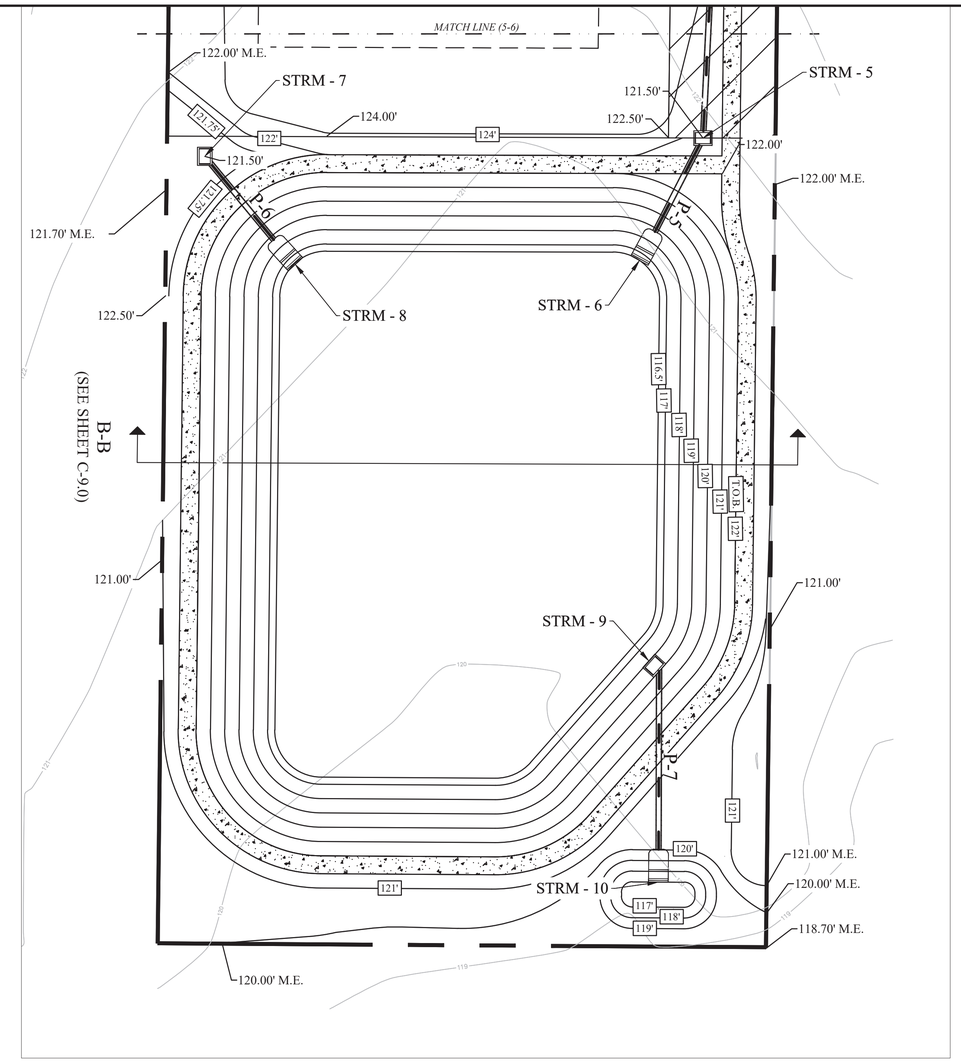
1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN

DETAIL GRADING AND DRAINAGE PLAN

CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 20'
SHEET:	C-7.1





GRAPHIC SCALE

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(IN FEET)
1 inch = 20 ft.

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REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN

DETAIL GRADING AND DRAINAGE PLAN

CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 20'
SHEET:	C-7.2

GENERAL NOTES:

1. Cross Slopes and Grades:

   A. Sidewalk, ramp, and landing slopes (i.e. 0.02, 0.05, and 1:12) shown in this Index are maximums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.

   B. Landings must have cross-slopes less than or equal to 0.02 in any direction.

   C. Maintain a single longitudinal slope along each side of the curb ramp. Ramp slopes are not required to exceed 15 feet in length.

   D. Joints permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Index 522-001. No joints are permitted within the ramp portion of the Curb Ramp.

2. Curb, Curb and Gutter and/or Sidewalk:

   A. Refer to Index 522-001 for concrete thickness and sidewalk details.

   B. Remove any existing curb, curb and gutter, or sidewalk to the nearest joint beyond the curb transition or to the extent that no remaining section is less than 5 feet long.

3. Curb Ramp Alpha-Identification:

   A. Sidewalk curb ramp alpha-identifications (e.g. CR-A) are provided for reference purposes in the Plans.

   B. Alpha-identifications CR-I and CR-J are intentionally omitted.

4. Detectable Warnings:

   A. Install detectable warnings in accordance with Specification 527.

   B. Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 5 feet from the back of the curb or edge of pavement.

   C. If detectable warnings are shown in the Plans on slopes greater than 5%, align the truncated domes with the centerline of the ramp; otherwise, the truncated domes are not required to be aligned.

5. Detectable Warnings - Acceptance Criteria:

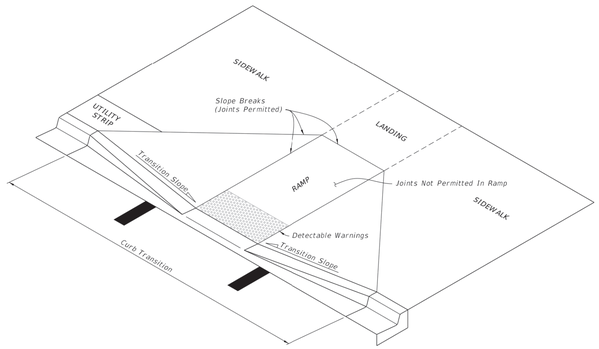
   A. Color and texture shall be complete and uniform.

   B. 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.

   C. There shall be no more than 4 non-compliant domes in any one square foot.

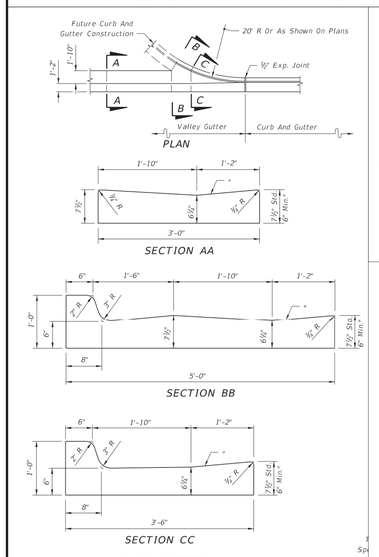
   D. Non-compliant domes shall not be adjacent to other non-compliant domes.

   E. Surfaces shall not deviate more than 0.10" from a true plane.



CURB RAMP NOMENCLATURE

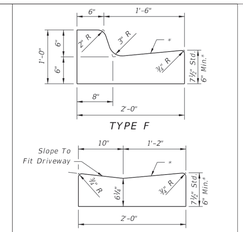
SEE FDOT INDEX 522-002 FOR ADDITIONAL DETAILS



* When used on high side of roadways, the cross slope of the gutter shall match the cross slope of the adjacent pavement. The thickness of the lip shall be 6", unless otherwise shown on plans.

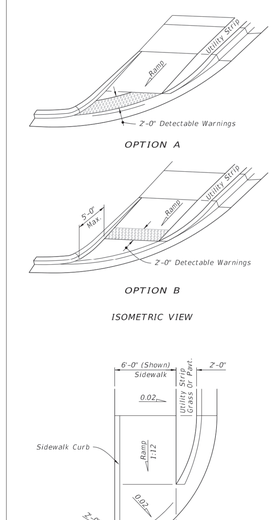
Rotate entire section so that gutter cross slope matches slope of adjacent circulating roadway pavement.

For use adjacent to concrete or flexible pavement. For details depicting usage adjacent to flexible pavement, see Sheet 2. Expansion joint, preformed joint filler and joint seal are required between curb & gutter and concrete pavement only, see Sheet 2.

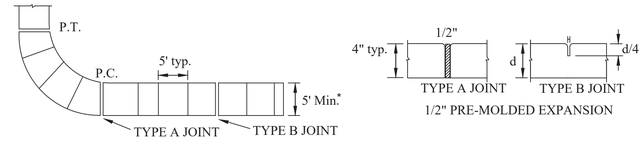


Note: To be paid for as parent curb.

MIAMI / DROP CURB



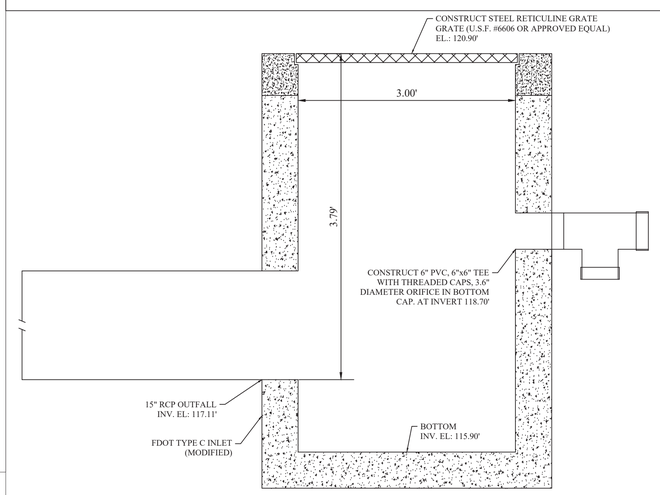
SEE FDOT INDEX 522-001 FOR ADDITIONAL DETAILS ON CURB AND GUTTERS, INCLUDING FINISHING, TRANSITIONS, AND JOINT DETAILS.



* Minimum 5' in R/W and ADA required width on-site.

SIDEWALK CONSTRUCTION

1. SIDEWALKS, BIKE PATHS, RAMPS, AND DRIVEWAY APRONS SHALL BE CONSTRUCTED OF PLAIN PORTLAND CEMENT CONCRETE WITH A MAXIMUM SLUMP OF 3 INCHES, A MINIMUM DEVELOPED COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS, AND A MINIMUM UNIFORM THICKNESS OF 4 INCHES WHERE INTENDED SOLELY FOR PEDESTRIAN TRAFFIC, AND 6 INCHES THICK WHERE MOTOR VEHICLES ARE LIKELY TO CROSS.
2. THE TOP OF THE CONCRETE SHALL BE AT AN ELEVATION NO LOWER THAN THE CROWN OF THE ADJACENT ROADWAY, AND NO HIGHER THAN 6 INCHES ABOVE THE CROWN UNLESS APPROVED BY THE ENGINEER TO MAKE A MORE NATURAL TRANSITION WITH THE ADJACENT LAND. UNDER NO CIRCUMSTANCES WILL THE SIDEWALK EXCEED ADA MAXIMUM GRADES.
3. ISOLATION JOINTS (TYPE A JOINTS) SHALL BE PROVIDED BETWEEN EXISTING SLABS OR STRUCTURES AND FRESH CONCRETE, TO SEPARATE PEDESTRIAN SECTIONS FROM SECTIONS WHICH WILL ENCOUNTER VEHICLE TRAFFIC, TO SEPARATE FRESH PLACEMENT FROM CONCRETE WHICH HAS SET FOR MORE THAN 60 MINUTES, AND NO FARTHER APART THAN 30 FEET IN SIDEWALKS AND BIKE PATHS. JOINT MATERIAL SHALL BE AS SPECIFIED IN FDOT STANDARDS AND SPECIFICATIONS AND SHALL BE RUBBER, PLASTIC OR OTHER APPROVED NON-BIODEGRADABLE ELASTOMERIC MATERIAL. WOOD IS PROHIBITED.
4. CONTROL JOINTS (TYPE B JOINTS) SHALL BE TOOLED INTO THE FRESH CONCRETE, OR SAW-CUT WITHIN 24 HOURS OF PLACEMENT, TO A DEPTH EQUAL TO 1/4 THE SLAB THICKNESS AND SPACED APART A DISTANCE EQUAL TO THE WIDTH OF THE SLAB OR 5 FEET, WHICHEVER IS GREATEST.
5. THE SLAB SURFACE SHALL BE BROOM FINISHED TO BE SLIP RESISTANT, AND SHALL MATCH AS CLOSELY AS POSSIBLE THE FINISH OF EXISTING ADJACENT SLABS AND ALL EDGES SHALL BE TOOLED TO ELIMINATE SHARP CORNERS.
6. THE BEARING SUBSURFACE SHALL HAVE ALL ORGANIC, LOOSE, AND DELETERIOUS MATTER REMOVED, AND THE REMAINING CLEAN SOIL SHALL BE SMOOTH, SOUND, AND SOLID. ANY FILL MATERIAL SHALL BE COMPACTED WITH A VIBRATORY OR IMPACT COMPACTION MACHINE IN MAXIMUM 12 INCH LIFTS OR COMPACTED WITH A HAND TAMPER IN MAXIMUM 4 INCH LIFTS. THE COUNTY MAY REQUIRE A COMPACTION TEST FOR EACH LIFT IF THE TOTAL FILLED SECTION IS MORE THEN 12 INCHES DEEP OR IF THE SUBSURFACE HAS BEEN DISTURBED MORE THAN 12 INCHES DEEP. WHERE SUCH TEST IS REQUIRED, THE RESULTS SHALL SHOW A MINIMUM PROCTOR FIELD DENSITY OF 95 PERCENT.
7. ALL CONCRETE WORK IN THE RIGHT-OF-WAY SHALL BE INSPECTED BY THE COUNTY AFTER THE SUBSOIL IS PREPARED AND THE FORMS ARE SET, BUT BEFORE THE CONCRETE PLACEMENT BEGINS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE FINISHED SLAB FROM ALL DAMAGE AND VANDALISM UNTIL THE COUNTY ACCEPTS OR APPROVES THE SLAB.
9. SIDEWALKS LOCATED WITHIN THE RIGHT-OF-WAY SHALL NOT BE TINTED, STAINED, COLORED, OR COATED, UNLESS APPROVED BY THE COUNTY ENGINEER.
10. ALL FORMS SHALL BE REMOVED PRIOR TO ACCEPTANCE OR APPROVAL AND THE DISTURBED GROUND SHALL BE BACK-FILLED, RE-GRADED, AND SODDED SO THAT THE WEAR SURFACE OF THE CONCRETE IS REASONABLY FLUSH WITH THE ADJACENT GRADE.
11. THE COUNTY MAY REQUIRE ADDITIONAL JOINTS AROUND UTILITY STRUCTURES LOCATED WITHIN THE SIDEWALK.



STRM-9 DETAIL

N.T.S.

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JOSE ANTONIO CHAVES LICENSE No. 78518 STATE OF FLORIDA PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

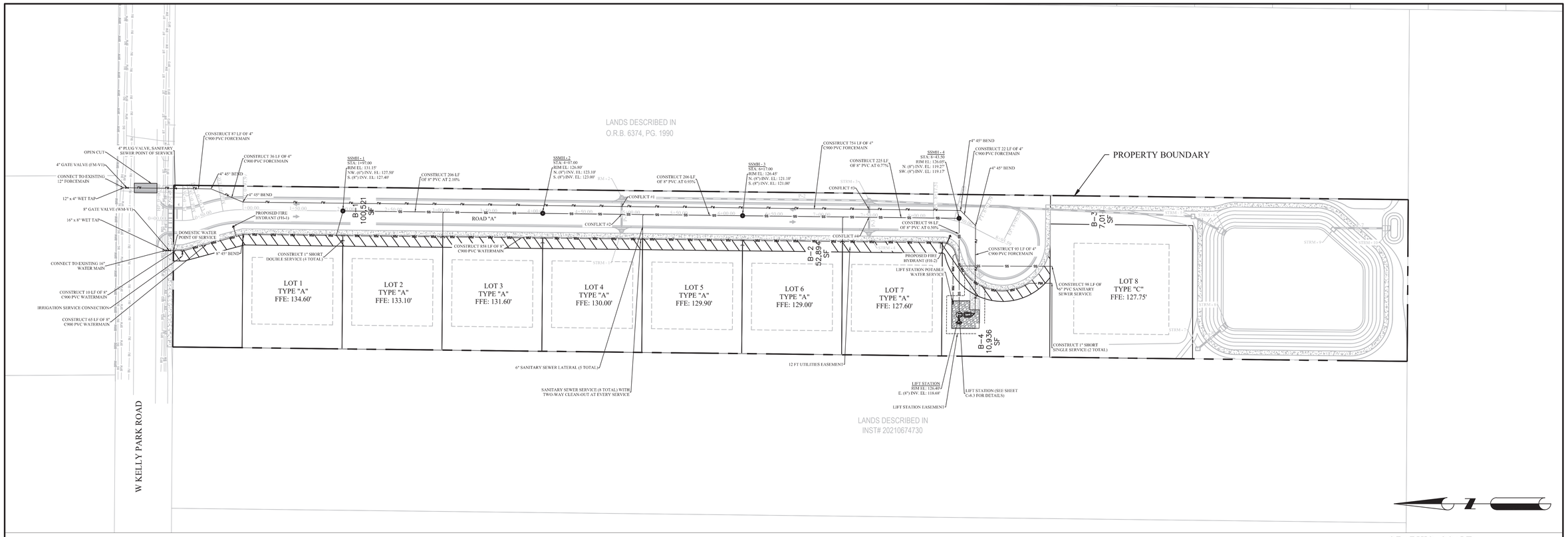
1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN

SITE DETAILS

CITY OF APOPKA, FLORIDA

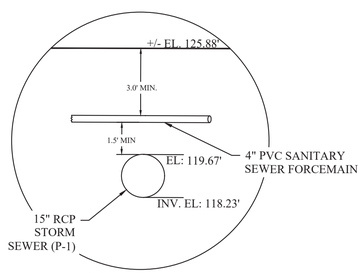
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	NA
SHEET:	C-5.1

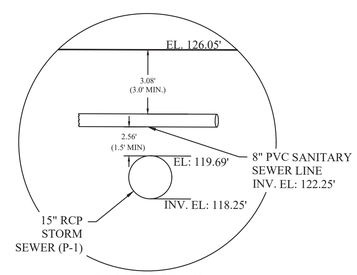


SANITARY SEWER STRUCTURE TABLE

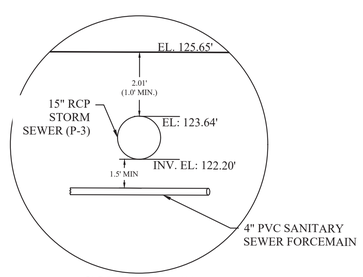
STRUCTURE NUMBER	TOP EL (FT)	INVERT (FT)	
SSMH-1	131.15	NW:	127.50
		S:	127.40
SSMH-2	126.80	N:	123.10
		S:	123.00
SSMH-3	126.45	N:	121.10
		S:	121.00
SSMH-4	126.05	N:	119.27
		W:	119.17
LS	126.40	E:	118.68



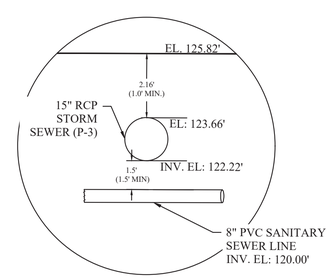
CONFLICT #1
N.T.S.



CONFLICT #2
N.T.S.



CONFLICT #3
N.T.S.



CONFLICT #4
N.T.S.

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

NOTES

1. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION ETC. TO THE CONSERVATION AREAS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE CONSERVATION AREAS AS AREAS ARE TO REMAIN NATURAL.
2. EXISTING UTILITIES ARE TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION COMMENCEMENT.
3. OWNERSHIP AND MAINTENANCE OF ALL EASEMENTS AND TRACTS SHOWN WITHIN THESE PLANS WILL BE THE RESPONSIBILITY OF THE OWNERS, SUCCESSORS, ASSIGNEES, & BENEFICIARIES, INCLUDING THE HOME OWNERS ASSOCIATION.
4. PROJECT SIGNAGE WILL COMPLY WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE.
5. ALL ROADS WITHIN THE THE RIGHT-OF-WAY WILL BE PUBLIC.
6. THE PROJECT WILL BE CONSTRUCTED IN 1 PHASE.
7. SIDEWALK WILL BE ALONG COMMON AREAS. SIDEWALK IN FRONT OF HOMES WILL BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.
8. PROPOSED POTABLE WATER IS TO BE PUBLICLY OWNED AND MAINTAINED.
9. MINIMUM SLOPE ON ALL SANITARY SEWER LATERALS IS 1%.
10. WASTEWATER CAPACITY ANALYSIS: 8 LOTS X 250 GPD / SFR = 2,000 GPD
11. GRAVITY SANITARY SEWER AND LIFT STATION ARE TO BE PRIVATELY OWNED AND MAINTAINED.
12. FORCEMAIN IS TO BE PUBLICLY OWNED AND MAINTAINED WITHIN THE PROPERTY BOUNDARY

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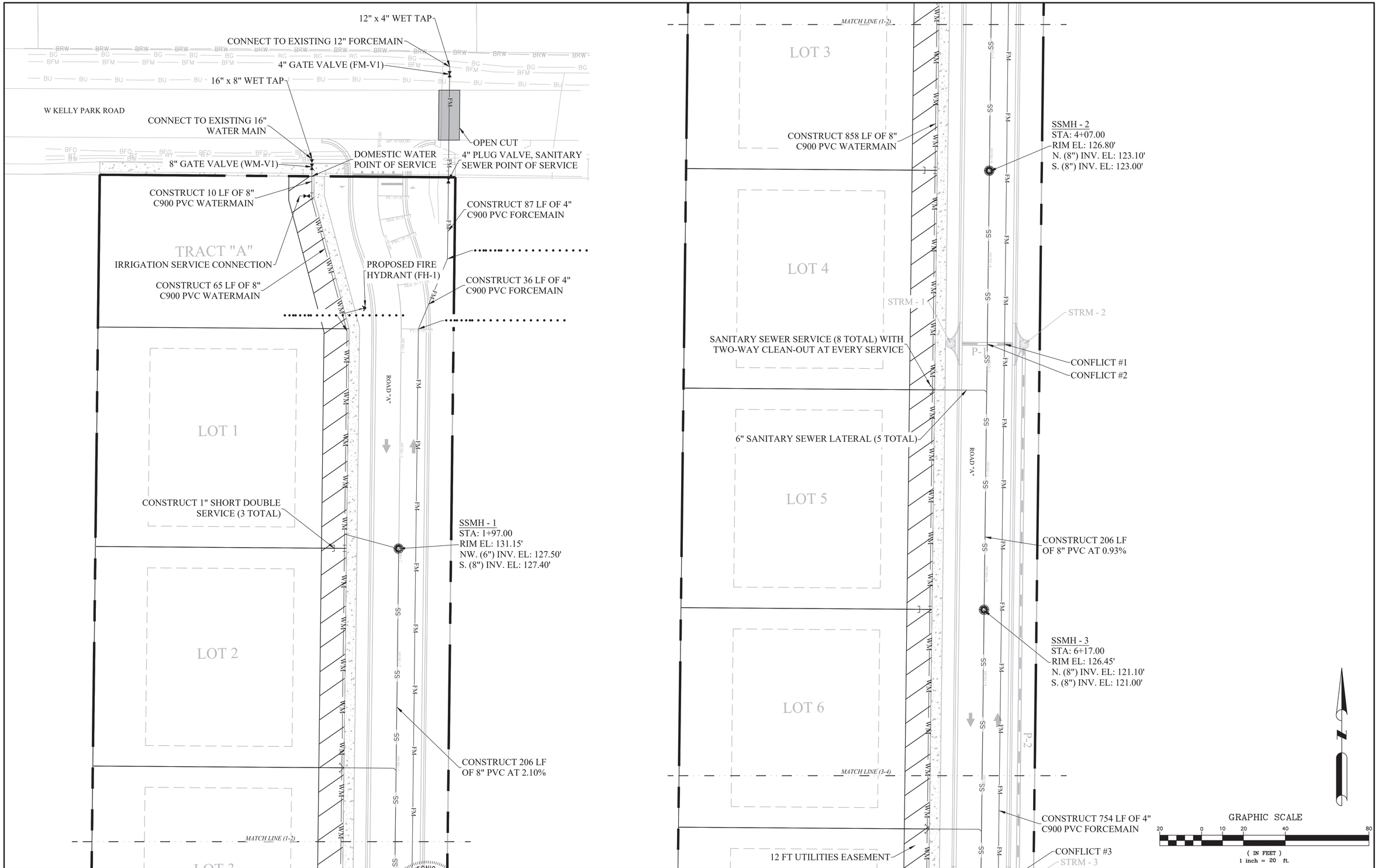
JOSE ANTONIO CHAVES
LICENSE
No. 78518
STATE OF FLORIDA
PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
OVERALL WATER AND SEWER PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 50'
SHEET:	C-8.0



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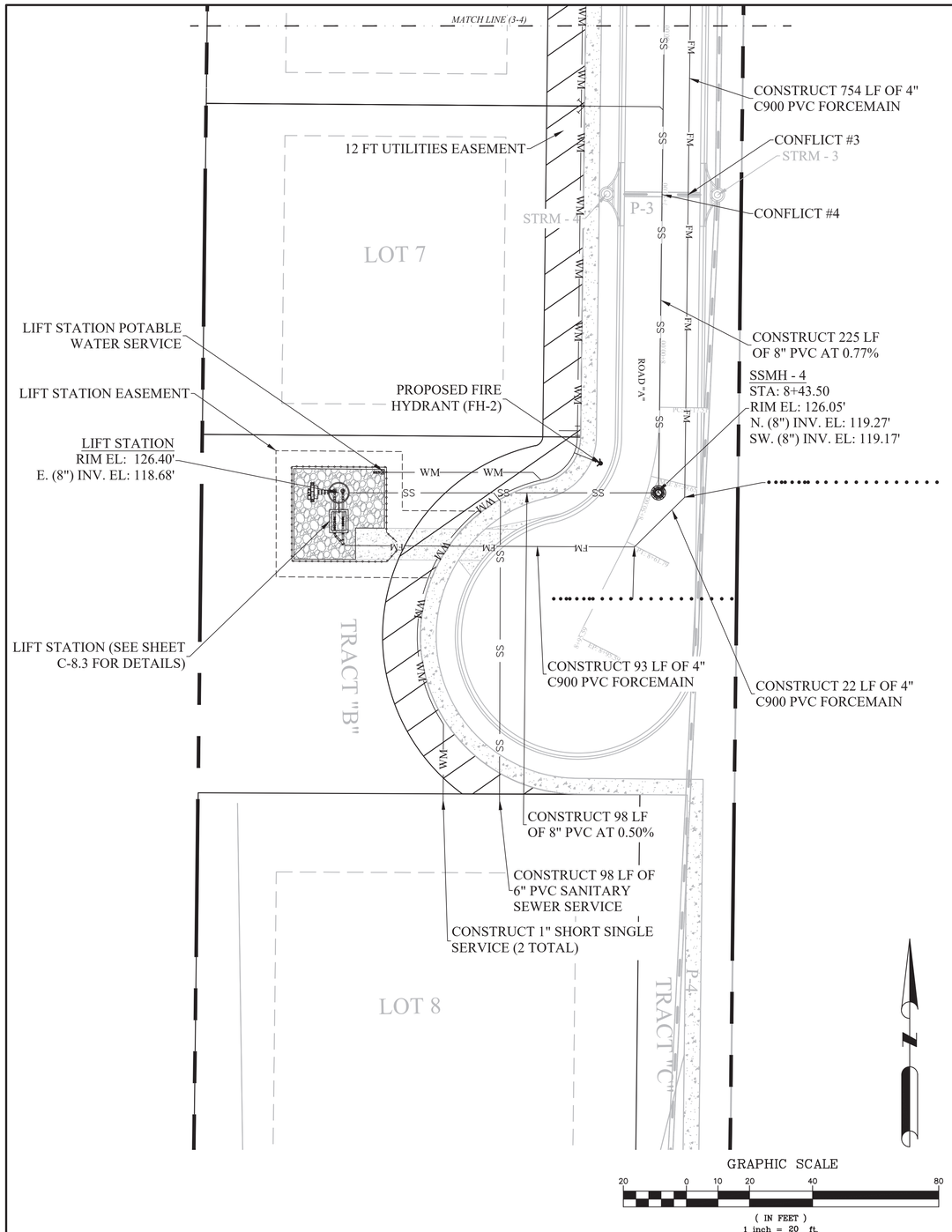
JOSE ANTONIO CHAVES LICENSE No. 78518 STATE OF FLORIDA PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
DETAIL WATER AND SEWER PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 20'
SHEET:	C-8.1



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JOSE ANTONIO CHAVES
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STATE OF FLORIDA
PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
DETAIL WATER AND SEWER PLAN
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 20'
SHEET:	C-8.2

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A **FIGURE GN**

DATE: February 11, 2011

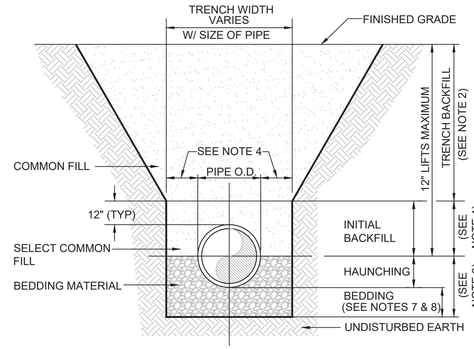
OCU GENERAL NOTES:

1. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
2. SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
3. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
4. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9798.
5. THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
6. ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
7. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
8. THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
9. ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
10. CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE.
11. THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
12. ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
13. THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
14. FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
15. FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A **STANDARD DRAWINGS** **GENERAL**

DATE: February 11, 2011 **BEDDING AND TRENCHING - TYPE A** **FIGURE A101**

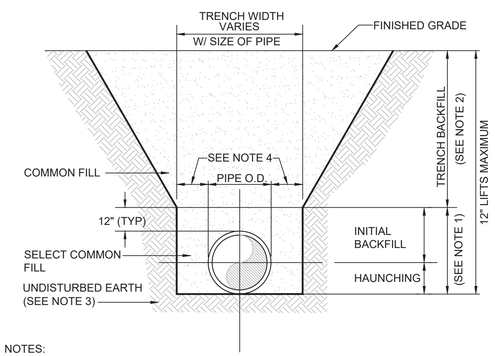


NOTES:
1. INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
9. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF R/W UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A **STANDARD DRAWINGS** **GENERAL**

DATE: February 11, 2011 **BEDDING AND TRENCHING - TYPE B** **FIGURE A102**



NOTES:
1. INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.
4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A **STANDARD DRAWINGS** **GENERAL**

DATE: February 11, 2011 **RESTRAINED PIPE TABLE** **FIGURE A104-1**
WATER AND RECLAIMED WATER MAINS

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)										
TYPE	PIPE SIZE									
	PVC					DIP				
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	25	36	46	55	64	65	77	89	105	120
45° BEND	10	15	19	23	26	27	32	37	44	50
22.5° BEND	5	8	9	11	13	13	15	18	21	24
11.25° BEND	3	4	5	6	8	7	8	9	10	12
PLUG OR BRANCH OF TEE	53	74	97	117	135	138	166	194	231	265
VALVE	27	38	49	59	68	69	83	97	116	133
REDUCER	VARIES BY SIZE; TO BE DETERMINED BY THE DESIGN ENGINEER.									

NOTES:
1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
4. ALL INLINE VALVES SHALL BE RESTRAINED.
5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
6. LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:

   WORKING PRESSURE: 150 PSI
   SOIL DESIGNATION: SM (SAND SILT)
   LAYING CONDITIONS: 3
   DEPTH OF COVER: 3 FT
   SAFETY FACTOR: 1.5
   CONVERSION FACTOR FOR PVC PIPE: 1.25

   BY USE OF THESE SOIL DESIGNATIONS, THE VALUES IN THE TABLE AS WARRANTED
   THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED
   FOR DIP ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.25.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A **STANDARD DRAWINGS** **GENERAL**

DATE: February 11, 2011 **RESTRAINED PIPE TABLE** **FIGURE A104-1**
WATER AND RECLAIMED WATER MAINS

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)										
TYPE	PIPE SIZE									
	PVC					DIP				
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	25	36	46	55	64	65	77	89	105	120
45° BEND	10	15	19	23	26	27	32	37	44	50
22.5° BEND	5	8	9	11	13	13	15	18	21	24
11.25° BEND	3	4	5	6	8	7	8	9	10	12
PLUG OR BRANCH OF TEE	53	74	97	117	135	138	166	194	231	265
VALVE	27	38	49	59	68	69	83	97	116	133
REDUCER	VARIES BY SIZE; TO BE DETERMINED BY THE DESIGN ENGINEER.									

NOTES:
1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
4. ALL INLINE VALVES SHALL BE RESTRAINED.
5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
6. LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:

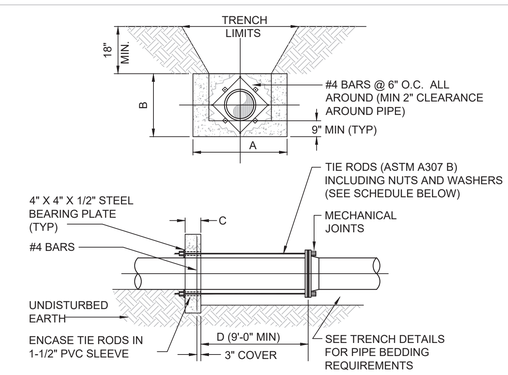
   WORKING PRESSURE: 150 PSI
   SOIL DESIGNATION: SM (SAND SILT)
   LAYING CONDITIONS: 3
   DEPTH OF COVER: 3 FT
   SAFETY FACTOR: 1.5
   CONVERSION FACTOR FOR PVC PIPE: 1.25

   BY USE OF THESE SOIL DESIGNATIONS, THE VALUES IN THE TABLE AS WARRANTED
   THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED
   FOR DIP ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.25.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A **STANDARD DRAWINGS** **GENERAL**

DATE: February 11, 2011 **THRUST COLLAR (150 psi)** **FIGURE A105-1**
WATER AND RECLAIMED WATER MAINS



NOTES:
1. ADDITIONAL REINFORCEMENTS SHALL BE AS SPECIFIED BY THE ENGINEER.
2. MINIMUM COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE 3000 PSI.
3. BEDDING, BACKFILL AND COMPACTION SHALL BE AS SPECIFIED ELSEWHERE IN THE STANDARD DRAWINGS.
4. ALL FORM BOARDS SHALL BE REMOVED PRIOR TO BACKFILL.
5. NO ALLOWANCE SHALL BE MADE FOR FRICTION BETWEEN THE PIPE WALL AND THE THRUST COLLAR.
6. DESIGN PRESSURE: 150 PSI.
7. REQUIRED FOR LINE STOPS.

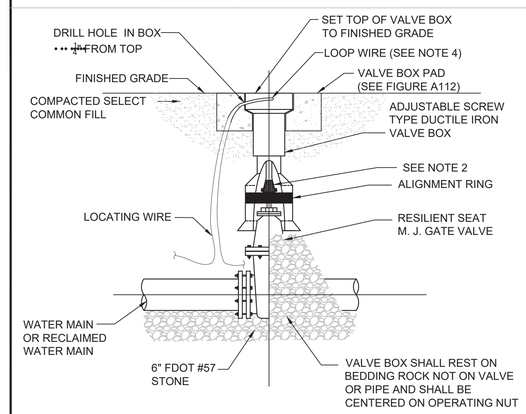
SCHEDULE OF DIMENSIONS AND MATERIALS						
PIPE SIZE (INCHES)	DIMENSIONS (FT.)				TIE RODS REQ'D	
	A	B	C	D	DIA.	NO.
6	2.0	2.0	1.0		3/4	2
8	2.5	2.5	1.0		3/4	2
10	3.5	3.0	1.0		3/4	4
12	5.0	3.0	1.0		3/4	4
16	6.0	4.0	1.5		3/4	4
20	8.0	5.0	1.5		3/4	6
24	9.0	6.0	1.5		3/4	8

NOTE: THRUST COLLAR AREAS TO BE COMPUTED ON BASIS OF 2000 LBS/SF SOIL RESTRAINT BEARING.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A **STANDARD DRAWINGS** **GENERAL**

DATE: February 11, 2011 **GATE VALVE AND BOX** **FIGURE A107**
WATER AND RECLAIMED WATER MAINS



NOTES:
1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3' OF FINISHED GRADE.
3. PROVIDE A PLASTIC DEBRIS SHIELD / ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.
5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS.
6. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
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JOSE A. CHAVES STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 78518

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JOSE ANTONIO CHAVES LICENSE No. 78518 STATE OF FLORIDA PROFESSIONAL ENGINEER

REVISIONS

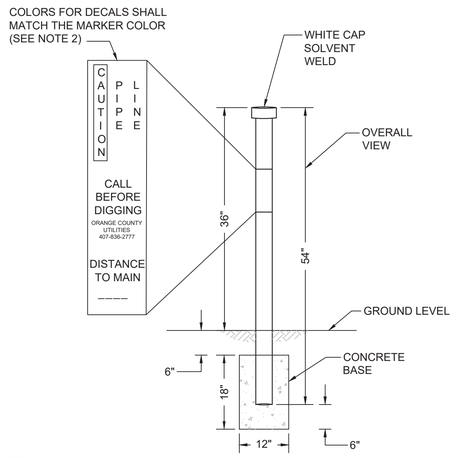
#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
UTILITIES DETAILS
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	VARIES
SHEET:	C-8.3

DATE: February 11, 2011

UTILITY MAIN MARKER — FIGURE A113



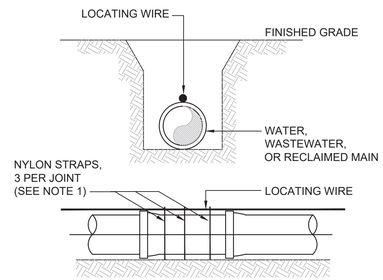
NOTES:
1. MARKERS ARE REQUIRED WHEN UTILITY MAIN IS LOCATED OVER 30 FEET FROM EDGE OF PAVEMENT OR IN AN EASEMENT NOT ADJACENT TO THE RIGHT OF WAY.
2. MARKERS SHALL BE 4" DIAMETER SCH. 80 OR DR18 PVC: BLUE FOR WATER; GREEN FOR WASTEWATER; AND PANTONE PURPLE 522C FOR RECLAIMED WATER.
3. MARKERS SHALL BE PLACED AT ALL DIRECTIONAL CHANGES AND AT ALL VALVES EXCEPT WATER VALVES NEAR FIRE HYDRANTS. ADDITIONAL MARKERS SHALL BE INSTALLED AS NEEDED SO THAT THE DISTANCE BETWEEN MARKERS DOES NOT EXCEED 1000 FEET.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011

PIPE LOCATING WIRE — FIGURE A114



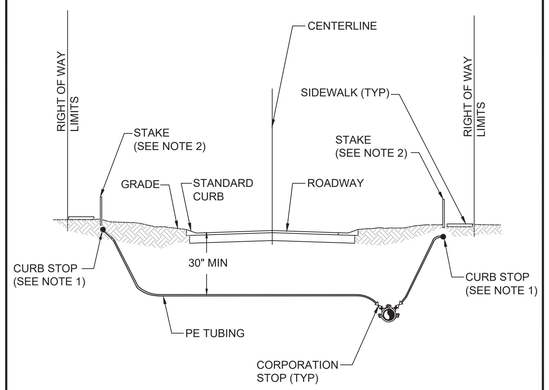
NOTES:
1. ALL PIPE SHALL REQUIRE INSULATED LOCATING WIRE (10 GAUGE SOLID COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE WRAPPED WITH NYLON STRAPS TO TOP CENTERLINE OF THE PIPE.
2. LOCATING WIRE SHALL BE CONTINUOUS INSIDE VALVE BOXES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR.
3. WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011

WATER AND RECLAIMED WATER SERVICES (TYPICAL) — FIGURE A120



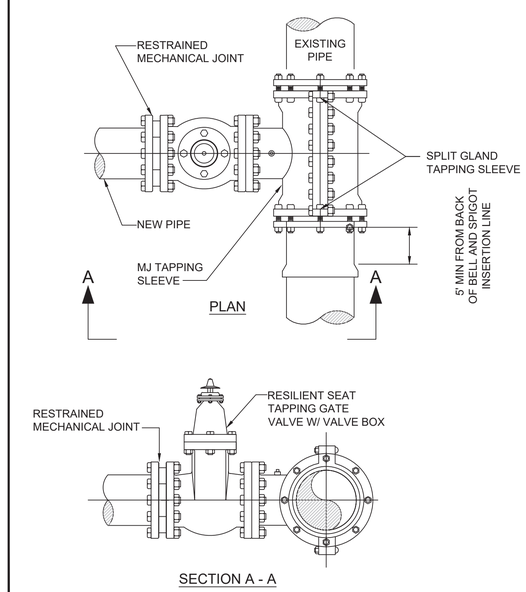
NOTES:
1. CURB STOP SHALL BE INSTALLED ON STREET SIDE OF THE SIDEWALK BETWEEN SIDEWALK AND CURB.
2. CONTRACTOR TO LOCATE CURB STOP BY PLACING A 2" X 2" SQUARE STAKE RISING 24" ABOVE THE GROUND. TOP OF STAKE SHALL BE PAINTED THE COLOR OF THE UTILITY SERVICE AND LABELED WITH THE LOT NUMBER(S) IT SERVES.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011

MJ TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIMED WATER — FIGURE A121-1

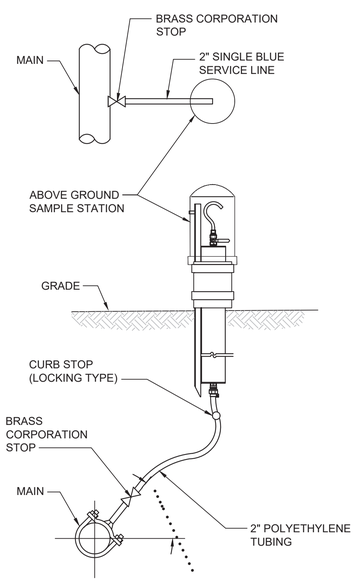


ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011

WATER SAMPLE STATION — FIGURE A201



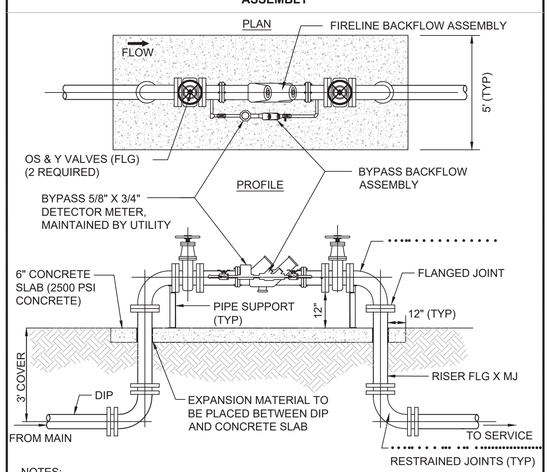
NOTES:
1. A 2 INCH SAMPLE STATION INSTALLED AT THE END OF A CUL-DE-SAC CAN ALSO SERVE AS A BLOW -OFF VALVE WHEN BOTH ARE REQUIRED.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011

DOUBLE DETECTOR CHECK VALVE ASSEMBLY — FIGURE A202



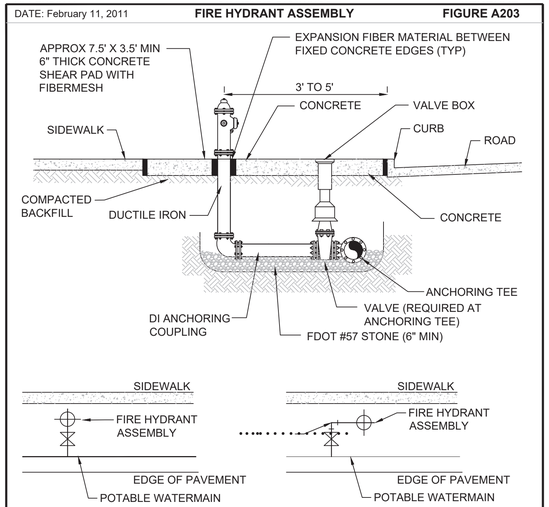
NOTES:
1. REQUIRED FOR SITES WITH SEPARATE DOMESTIC AND FIRE SYSTEM SUPPLY PIPING.
2. BACKFLOW ASSEMBLY SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. UTILITIES SHALL OWN AND MAINTAIN THE METER.
3. UTILITY EASEMENT REQUIRED FOR BY-PASS METER READING. MINIMUM EASEMENT SIZE IS 10 FEET BY 15 FEET.
4. DETAIL NOT APPLICABLE WHEN AN RPZ IS REQUIRED IN ACCORDANCE WITH THE BACKFLOW PREVENTION MANUAL.
5. SERVICES 4-INCH AND LARGER SHALL BE DIP FROM THE POINT OF CONNECTION AT THE MAIN TO THE METER ASSEMBLY IF THE MAIN IS ON THE SAME SIDE OF THE STREET AS THE ASSEMBLY. IF THE MAIN IS ON THE OPPOSITE SIDE OF THE STREET AS THE ASSEMBLY, A MINIMUM OF ONE SEGMENT OF PIPE IMMEDIATELY UPSTREAM FROM THE METER ASSEMBLY SHALL BE DIP.
6. ALL FLANGES: PIPE, VALVES AND APPURTENANCES SHALL HAVE 316 S.S. HARDWARE.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011

FIRE HYDRANT ASSEMBLY — FIGURE A203



STANDARD CONFIGURATION | ALTERNATE CONFIGURATION

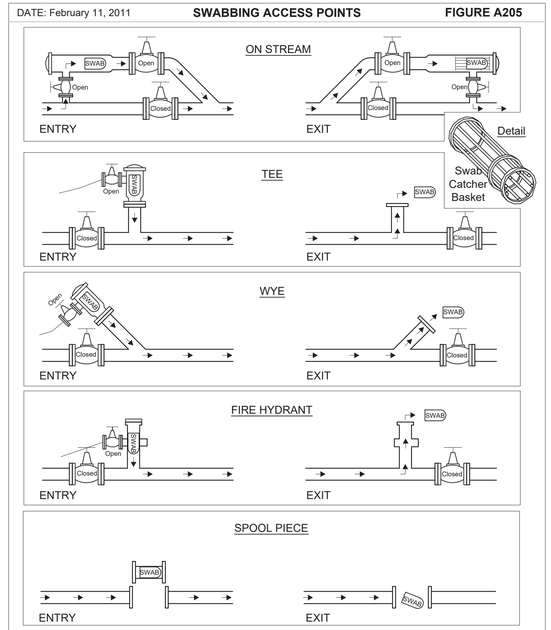
NOTES:
1. CENTER OF THE FLANGE CONNECTION SHALL BE 5" FROM THE TOP OF THE SLAB.
2. BARREL COLORS: PRIVATE HYDRANTS - RED; PUBLIC HYDRANTS - SILVER.
3. BONNET COLORS: TO BE DETERMINED BY FLOW TEST.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | STANDARD DRAWINGS | GENERAL

DATE: February 11, 2011

SWABBING ACCESS POINTS — FIGURE A205



NOTES:
1. FOAM SWAB.
2. SUGGESTED FOR WATER AND RECLAIMED WATER MAINS OF ALL SIZES. REQUIRED FOR WATER AND RECLAIMED WATER MAINS 16" DIAMETER AND GREATER.

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REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

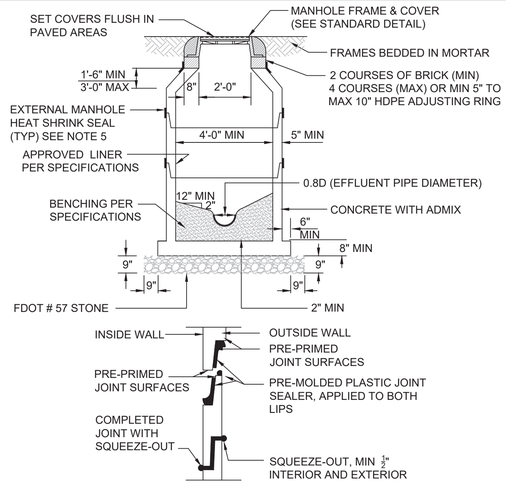
1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
UTILITIES DETAILS
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	NA
SHEET:	C-8.4

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **PRECAST CONCRETE MANHOLE** | **FIGURE A301**

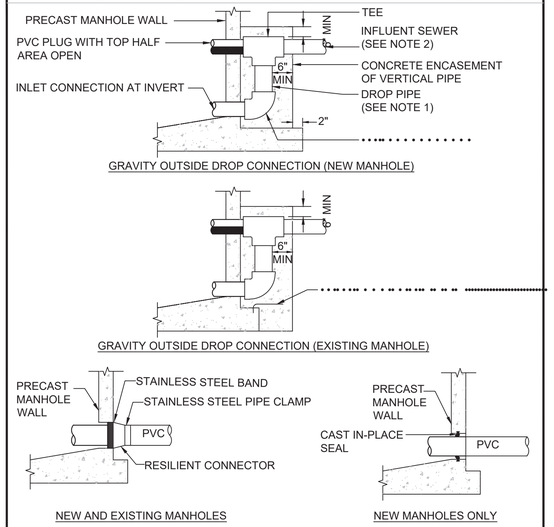


NOTES:
1. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAIL.
2. ECCENTRIC CONE DESIGN MAY BE USED FOR CONFLICT RESOLUTION WITH OCU APPROVAL.
3. A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MANHOLE TO DIRECT INFLUENT INTO FLOW STREAM.
4. LIFT HOLES THROUGH STRUCTURE ARE NOT PERMITTED.
5. WRAP TIGHTLY AROUND CASTING JOINTS AND APPLY HIGH INTENSITY PROPANE TORCH TO EFFECTIVELY SEAL THEM FROM GROUND WATER INFILTRATION.
6. HDPE ADJUSTING RINGS MAY BE SUBSTITUTED FOR BRICK RISERS.
7. SECTION HEIGHTS VARY AS REQUIRED, AND AS AVAILABLE, FROM APPROVED MANUFACTURERS LISTED IN APPENDIX D.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **GRAVITY MANHOLE CONNECTION** | **FIGURE A302**

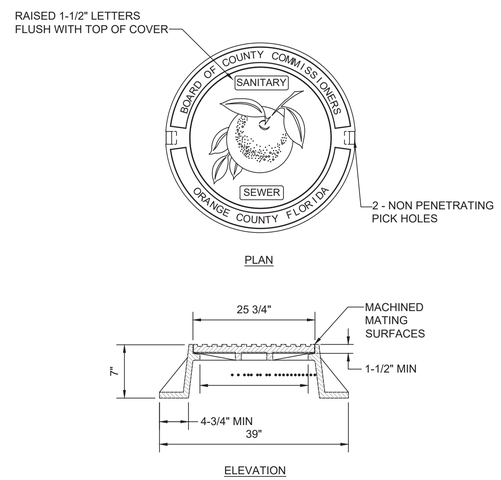


NOTES:
1. DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
2. AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT LINES WHICH HAVE AN INVERT 2' OR MORE ABOVE THE MANHOLE INVERT.
3. CONTRACTOR TO COORDINATE THE PRESENCE OF UTILITIES INSPECTOR DURING CORING AND CONNECTIONS TO EXISTING MANHOLES.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **STANDARD MANHOLE FRAME AND COVER** | **FIGURE A304**

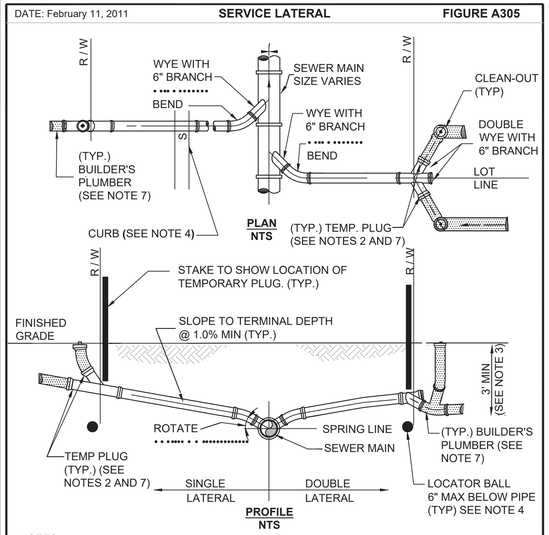


NOTES:
1. ONLY APPLIES TO UTILITIES OWNED AND MAINTAINED MANHOLES. "ORANGE COUNTY" SHALL NOT APPEAR ON PRIVATE MANHOLES.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

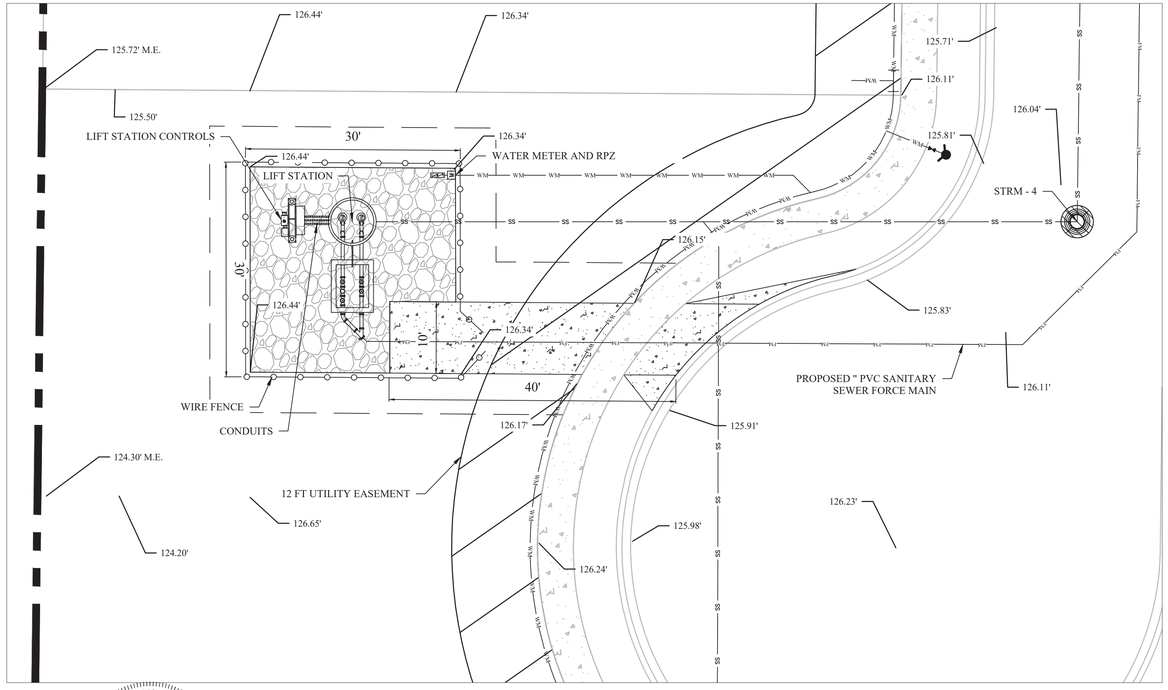
APPENDIX A | **STANDARD DRAWINGS** | **GENERAL**

DATE: February 11, 2011 | **SERVICE LATERAL** | **FIGURE A305**



NOTES:
1. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
2. SERVICE LATERAL SHALL BE CAPPED BY DEVELOPER'S SITE-WORK CONTRACTOR.
3. WYE TO BE NO SHALLOWER THAN 3-FEET AND NO DEEPER THAN 5-FEET.
4. LOCATOR BALLS TO BE INSTALLED BY DEVELOPER'S SITE-WORK CONTRACTOR, ONE PER SERVICE.
5. ALL FITTINGS SHOWN ARE TO BE INSTALLED.
6. SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY CUTTING AN "S" IN THE CURB DIRECTLY OVER THE LATERAL.
7. BUILDER'S PLUMBER WILL REMOVE PLUG, INSTALL CLEANOUT, AND CONNECT SERVICE LATERAL TO HOUSE.

LIFT STATION AREA DETAIL



NOTE

1. LIFT STATION DETAIL FROM XYLEM TO BE ADDED ONCE FORCEMAIN TIE IN INFORMATION IS PROVIDED BY THE CITY OF APOPKA.

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JOSE ANTONIO CHAVES LICENSE No. 78518 STATE OF FLORIDA PROFESSIONAL ENGINEER

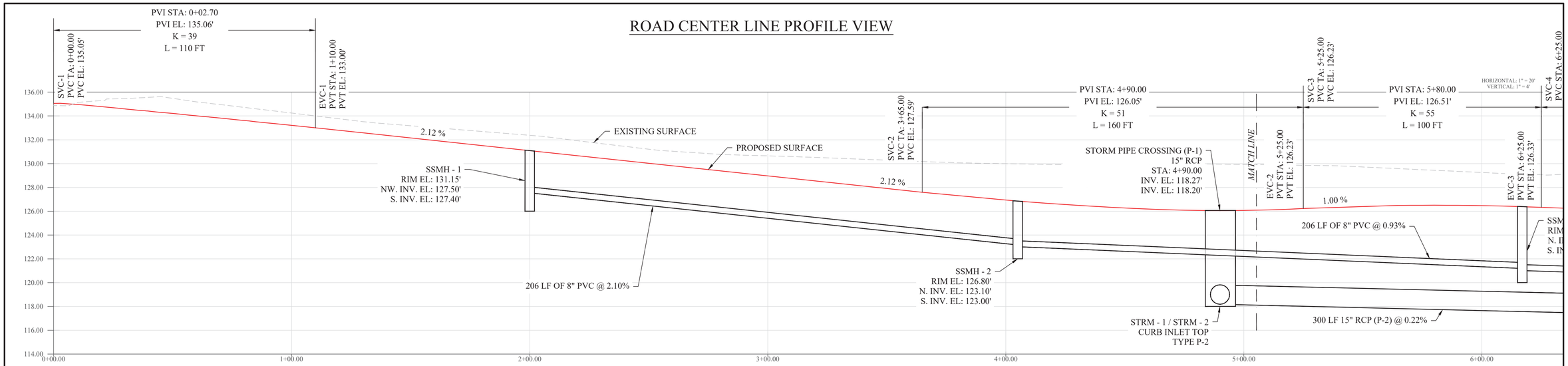
REVISIONS

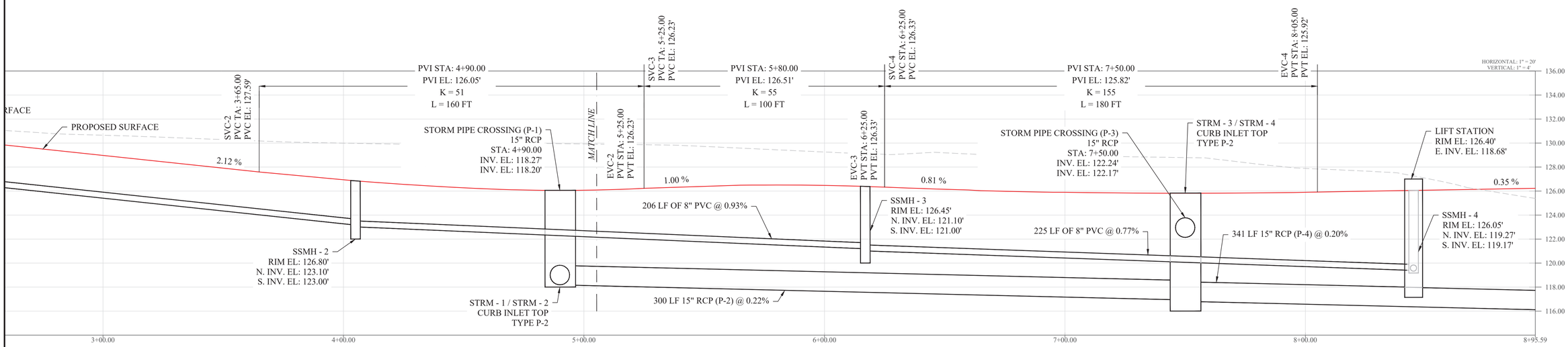
#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN
UTILITIES DETAIL
CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

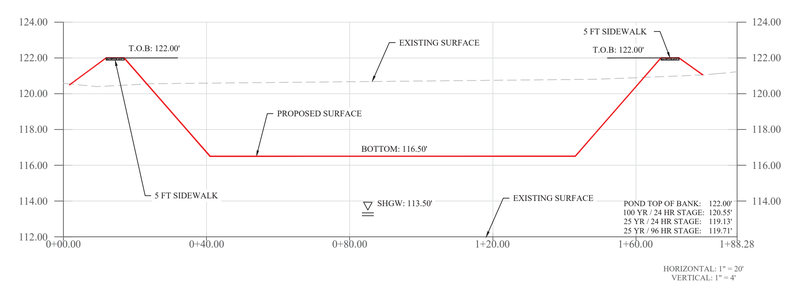
DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	NA
SHEET:	C-8.5

ROAD CENTER LINE PROFILE VIEW





SECTION B-B



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No. 78518
STATE OF FLORIDA
PROFESSIONAL ENGINEER

REVISIONS

#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION

1400 W KELLY PARK ROAD
MINOR DEVELOPMENT PLAN

SITE PROFILE VIEWS PLAN

CITY OF APOPKA, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	10/14/2024
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	1" = 20'
SHEET:	C-9.0

DEED DESCRIPTION:

THE WEST 170.0 FEET OF THE EAST 370.0 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER ALL IN SECTION 17, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ALL IN ORANGE COUNTY, FLORIDA.

LESS: THE NORTH 30 FEET THEREOF FOR KELLY PARK ROAD RIGHT-OF-WAY.

SURVEYOR'S NOTES:

BEARINGS SHOWN HEREON ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, BEING NORTH 89°34'48" WEST FOR ANGULAR DETERMINATION ONLY. HORIZONTAL COORDINATES SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE (0901) AS REFERENCED BY CERTIFIED CORNER RECORD #096669, NORTHING 1608461.220, EASTING 485119.370.

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC SURVEY BENCHMARK L 708 023, BEING A 2" DISK IN CONCRETE MONUMENT STAMPED "L-708-023", ELEVATION 115.18', AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN INSURANCE TITLE COMMITMENT.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.

THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.

ADJOINING PARCEL OWNER AND RECORDING INFORMATION DELINEATED HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER'S PUBLIC ACCESS SYSTEM.

THIS SURVEY IS NOT VALID WITHOUT THE DIGITAL SIGNATURE AND ORIGINAL DIGITAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

UNDERGROUND UTILITIES AND IMPROVEMENTS WERE NOT LOCATED, UNLESS SHOWN HEREON.

UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR VISIBLE, UNOBSTRUCTED, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED, UNLESS NOTED OTHERWISE.

UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED AND MARKED BY THE INDIVIDUAL UTILITY COMPANIES. THIS SURVEYOR ONLY SHOWS THESE ABOVE GROUND MARKINGS AS FIELD LOCATED AND IS NOT RESPONSIBLE FOR INACCURATE AND/OR POSSIBLE UTILITIES NOT SHOWN.

SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0050H, DATED 9/24/2021.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

LAST DATE IN FIELD: FEBRUARY 5, 2024

GROUND PENETRATING RADAR:

1. GPR INVESTIGATIONS ARE HIGHLY SITE SPECIFIC AND CAN BE LIMITED BY ATTENUATION OF GPR SIGNALS BY SUBSURFACE MATERIALS. GPR DATA READINGS CANNOT BE MADE PAST WATER TABLE DEPTH.
2. GPR INVESTIGATIONS ARE LIMITED BY UNEVEN TERRAIN CONDITIONS: HIGH GRASS (OVER 3"), BUSHES, FENCES, TREES, DEBRIS, ETC.
3. ALL VERTICALLY STACKED UTILITIES/OBJECTS MAY NOT BE DETECTED; GPR SIGNALS ARE REFLECTED BY THE TOP MOST UTILITY/OBJECT.
4. SOME UTILITIES/OBJECTS MAY NOT RETURN A REFLECTED SIGNAL TO THE GPR RECEIVER.
5. GPR SCANS CANNOT BE MADE IMMEDIATELY NEXT TO BUILDING/OBJECTS DUE TO EQUIPMENT RESTRICTIONS.
6. PIPE WITH LITTLE OR NO LIQUID CONTENT AT THE TIME OF LOCATE WORK MAY NOT BE DETECTED BY GPR.
7. LOCATIONS OF EXISTING UTILITIES DESIGNATED BY GROUND PENETRATING RADAR (GPR) ARE TO BE DEEMED APPROXIMATE IN NATURE AND IN NO WAY ARE TO BE CONSTRUED AS EXACT. PANTALONE INDUSTRIES WILL NOT BE HELD RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES LOCATED BY GPR EQUIPMENT.

RADIO FREQUENCY \ ELECTROMAGNETIC LOCATING:

1. THE NUMBER OF ACCESS POINTS WITHIN DESIGNATED LOCATE AREA(S) MAY BE LIMITED OR NON-EXISTENT.
2. UTILITY OR PROPERTY OWNER MAY RESTRICT OR DENY THE USE OF UTILITY ACCESS POINTS.
3. FIBER & OTHER NON-METALLIC LINES WITH NO OR NON-WORKING TRACER WIRE ARE UNTONEABLE WITH RADIO FREQUENCY OR ELECTROMAGNETIC LOCATE EQUIPMENT.
4. LOCATIONS OF EXISTING UTILITIES DESIGNATED BY RADIO FREQUENCY OR ELECTROMAGNETIC EQUIPMENT ARE TO BE DEEMED APPROXIMATE IN NATURE AND IN NO WAY ARE TO BE CONSTRUED AS EXACT. PANTALONE INDUSTRIES WILL NOT BE HELD RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES LOCATED BY RF/EM EQUIPMENT.

VICINITY MAP: NOT TO SCALE

SHEET INDEX:

PAGE 1 OF 2 – DEED, NOTES, VICINITY MAP, LEGEND, SUBJECT PROPERTY, PLOTTED EASEMENTS, AND GEOMETRY

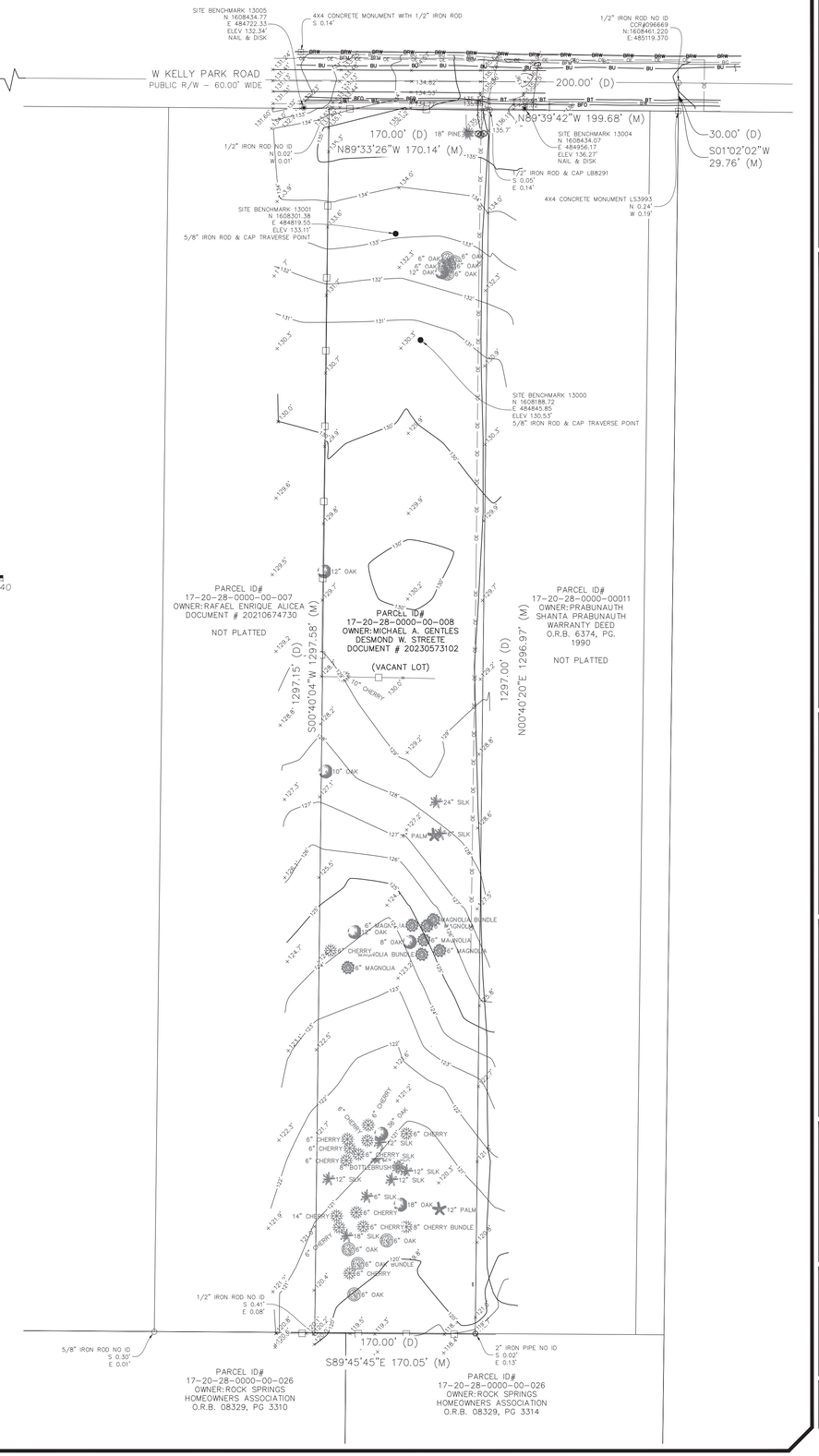
PAGE 2 OF 2 – TREE & UTILITY POINT TABLE, UTILITY DESIGNATION AND LOCATION

1" = 70'
GRAPHIC SCALE
0 35 70 140

SYMBOL AND ABBREVIATION LEGEND:

	BENCHMARK LOCATION		CONTROL STRUCTURE
	CABLE TELEVISION CABINET		STORM DRAINAGE MANHOLE
	CABLE TELEVISION MARKER		MITERED END SECTION
	CABLE TELEVISION RISER		YARD DRAIN
	CABLE TELEVISION VAULT		FOUND BRASS OR ALUMINUM DISK
	ELECTRICAL CABINET		FOUND CONCRETE MONUMENT
	CONCRETE LIGHT POLE		FOUND IRON PIPE
	CONCRETE POWER POLE		FOUND IRON ROD
	FIBERGLASS LIGHT POLE		FOUND NAIL & DISK
	GUY POLE		SET CONCRETE MONUMENT
	GUY WIRE		SET IRON ROD
	LANDSCAPE LIGHT		SET NAIL & DISK
	ELECTRICAL MANHOLE		SET TRAVERSE POINT OR BENCHMARK
	ELECTRICAL MARKER		TELECOMMUNICATION CABINET
	METAL LIGHT POLE		TELECOMMUNICATION MANHOLE
	POWER POLE		TELECOMMUNICATION MARKER
	ELECTRICAL METER		TELECOMMUNICATION RISER
	ELECTRICAL PANEL		TELECOMMUNICATION VAULT
	ELECTRICAL RISER		TRAFFIC ELECTRIC CABINET
	TRANSFORMER		PEDESTRIAN CROSS POLE
	ELECTRICAL VAULT		SIGNAL MAST ARM
	WOODEN LIGHT POLE		TRAFFIC ELECTRIC VAULT
	WOODEN POWER POLE		TREE BAY
	FIBER OPTIC MARKER		TREE CAMPHOR
	FIBER OPTIC RISER		TREE CEDAR
	FIBER OPTIC VAULT		TREE CHINA BERRY
	FORCE MAIN AIR RELEASE VALVE		TREE CYPRESS
	FORCE MAIN MARKER		TREE ELM
	FORCE MAIN MANHOLE		TREE GREEN ASH
	FORCE MAIN VALVE		TREE HICKORY
	IRRIGATION VALVE		TREE LAUREL OAK
	BOLLARD		TREE LIVE OAK
	CLEANOUT		TREE MAGNOLIA
	MAILBOX		TREE MAPLE
	MULTI STAND SIGN		TREE PALM
	SATELLITE		TREE PECAN
	SINGLE STAND SIGN		TREE PINE
	SOIL BORING LOCATION		TREE SWEET GUM
	TEST HOLE LOCATION		TREE SYCAMORE
	UNKNOWN MANHOLE		TREE TURKEY OAK
	UNKNOWN UTILITY RISER		WATER AIR RELEASE VALVE
	UNKNOWN VAULT		BACKFLOW PREVENTER
	UNKNOWN VENT		HOSE BIBB
	WELL		FIRE DEPARTMENT CONNECTION
	WETLAND FLAG		FIRE HYDRANT
	NATURAL GAS MARKER		WATER MARKER
	NATURAL GAS METER		WATER METER
	NATURAL GAS VALVE		WATER RISER
	NATURAL GAS VENT		WATER VALVE
	RECLAIMED WATER AIR RELEASE VALVE		WETLANDS
	RECLAIMED WATER MARKER	ASPH	ASPHALT
	RECLAIMED WATER RISER	BC	BACK OF CURB
	RECLAIMED WATER VALVE	BM	BENCHMARK
	GREASE TRAP	℄	CENTER LINE
	SANITARY SEWER MANHOLE	C	CHORD DISTANCE
	SANITARY SEWER MARKER	CD	CHORD BEARING
	SANITARY SEWER RISER	CLF	CHAIN LINK FENCE
	SANITARY SEWER VALVE	CONC	CONCRETE
	CATCH BASIN	O.R.B.	OFFICIAL RECORD BOOK

CM	CONCRETE MONUMENT
E	EAST/EASTING
EC	EDGE OF CONCRETE
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
FF	FINISH FLOOR
FND	FOUND
LB	LICENSED BUSINESS
LS	LICENSED SURVEYOR
PS	PARKING SPACE
HC	HANDICAPPED
N	NORTH/NORTHING
N/D	NAIL AND DISK
PB	PLAT BOOK
(D)	DEED
(M)	MEASURED
PG(S)	PAGE(S)
PC	POINT OF CURVATURE
PT	POINT OF TANGENT
PCP	PERMANENT CONTROL POINT
PRM	PERMANENT REFERENCE MONUMENT
PS	PARKING SPACE
PL	PROPERTY LINE
PSM	PROFESSIONAL SURVEYOR AND MAPPER
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RLS	REGISTERED LICENSED SURVEYOR
R/W	RIGHT OF WAY
S	SOUTH
TH	TEST HOLE
VVH	VERIFIED VERTICAL & HORIZONTAL
26	CONTOUR
+24.1	SPOT ELEVATION
WTR	WATER
— BTV —	BURIED CABLE TV
— BE —	BURIED ELECTRICAL
— BFO —	BURIED FIBER OPTIC
— BFM —	BURIED FORCE MAIN
— BG —	BURIED GAS
— BRW —	BURIED RECLAIMED WATER
— SS —	BURIED SANITARY SEWER
— BT —	BURIED TELECOMMUNICATION
— BTE —	BURIED TRAFFIC ELECTRICAL
— BU —	BURIED UNKNOWN
— BW —	BURIED WATER
	CENTERLINE
	CONTINUOUS
— — —	DASHED LINE
—O—	FENCE LINE
— FM —	FORCE MAIN
— GAS —	GAS LINE
- - - - - -	EASEMENT
— IRR —	IRRIGATION LINE
— OE —	OVERHEAD ELECTRICAL LINE
	DRAINAGE PIPE
—R/W—	RIGHT OF WAY LINE
	BUILDING LINE
	EDGE OF PAVEMENT
	EDGE OF WATER



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(304) 376-4439

BOUNDARY, TOPOGRAPHIC, & TREE SURVEY
OF
1400 W KELLY PARK DR
SECTION 17, TOWNSHIP 20 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

FOR: MICHAEL A. GENTLES

FOR THE LICENSED BUSINESS #8551 BY:

JOHN F. LOCKLIN, P.S.M. #6673

DATE	REVISIONS

JOB #: 1400 W KELLY PARK RD
DATE: 02/05/2024
SCALE: 1" = 70'
CALC BY: SP
FIELD BY: CG
DRAWN BY: KM
CHECKED BY: JL

SHEET 1 OF 2

Drawing name: D:\Projects\1400 W Kelly Park Rd-Storybook\CAD Files\As-built\1400 W Kelly Park Rd Boundary, Topographic & Tree Survey Sheet 1

TREE POINT TABLE

POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
130125	1608407.51	484895.95	0.00	18" PINE
130126	1608275.30	484874.35	0.00	6" OAK
130127	1608271.17	484882.25	0.00	6" OAK
130128	1608267.63	484876.89	0.00	6" OAK
130129	1608259.02	484874.62	0.00	6" OAK
130130	1608266.91	484870.71	0.00	6" OAK
130131	1608260.84	484868.30	0.00	12" OAK
130132	1607943.79	484743.78	0.00	12" OAK
130133	1607832.77	484764.57	0.00	10" CHERRY
130134	1607699.18	484862.64	0.00	24" SILK
130135	1607663.49	484860.50	0.00	24" PALM
130136	1607665.36	484867.18	0.00	6" SILK
130137	1607541.72	484866.25	0.00	6" MAGNOLIA
130138	1607567.88	484852.68	0.00	6" MAGNOLIA
130139	1607574.34	484859.66	0.00	MAGNOLIA BUNDLE
130140	1607552.94	484849.48	0.00	6" MAGNOLIA
130141	1607537.66	484847.23	0.00	MAGNOLIA BUNDLE
130142	1607568.48	484836.87	0.00	6" MAGNOLIA
130143	1607550.99	484834.25	0.00	8" OAK
130144	1607523.62	484769.05	0.00	6" MAGNOLIA
130145	1607561.63	484775.86	0.00	12" OAK
130146	1607541.63	484750.71	0.00	6" CHERRY
130147	1607347.71	484803.99	0.00	36" OAK
130148	1607338.04	484803.10	0.00	12" SILK
130149	1607321.11	484799.73	0.00	24" SILK
130150	1607324.36	484804.27	0.00	36" SILK

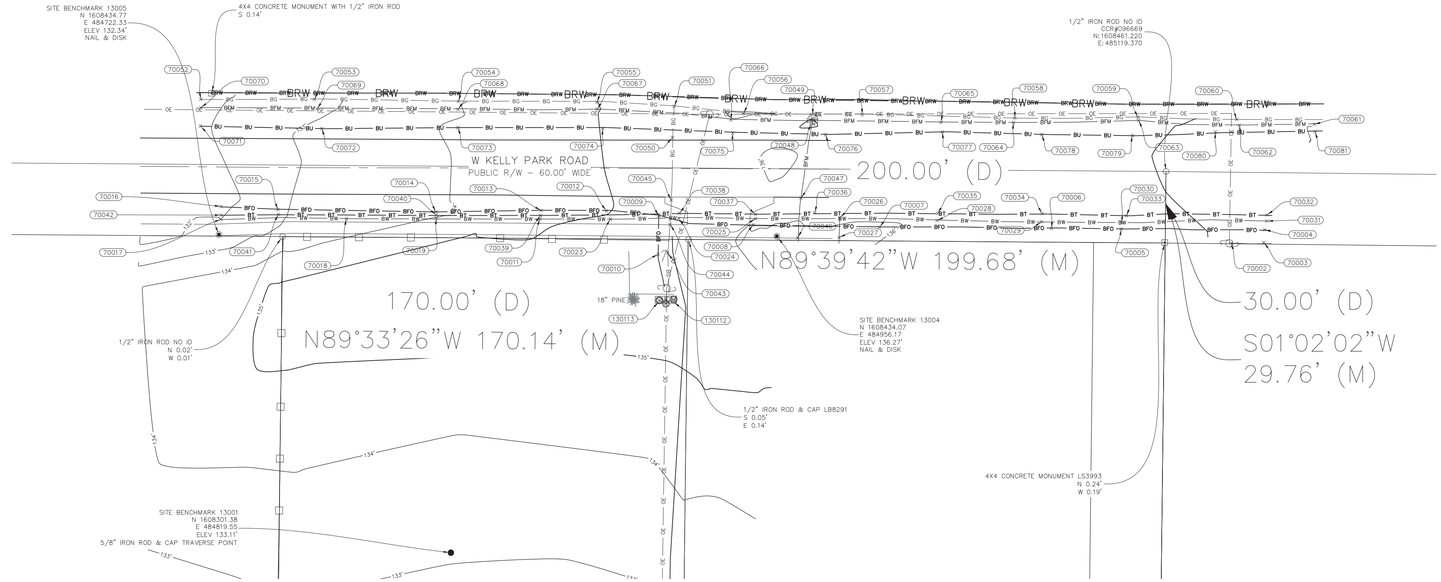
POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
130151	1607347.59	484830.94	0.00	6" CHERRY
130152	1607307.84	484831.38	0.00	12" SILK
130153	1607298.85	484815.53	0.00	12" SILK
130154	1607312.31	484822.08	0.00	8" BOTTLEBRUSH
130155	1607272.66	484824.56	0.00	18" OAK
130156	1607248.86	484830.88	0.00	8" CHERRY BUNDLE
130157	1607281.03	484789.23	0.00	6" SILK
130158	1607341.76	484768.37	0.00	6" CHERRY
130159	1607356.64	484790.50	0.00	6" CHERRY
130160	1607340.24	484789.56	0.00	6" CHERRY
130161	1607325.76	484780.16	0.00	6" CHERRY
130162	1607332.15	484770.86	0.00	6" CHERRY
130163	1607319.24	484767.23	0.00	6" CHERRY
130164	1607299.61	484748.73	0.00	12" SILK
130166	1607177.32	484775.70	0.00	6" OAK
130167	1607225.26	484769.66	0.00	6" OAK
130168	1607234.46	484810.11	0.00	6" OAK
130169	1607209.58	484779.58	0.00	6" OAK BUNDLE
130170	1607199.67	484770.80	0.00	6" CHERRY
130171	1607267.21	484866.24	0.00	12" PALM
130174	1607731.78	484745.20	0.00	10" OAK
130175	1607260.44	484756.90	0.00	14" CHERRY
130176	1607264.15	484777.92	0.00	6" CHERRY
130177	1607248.36	484759.56	0.00	6" CHERRY
130178	1607249.03	484785.22	0.00	6" CHERRY
130179	1607239.32	484767.83	0.00	18" SILK

UTILITIES POINT TABLE

POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
70004	1608436.80	485160.67	131.35	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70005	1608437.15	485100.62	132.37	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70006	1608437.35	485071.39	132.55	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70007	1608437.88	484999.27	133.21	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70008	1608438.89	484946.36	132.89	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70009	1608442.65	484906.75	132.14	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70010	1608426.49	484906.48	132.57	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70011	1608441.40	484856.90	129.75	WATER APPROXIMATE TOP OF PIPE
70012	1608444.72	484884.75	131.89	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70013	1608444.91	484857.38	131.47	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70014	1608444.30	484813.25	130.72	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70015	1608445.24	484747.06	129.50	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70016	1608446.56	484723.14	128.66	FIBER OPTIC CABLE APPROXIMATE TOP OF PIPE
70017	1608441.15	484723.14	126.00	WATER APPROXIMATE TOP OF PIPE
70018	1608441.38	484775.83	128.37	WATER APPROXIMATE TOP OF PIPE
70019	1608441.68	484813.49	129.04	WATER APPROXIMATE TOP OF PIPE
70023	1608441.27	484886.44	130.17	WATER APPROXIMATE TOP OF PIPE
70024	1608441.53	484915.04	130.26	WATER APPROXIMATE TOP OF PIPE
70025	1608441.43	484947.27	130.68	WATER APPROXIMATE TOP OF PIPE
70026	1608441.71	484982.57	130.85	WATER APPROXIMATE TOP OF PIPE
70027	1608433.58	484982.36	131.30	WATER APPROXIMATE TOP OF PIPE
70028	1608440.68	485023.40	130.66	WATER APPROXIMATE TOP OF PIPE
70029	1608440.15	485067.23	130.39	WATER APPROXIMATE TOP OF PIPE
70030	1608439.77	485100.70	130.21	WATER APPROXIMATE TOP OF PIPE
70031	1608440.43	485161.70	129.23	WATER APPROXIMATE TOP OF PIPE
70032	1608442.97	485161.63	130.30	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE

POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
70033	1608442.71	485102.73	131.05	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70034	1608443.55	485067.45	131.26	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70035	1608443.64	485023.52	131.55	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70036	1608444.01	484972.13	131.62	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70037	1608443.26	484947.21	131.46	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70038	1608443.69	484915.36	131.07	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70039	1608442.72	484857.10	130.68	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70040	1608443.02	484813.48	129.89	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70041	1608443.24	484747.25	128.71	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70042	1608442.93	484723.13	127.92	SPRINT TELECOMMUNICATIONS APPROXIMATE TOP OF PIPE
70043	1608427.11	484910.39	132.77	GAS APPROXIMATE TOP OF PIPE
70044	1608439.00	484911.47	132.66	GAS APPROXIMATE TOP OF PIPE
70045	1608449.23	484911.96	132.36	GAS APPROXIMATE TOP OF PIPE
70046	1608433.50	484964.88	133.33	FORCEMAIN APPROXIMATE TOP OF PIPE
70047	1608450.10	484966.28	132.55	FORCEMAIN APPROXIMATE TOP OF PIPE
70048	1608482.62	484971.15	134.50	FORCEMAIN VALVE
70049	1608483.70	484971.40	135.47	AUTO FLUSH
70050	1608475.49	484912.46	132.53	GAS APPROXIMATE TOP OF PIPE
70051	1608488.54	484913.17	132.67	GAS APPROXIMATE TOP OF PIPE
70052	1608491.47	484714.73	127.62	GAS APPROXIMATE TOP OF PIPE
70053	1608491.42	484762.31	128.76	GAS APPROXIMATE TOP OF PIPE
70054	1608490.62	484822.72	129.94	GAS APPROXIMATE TOP OF PIPE
70055	1608490.27	484880.77	130.99	GAS APPROXIMATE TOP OF PIPE
70056	1608485.56	484942.24	132.12	GAS APPROXIMATE TOP OF PIPE
70057	1608485.04	484991.99	131.69	GAS APPROXIMATE TOP OF PIPE
70058	1608483.61	485055.95	131.49	GAS APPROXIMATE TOP OF PIPE

POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
70059	1608483.96	485107.62	131.36	GAS APPROXIMATE TOP OF PIPE
70060	1608483.04	485149.01	130.75	GAS APPROXIMATE TOP OF PIPE
70061	1608481.06	485181.54	128.97	FORCEMAIN APPROXIMATE TOP OF PIPE
70062	1608480.61	485150.03	129.29	FORCEMAIN APPROXIMATE TOP OF PIPE
70063	1608482.62	485107.87	130.28	FORCEMAIN APPROXIMATE TOP OF PIPE
70064	1608481.73	485055.43	130.33	FORCEMAIN APPROXIMATE TOP OF PIPE
70065	1608481.81	485025.03	130.55	FORCEMAIN APPROXIMATE TOP OF PIPE
70066	1608482.87	484936.92	130.97	FORCEMAIN APPROXIMATE TOP OF PIPE
70067	1608487.34	484880.83	129.97	FORCEMAIN APPROXIMATE TOP OF PIPE
70068	1608487.27	484822.53	128.86	FORCEMAIN APPROXIMATE TOP OF PIPE
70069	1608487.51	484763.43	127.84	FORCEMAIN APPROXIMATE TOP OF PIPE
70070	1608487.98	484714.66	126.49	FORCEMAIN APPROXIMATE TOP OF PIPE
70071	1608480.25	484714.54	127.86	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70072	1608479.23	484765.46	129.15	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70073	1608479.63	484822.56	130.13	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70074	1608479.29	484883.22	131.11	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70075	1608477.32	484937.66	131.72	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70076	1608476.63	484976.65	131.78	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70077	1608477.74	485025.58	131.55	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70078	1608476.69	485067.25	131.46	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70079	1608476.37	485105.28	131.27	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70080	1608477.77	485140.11	130.70	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
70081	1608477.89	485181.88	129.97	UNKNOWN FIBER OPTIC APPROXIMATE TOP OF PIPE
130112	1608407.48	484911.69	138.99	GAS 2" BACKFLOW PREVENTOR
130113	1608407.40	484907.68	138.99	GAS 2" BACKFLOW PREVENTOR



1" = 30'
GRAPHIC SCALE
0 15 30 60

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(STEPHEN@PANTALONEINDUSTRIES.COM)
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BOUNDARY, TOPOGRAPHIC, & TREE SURVEY
OF
1400 W KELLY PARK DR
SECTION 17, TOWNSHIP 20 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

FOR: MICHAEL A. GENTLES

FOR THE LICENSED BUSINESS #8551 BY:

JOHN F. LOCKLIN, P.S.M. #6673

DATE	REVISIONS

JOB #: 1400 W KELLY PARK RD
DATE: 02/05/2024
SCALE: 1" = 30'
CALC BY: SP
FIELD BY: CG
DRAWN BY: KM
CHECKED BY: JL

SHEET 2 OF 2

Drawing name: D:\Projects\1400 W Kelly Park Rd-Storybook\CAD Files\As-built\1400 W Kelly Park Rd Boundary, Topographic & Tree Survey Sheet 2