



## **APOPKA DEVELOPMENT REVIEW COMMITTEE AGENDA**

**April 29, 2026 9:00 AM**

**Apopka City Hall Commission Chambers**

### **SPECIAL EVENTS**

1. **E-26-1 - Murph - Northwest Recreation Complex - 3710 Jason Dwelley Parkway - May 23rd 2026 7:00am - 10:00am**  
Owner(s): The Oak  
Applicant(s): Andrew Reyes  
Location: Northwest Recreation Complex - 3710 Jason Dwelley Parkway  
Proposed Use: Workout/Exercise Event  
Project Manager: Carolyn Ray
2. **Apopka / Altamonte Springs Veterans of Foreign Wars Post 10147 - Tribute to Billy Joel Dinner and Show - Apopka Community Center / VFW Post 10147 529 South Central Avenue - May 16th 2026 5:00pm - 10:00pm**  
Owner(s): Apopka / Altamonte Springs Veterans of Foreign Wars Post 10147  
Applicant(s): Michael McFadden  
Location: Apopka Community Center VFW - 519 S Central Avenue  
Proposed Use: Fundraiser  
Project Manager: Carolyn Ray

### **ANNEXATION**

1. **AN-26-3 - Kelly Park Road Commercial - Annexation (AN), 1st Submittal**  
Owner(s): Effie Road Holdings LLC  
Applicant(s): 1882 Engineering - Luke Classon  
Location: 3603 West Kelly Park Road  
Proposed Use: Annex subject property into City of Apopka  
Project Manager: Jean Sanchez

### **SITE PLAN:**

### **MAJOR DEVELOPMENT PLAN**

1. **MDP-24-4 - Floridian Town Center Hotel - Major Development Plan (MDP), 3rd Submittal**  
Owner(s): Florence Hotel Company LLC  
Applicant(s): Jason Searl, Esq.  
Location: Southfork Drive  
Proposed Use: 137 room hotel  
Project Manager: Bobby Howell

### **DISCUSSION**

**ADJOURNMENT**

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.



**Record No: E-26-1**

Apopka Special Event Permit

Status: Active

Submitted On: 4/14/2026

**Primary Location**

No location

**Owner**

No owner information

**Applicant**

Andrew Reyes

321-441-5943

info@theoakcommunity.com

1070 Montgomery Rd #2286  
Altamonte Springs, FL 32714

## Special Event Permit Application

Visit City of Apopka Events Page to learn more about what is happening in the City.

**Name of the Event\***

Murph

**Event Date\***

05/23/2026

**Event Time\***

7am

**Type of Event\***

Other

**If Other, please indicate event category\***

Workout event and run

**Facility or Location\***

Northwest Recreation Complex

**Additional event details\***

This is a workout event where participants will complete a series of exercises at the event site in addition to running two (2) 1 mile runs.

## Event Applicant

A completed Special Event Permit application is required for all events with the City of Apopka. All events will be reviewed by our Development Review Committee for approval. The City of Apopka has the exclusive right to permit or deny an individual or organization facility use.

Once we have the complete special event application we will schedule for review and approval. Please note this may take time, as we suggest that all applications submitted at least 60 days prior to the event. Incomplete applications will not be reviewed.

**Organization Name\***

The Oak

**Organization Address\***

1070 Montgomery Rd #2286 Altamonte Springs, FL, 32714

**Event Contact Person\***

Andrew Reyes

**Contact Person's Email\***

info@theoakcommunity.com

**Contact Person's Phone\***

321-441-5943

**Is your organization a Non-Profit (501 c3) or Tax Exempt Organization?\***



No

### Dates & Times

**Event Start Date\***

05/23/2026

**Event End Date\***

05/23/2026

**Is your event multiple days?\***

No

**Event Time\***

7am

**Load in date**

05/23/2026

**Load in Time ?**

6am

**Load out Date**

05/23/2026

**Load out time\* ?**

10am

**Expected Attendance\***


30

## Event Details

Does your event include food concession? Please list the food concessionaire\*

Will there be food trucks?\*

No

Will you be bringing in portable toilets? 

—

Event Cleanup Plan: Your response should include: Number of staff assigned for cleanup, confirmation that trash bags and cleaning supplies will be provided, types and quantities of equipment to be used (dumpsters, trash receptacles, etc.) and where they will be placed.

Event Cleanup Plan: Please describe your event cleanup plan, including how cleanup will be managed during and after the event. Include the name of the company.

The volunteers of the event will assist with clean up during and after the event. We will need 4 trash cans. We will supply the trash bags.

Does your event require the use of tents?

Yes

Please indicate the size of tents (10x20 or large require additional permits)

10x10

Will you be serving alcohol at your event?\*

No

Does your event require a road closure?\*

No

Will you be hiring private security?\*

No

# Acknowledgements

**INDEMNIFICATION AND HOLD HARMLESS AGREEMENT** I agree to waive, release, indemnify and hold harmless the City of Apopka its officers, agents, employees or any other person for any claim, demand, liability, costs, suits, charges or compensation for loss or injury of any kind arising out of a loss or bodily injury, including death at any time resulting therefrom, sustained by any person or persons, or on account of damage to property arising out of or in consequence of this agreement, in whole or in part, whether such injuries to persons or damage to property are due or claim to be due to any passive negligence of, or arising from, the negligence of the City of Apopka, its employees or agents, or any other person, including attorneys' fees, by reason of the liability imposed by law upon the City of Apopka except in case of the City of Apopka's sole negligence, for damage because of bodily injury, including death at any time resulting therefrom, sustained by any person or persons, or on account of damage to property arising out of or in consequence of this agreement, in whole or in part, whether such injuries to persons or damage to property are due or claim to be due to any passive negligence of its employees or agents or any other person. It is further understood and agreed that Renter shall, at the option of the City of Apopka, defend the City of Apopka with appropriate counsel and shall further bear all costs and expenses, including the expense of counsel, in the defense of any suit arising hereunder. This Waiver, Release and Hold Harmless/Indemnification Agreement is in consideration of the City of Apopka permitting the Renter to utilize property and/or facilities owned by the City of Apopka

**INDEMNIFICATION AND HOLD HARMLESS AGREEMENT** Renter/Applicant/Event Organizer/Organization agrees to waive, release and agrees to indemnify and hold harmless the City of Apopka its officers, agents, employees or any other person for any claim, demand, liability, costs, suits, charges or compensation for loss or injury of any kind arising out of a loss or bodily injury, including death at any time resulting therefrom, sustained by any person or persons, or on account of damage to property arising out of or in consequence of this agreement, in whole or in part, whether such injuries to persons or damage to property are due or claim to be due to any passive negligence of, or arising from, the negligence of the City of Apopka, its employees or agents, or any other person, including attorneys' fees, by reason of the liability imposed by law upon the City of Apopka except in case of the City of Apopka's sole negligence, for damage because of bodily injury, including death at any time resulting therefrom, sustained by any person or persons, or on account of damage to property arising out of or in consequence of this

The acknowledges below indicates receipt of the Policy and Procedures for events that has been attached at the end of this document. \*



agreement, in whole or in part, whether such injuries to persons or damage to property are due or claim to be due to any passive negligence of its employees or agents or any other person. It is further understood and agreed that Renter/Applicant/Event Organizer/Organization shall, at the option of the City of Apopka, defend the City of Apopka with appropriate counsel and shall further bear all costs and expenses, including the expense of counsel, in the defense of any suit arising hereunder. This Waiver, Release and Hold Harmless/Indemnification Agreement is in consideration of the City of Apopka permitting the Renter/Applicant/Event Organizer/Organization to utilize property and/or facilities owned by the City of Apopka. Nothing herein shall be construed to extend the City of Apopka's liability beyond that provided in section 768.28, Florida Statutes. This agreement shall be governed by the laws of the State of Florida, and venue shall lie exclusively in Orange County, Florida.\*



Applicant covenants and agrees that it will indemnify and hold harmless the City and all of the City's officer's, agents, and employees from claim, loss, damage, costs, charge or expense arising out of any act, action, neglect or omission by applicant during the performance of the event, whether direct, or indirect, and whether to any person or property to which the City of said parties may be subject.\*




The acknowledgement below indicates receipt of the Policy and Procedures for events that has been attached at the end of this document. \*



Curfew Policy Acknowledgment: I understand and agree that events must end by 8:00 PM (Sun–Thu) and 10:00 PM (Fri–Sat), and that exceeding curfew may result in deposit forfeiture and/or fees (\$500 for 5–30 minutes over, \$500+ for 30+ minutes over).\*



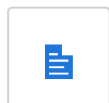
Applicant Signature\*

 Andrew J. Reyes  
Apr 14, 2026

Date\*

04/14/2026

## Attachments



**Insurance Requirements**

COI2026\_City of Apopka.pdf

Uploaded by Andrew Reyes on Apr 14, 2026 at 2:34 PM

**REQUIRED**



**Site Plan Map**

Event Layout\_Murph.png

Uploaded by Andrew Reyes on Apr 14, 2026 at 2:35 PM

**REQUIRED**



**Business Tax Receipt & Sunbiz Status**

Apopka BTR\_25-26.pdf

Uploaded by Andrew Reyes on Apr 14, 2026 at 2:35 PM

**REQUIRED**



DRC: 4.29.26

## Special Event Permit Application

Welcome! A completed Special Event Permit application is required for all events with the City of Apopka. All events will be reviewed by our Development Review Committee for approval. The City of Apopka has the exclusive right to permit or deny an individual or organization facility use.

**Note:** Special event permit applications must be submitted at least 60 days before the event.

Incomplete applications will not be reviewed and will be denied. After approval, an estimation of fees forms for your event based on the application and the approval is applicable.

Contact Events:  
[events@apopka.net](mailto:events@apopka.net)  
 407-703-1812

You must submit all required documents with your application.

## Special Event Permit Application Checklist

Remember, we suggest that all applications submitted at least 60 to 90 days prior to the event.

Please review this checklist and make sure you have the items requested below available during this application process.

- Completed Special Event Permit Application
- Event Description
- A non-refundable application fee of \$50.00.
- A certificate of general liability insurance listing the "City of Apopka" as 'Additional Insured' must be submitted. Copy of the declaration sheet and endorsement page must be included. Additional insurance may be required, please see the event insurance requirements.
- A site plan (Map) or Parade/Race Route **MUST** be submitted with your application. Map must identify location of staging, tents, parking, barricades, vendors, and restrooms and must be to scale.
- Letter from the property owner granting permission for use of their property. (if on private property)
- If alcohol will be served at your event you must include the alcohol permit and insurance with the completed permit
- Copies of flyers and advertisements.
- Policies and protocols in regards to CDC Guidelines/COVID-19 & social distancing
- All renters and vendors must have a listing with the Florida Department of State Division of Corporations. Visit [www.sunbiz.org](http://www.sunbiz.org) for more information about the process of registering a business.
- All businesses must also must submit a copy of your Business Tax Receipt for the municipality/county that your business/organization is registered in.

Applicant must be present for duration of event.

Organization Name	Apopka / Altamonte Springs Veterans of Foreign Wars Post 10147
Name of Applicant	MICHAEL T MCFADDEN
Mailing Address	1910 Orchard Dr. Apopka, FL 32712
City	Apopka
State	FL-USA
Zip Code	32712
Cell Phone	4073107946
Email	mtmcfaddenfla@yahoo.com
Is your organization a Non – Profit (501C3) OR Tax Exempt Organization?	Yes
State of Florida Tax ID Number	85-8013734909C-1

A copy of your 501C3 non-profit certificate is required for non-profit status. Otherwise taxes will be charged.

Please attach a copy of your 501C3 non-profit certificate

 Post 10147 501C 19 Letters good for five years.pdf

Please attach a copy of your Business Tax Receipt for the municipality/county that your business/organization is registered in.

 Business Tax Information 2025.pdf

 VFW Congressional Charter.pdf

Name of the Event Tribute to Billy Joel Dinner and Show

Date(s) of the Event 16 May 2026

Hours of the Event 1700-2100

Location of the Event Apopka Community Center / VFW Post 10147

Does the location of the event take place on Public or Private Property?

Yes

Anticipated attendance: 250

Briefly describe the event and all activities that will occur during the event: Dinner, live music and dancing,

Event Category • Other

Please specify Fundraiser

Are there flyers or advertisements for this event?

Yes

Attach Flyer or Advertisement 1



Will there be admission fees to your event?

Yes

Will you be serving alcohol?

Yes

Copy of your liquor license & insurance

 2025-2026 Liquor License.pdf

 United States Liability Insurance Group Liquor Liability BINDER.pdf


If yes for serving alcohol, a copy of your liquor license & insurance is required.

City Council approval is also required.

Is your event open to the public?	Yes
Does your event include food concession?	No
Do you intend to have food trucks at your event?	No
Will there be merchandising vending at your event?	No
Will they need electric?	No
Will you be hiring a private security company for the event?	No
Do you require overnight security?	No
Are there musical entertainment features related to your event?	Yes

Please attach a list of all stage performance schedules.

Please attach a list of all stage performance schedules.

 Bily Joel DS Schedule.pdf

Will amplified sound be used during the event?	Yes
Will any streets be closed or will the flow of traffic be affected by the event?	No
Does your event include the use of tents?	No
Will inflatables be used at your event?	No
Will your event include any fireworks or pyrotechnics?	No

Layout map for event

 Blank Seating Chart.pdf

Date/Time (on site load in and load out)

For events that are held on City Property, set up days and load out days may require additional fees.

Setup/Load In

Date	05/16/2026
Start Time	2:00 PM (EDT)
End Time	4:00 PM (EDT)

Event Dates

Date	05/16/2026
Start Time	5:00 PM (EDT)
End Time	9:00 PM (EDT)

Take Down/Load Out

Date	05/16/2026
Start Time	9:00 PM (EDT)
End Time	11:00 PM (EDT)

I, Being the Applicant/Event Organizer, have read and understand the guidelines contained within the City of Apopka's Special Event Permit Application and agree to conduct my event in accordance. I further understand that failure to abide by these guidelines may result in the denial or forfeiture of my Special Event Permit.

The City of Apopka is not responsible for lost, stolen or damaged items.

I acknowledge that the information contained in this application is true, correct, and complete to the best of my knowledge.

Applicant Signature

Name of Applicant	Mike McFadden
Title of Applicant	Events Chairman - VFW Post 10147
Date Submitted	04/16/2026

The Applicant/Event Organizer shall maintain at all times throughout the duration of the event, a current insurance policy naming the City of Apopka as an additional insured providing coverage for all approved event activities and must be active on the date(s) of the event, including the set-up and break-down period. Failure to provide proof of adequate coverage will result in the denial of the special event permit or cancellation of the event. The City may require subcontractors acting on behalf of the Applicant/Event Organizer to provide proof of insurance or other related documents depending on the scope or location of the event.

- Comprehensive listing of all subcontractors, including but not limited to concessionaires, vendors, exhibitors, and entertainers must be submitted no later than forty-five (45) business days prior to the event.
- All certificates of insurance, required extensions to said insurance certificates, copies of insurance policies and insurance agreements must be submitted no later than thirty (30) business days prior to the event.

If insurance requirements are not met at least twenty (20) business days prior to the date of the event, your event will be cancelled!

Please provide a copy of your certificate of insurance.

25-26 CERT - City of Apopka Attn Building Department Rev 102825.pdf

108022869\_United States Liability Insurance Group Liquor Liability Policy- LQ 2004421D-stampe

The City of Apopka defines an Applicant/Event Organizer as any individual or organization that is responsible for all aspects of an event to include advertising, marketing, talent costs, insurance, hold harmless agreement contracts, along with all the revenues and expenses for the event. The Applicant/Event Organizer agrees to conduct this event in accordance with the City of Apopka Code of Ordinances (Chapters 46 and 62).

REQUIREMENTS

- Applicant/Event Organizer recognizes the City's authority to halt the operation of the above listed event due to inclement weather or any other safety concern that may arise.
- The City is not responsible or liable for any damage, loss or theft to any vendor or event participant.

- Applicant/Event Organizer agrees that the City may use photographic images and video taken at the event in promotions and publications. These images may be used online or provided to media outlets and/or used in social media applications.

**INSURANCE**

Before activity setup, or any other site activity begins, Applicant/Event Organizer must have a Certificate of Liability Insurance (including all extensions to the insurance certificate—to also include a copy of the complete insurance policy) on file with the City's Risk Management Division. The cost of such insurance shall be the responsibility of the Applicant/Event Organizer and must meet ALL requirements as directed by the City of Apopka. The City reserves the right to increase coverage as determined for higher risk events or activities. This insurance policy must remain in effect throughout the entire duration of the property use beginning with load-in and ending at the conclusion of load-out.

- Applicant/Event Organizer shall, at its sole cost and expense, procure and maintain throughout the term of this agreement, Commercial General Liability and Workers' Compensation insurance, including Employer Liability insurance, with minimum policy limits of \$1,000,000 Combined Single Limits, or to the extent and in such amounts, as required and authorized by Florida Law. If such GL insurance contains a general aggregate limit, it shall apply separately to this event in the amount of \$2,000,000. Products and completed operations aggregate shall be \$1,000,000. Damage to rented premises shall be included at \$100,000. The event Applicant/Event Organizer and their representatives who wish to drive on City property to set up or tear down for events, and/or Food Trucks and/or any vehicle that functions as the workplace or is used to perform contracted work must provide an Automobile Liability insurance policy in the minimum amount of \$300,000 Combined Single Limit. If alcohol is being served, the Applicant/Event Organizer shall provide evidence of coverage for liquor liability in the minimum amount of \$1,000,000. The insurance policy must not exclude Personal Injury/Advertising Injury, Medical, volunteer coverage or spectator liability.
- All insurance policies shall: 1) provide that the insurance carrier shall not cancel, terminate or otherwise modify the terms and conditions of said policies except upon thirty days written notice to the City's contract administrator; 2) be evidenced by an endorsed Certificate of Insurance generated and executed by a licensed insurance broker, brokerage, or similar licensed insurance professional evidencing such coverage, and naming the City of Apopka as a named additional insured, as well as furnishing the City with a certified copy, or copies, of said insurance policies; and 3) be approved as to form and sufficiency by the City's contract administrator. The original insurance certificate(s) and all extensions to the insurance certificate(s) should be sent to: City of Apopka, Risk Management, 120 East Main Street, Apopka, FL 32703 or e-mailed to riskmanagement@apopka.net. All insurance coverage shall be written with a company having an A.M. Best Rating of at least the "A" category and size category of VIII.
- Applicant/Event Organizer is solely responsible for all applicable policy premiums, deductibles, and/or self-insured retention attached to any required coverages. Said insurance coverages procured by the Applicant/Event Organizer as required herein, including but not limited to any excess and/or umbrella coverages, shall be considered, and the Applicant/Event Organizer agrees that said insurance coverages it procures as required herein shall be considered, as primary insurance over and above any other insurance, or self-insurance, available to the City, and that any other insurance, or self-insurance available to the City shall be considered secondary to, or in excess of, the insurance coverage(s) procured by the Applicant/Event Organizer as required herein.
- Applicant/Event Organizer shall require and verify that all subcontractors, including but not limited to concessionaires, vendors, exhibitors, and entertainers, maintain insurance meeting all of the requirements stated herein. Furthermore, the insurance policy held by the Applicant/Event Organizer shall have no endorsement(s) restricting, limiting or excluding the subcontractors or work on behalf of the Applicant/Event Organizer by a subcontractor. The Certificate of Insurance submitted by the Applicant/Event Organizer must clearly state that all such subcontractors are "Named Insureds".

Nothing herein shall be construed to extend the City of Apopka's liability beyond that provided in section 768.28, Florida Statutes.

By signing below, I acknowledge that I have read and understand the insurance requirements contained herein. I further understand that my permit application may be declined if I fail to provide the appropriate insurance coverage.

Signature of Applicant



Name of Applicant

Mike McFadden

Title of Applicant

Events Chairman - VFW Post 10147

Sponsoring Organization Name

Apopka / Altamonte Springs Veterans of Foreign Wars Post 10147



This endorsement modifies insurance provided under the following:

**LIQUOR LIABILITY COVERAGE FORM**

**ADDITIONAL INSURED - MANAGER OR LESSORS OF PREMISES**

**SCHEDULE\***

**Name of Person or Organization (Additional Insured):**

Effective Date: 06/01/2023

CITY OF APOPKA

120 E MAIN ST

APOPKA, FL 32703

**Designated Premises (Part Leased To You):**

519 S. CENTRAL AVE

APOPKA, FL 32703

Additional Premium: \_\_\_\_\_

(\*If no entry appears above, information required to complete this endorsement will be shown in the Declarations as applicable to this endorsement.)

WHO IS AN INSURED (Section II) is amended to include as an insured the person or organization shown in the SCHEDULE but only with respect to liability arising out of the ownership, maintenance or use of that part of the premises leased to you and shown in the Schedule and subject to the following additional exclusions:

This insurance does not apply to:

1. Any "occurrence" which takes place after you cease to be a tenant in that premises.
2. Structural alterations, new construction or demolition operations performed by or on behalf of the person or organization shown in the Schedule.

All other terms and conditions of this Policy remain unchanged. This endorsement is a part of your Policy and takes effect on the effective date of your Policy unless another effective date is shown.



## Alcohol Dispensing Agreement

All documents (Alcohol Dispensing Agreement, Indemnity and Hold Harmless Agreement, Certificate of Insurance and Temporary Alcohol License/Alcohol License) must be received a minimum of 30 business days prior to the event. All documents must be issued in the name of the organization dispensing the product .

### Organization (Responsible for dispensing alcohol.)

Name of Organization: Apopka/Altamonte Springs VFW Post 10147

Primary Contact/Organization Leader Name: Michael McFadden

Contact Phone Number: 407-310-7946 E-Mail Address: vfwpost10147.events@gmail.com

Organization Mailing Address: 519 S. Central Ave Apopka FL 32703

STREET/PO BOX CITY STATE ZIP

### Event Information

Name of Event: Tribute to Billy Joel Dinner & Show

Venue Name: Apopka Community Center

Venue Address: 519 S. Central Ave Apopka FL 32703

STREET/PO BOX CITY STATE ZIP

Please indicate the days and times your organization will be dispensing alcohol.

- Date: 16 May 2026 AM \_\_\_\_\_ Mid-Day 5-9 PM
- Date: \_\_\_\_\_ AM \_\_\_\_\_ Mid-Day \_\_\_\_\_ PM
- Date: \_\_\_\_\_ AM \_\_\_\_\_ Mid-Day \_\_\_\_\_ PM

561.422 Nonprofit civic organizations, charitable organizations, municipalities, and counties; temporary permits. (Please review)

Department of Business and Professional Regulation Alcohol License/Permit Number: BEV5813268

*This license/permit must be issued in the name of the organization dispensing the product .*

### Rules and Regulations

Your organization is responsible for abiding by all local, State and Federal regulations, including those outlined by the Florida Division of Alcoholic Beverages and Tobacco, including the rules and regulations detailed below.

- Persons who serve or sell alcoholic beverages shall be at least twenty-one (21) years of age. The consumption of alcohol in or around the booth until their shift is completed is prohibited.
- ~~Your organization will be required to visually identify persons who can legally purchase alcoholic beverages with an observable, distinctive wristband.~~
- No person under the age of 21 years is served.
- No person is served who appears to be intoxicated.
- Alcohol is consumed only within the event area and may not be carried out of the event area.
- ~~No more than one (1) alcoholic beverage may be sold per customer, per sale.~~
- ~~Alcohol is served in clear flexible (soft) plastic cups only.~~
- Beer or wine will only be poured upon order and will not be stacked waiting for orders.
- Commencement of alcohol service/sales shall not begin prior to start time of the event.
- Police may close alcohol sales at any time if they determine that controls are not being adhered to or in the interest of public safety.
- Upon demand of any peace officer, licensee shall immediately surrender the license and cease all sales of alcoholic beverages.
- Supervision of the distribution, sales and operation of alcoholic beverage concession area(s) shall at all times be under the control of the licensed organization. No other person or entity shall have authority to sell, pour, or distribute alcoholic beverages.

**Agreement**

THIS AGREEMENT made and entered into this 16 day of April, 2026, by and between, Apopka/Altamonte Springs VFW Post 10147, hereinafter referred to as Organization and the CITY OF APOPKA, FLORIDA, hereinafter referred to as the City.

Organization has entered an agreement with the City to serve alcohol at the aforementioned named event. Organization agrees to comply with all local ordinances and codes, application state and federal statutes and regulations, including those set forth by the Florida Department of Business and Professional Regulation - Division of Alcoholic Beverages and Tobacco. This agreement will remain in effect throughout the duration of the event, to also include the set-up and break-down period.

**Requirements**

A. Organization shall, at its sole cost and expense, procure and maintain throughout the term of this agreement, Commercial General Liability and Workers' Compensation insurance, including Employer Liability insurance, with minimum policy limits of \$1,000,000 Combined Single Limits, or to the extent and in such amounts as required and authorized by Florida Law. If such GL insurance contains a general aggregate limit, it shall apply separately to this event in the amount of \$2,000,000. Products and completed operations aggregate shall be \$1,000,000. Damage to rented premises shall be included at \$100,000. Food Trucks and/or any vehicle that functions as the workplace, must provide an Automobile Liability insurance policy in the minimum amount of \$300,000 Combined Single Limit. Organization shall also provide evidence of coverage for liquor liability in the minimum amount of \$1,000,000. The insurance policy must not exclude Personal Injury/Advertising Injury, Medical, or volunteer coverage.

All insurance policies shall: 1) provide that the insurance carrier shall not cancel, terminate or otherwise modify the terms and conditions of said policies except upon thirty days written notice to the City's contract administrator; 2) be evidenced by an endorsed Certificate of Insurance generated and executed by a licensed insurance broker, brokerage, or similar licensed insurance professional evidencing such coverage, and naming the City of Apopka as a named additional insured, as well as furnishing the City with a certified copy, or copies, of said insurance policies; and 3) be approved as to form and sufficiency by the City's contract administrator. The original insurance certificates, all extensions to the insurance certificate, and declaration sheet should be sent to City of Apopka, Human Resources/Risk Management, 120 East Main Street, Apopka, FL 32703 or e-mailed to riskmanagement@apopka.net. All insurance coverage shall be written with a company having an A.M. Best Rating of at least the "A" category and size category of VIII.

Said insurance coverage's procured by Organization as required herein, including but not limited to any excess and/or umbrella coverages, shall be considered, and Organization agrees that said insurance coverage's it procures as required herein shall be considered, as primary insurance over and above any other insurance, or self-insurance, available to the City, and that any other insurance, or self-insurance available to the City shall be considered secondary to, or in excess of, the insurance coverage(s) procured by the Organization as required herein.

Nothing herein shall be construed to extend the City of Apopka's liability beyond that provided in section 768.28, Florida Statutes.

- B. Organization recognizes the City's authority to cancel the aforementioned event due to inclement weather or any other safety concern that may arise and agrees to fully cooperate with personnel from the City, County and local health departments.
- C. The City is not responsible or liable for any damage, loss or theft the Organization may sustain.
- D. Organization agrees that the City may use photographic images and video taken at the aforementioned event in promotions and publications. These images may be used online or provided to media outlets and/or used in social media applications.

*Loretta Forlaw*

Signature of Organizer

**Loretta Forlaw**

Printed Name of Organizer

**Commander**

Title of Organizer

**Apopka/Altamonte Springs VFW Post 10147**

Organization Name

**Indemnification and Hold Harmless Agreement**

Organization shall defend, indemnify and hold harmless the City of Apopka and all of City's officers, agents, and employees from and against all claims, liability, loss and expense, including reasonable costs, collection expenses, attorneys' fees, and court costs which may arise because of the negligence (whether active or passive), misconduct, or other fault, in whole or in part (whether joint, concurrent, or contributing), of the Organization, its officers, agents or employees in performance or non-performance of its obligations under the Agreement, including, but not limited to automobile negligence, foodborne illness negligence, or other claims and/or suits. Organization recognizes the broad nature of this indemnification and hold harmless clause, as well as the provision of a legal defense to the City when necessary, and voluntarily makes this covenant and expressly acknowledges the receipt of such good and valuable consideration provided by the City in support of these indemnification, legal defense and hold harmless contractual obligations in accordance with the laws of the State of Florida. This clause shall survive the termination of this Agreement. Compliance with any Insurance requirements required elsewhere within this Agreement shall not relieve the Organization of its liability and obligation to defend, hold harmless and indemnify the City as set forth in this article of the Agreement.

Nothing herein shall be construed to extend the City of Apopka's liability beyond that provided in section 768.28, Florida Statutes.

I attest that I am a representative of the organization named above and have been authorized to sign on its behalf.

Loretta Forlaw  
Signature of Organizer

Loretta Forlaw  
Printed Name of Organizer

Commander  
Title of Organizer

Apopka/Altamonte Springs VFW Post 10147  
Organization Name

STATE OF FLORIDA

County of ORANGE

The foregoing instrument was acknowledged before me this 18 day of APRIL, 2026, by LORETTA FORLAW and who is personally known to me or who has produced \_\_\_\_\_ as identification and who did (did not) take an oath.



Notary Public: ROBERT POPP  
Commission No. MH 687868  
Commission Expires: 6/15/29

Ron DeSantis, Governor



Melanie S. Griffin, Secretary



**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**DIV OF ALCOHOLIC BEVERAGES & TOBACCO**

THE RETAILER OF ALCOHOLIC BEVERAGES HEREIN IS LICENSED UNDER THE  
PROVISIONS OF CHAPTER 561, FLORIDA STATUTES

SERIES: 11C

CONSUMPTION ON PREMISES ONLY

**APOPKA/ALTAMONTE SPRINGS VFW OF THE OF THE US POST**

VFW POST 10147  
519 S CENTRAL AVE  
APOPKA FL 32703

**LICENSE NUMBER: BEV5813268**

**EXPIRATION DATE: SEPTEMBER 30, 2026**

Always verify licenses online at [MyFloridaLicense.com](http://MyFloridaLicense.com)



ISSUED: 09/13/2025

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

# Schedule

THE ULTIMATE BILLY JOEL TRIBUTE | May 16, 5:00 PM – 9:00 PM VFW Post 10147 / Apopka Community Center, 519 S Central Ave, Apopka, FL 32703, USA

[Go Back](#)

## Sat, May 16

---

5:00 PM - 6:00 PM      Doors Open

---

6:00 PM - 7:00 PM      Dinner

---

7:00 PM - 9:00 PM      Music and Dancing

June 24, 2024

To Whom It May Concern:

Apopka/Altamonte Spring Post, VFW Post 10147, Apopka, Florida is an active post in good standing with the Veterans of Foreign Wars.

Post 10147 is under the Department of Florida, Veterans of Foreign Wars 501c (19) group exemption. Tax identification number is 59-2917986.

**This letter is good for five years from this date.**

If you need any further information, please do not hesitate to call the office.

Respectfully,



Eugene “Gene” Perrino Sr.  
State Quartermaster

EP:rb

---

**VFW DEPARTMENT OF FLORIDA**

543 N.E. Sanchez Ave. Office 352.622.5126  
Ocala, FL 34470 Fax 352.622.3869

statecg@vfwfl.org  
<http://vfwfl.org>

June 24, 2024

To Whom It May Concern:

This will certify the Apopka/Altamonte Springs Post, VFW Post 10147 located at 519 So. Central Avenue, Apopka, FL 32703, with a date of muster being April 2, 1988 chartered and a constituted body of the Veterans of Foreign Wars of the United States, a corporation chartered by Congress in 1936 for fraternal, patriotic, historical and educational purposes, and that the programs, purposes and activities of VFW Post 10147 are consistent with the exemption provisions under Section 501c (19) of the Internal Revenue Service Code.

**\*This Letter is good for five years to the date above.**

Sincerely,



Eugene "Gene" Perrino Sr.  
State Quartermaster

EP:rb

**VFW DEPARTMENT OF FLORIDA**

543 N.E. Sanchez Ave. Office 352.622.5126  
Ocala, FL 34470 Fax 352.622.3869

statecg@vfwfl.org  
<http://vfwfl.org>

## CONGRESSIONAL CHARTER

### VETERANS OF FOREIGN WARS OF THE UNITED STATES

Incorporated May 28, 1936 (Public—No. 630—74<sup>th</sup> Congress) (H. R. 11454)  
(Chapter 471, Sections 1 to 10, 49 Stat. 1390, 1391)  
(Title 36, U.S.C. Chapter 7A, Sections 111 to 120)  
(Amended 83rd Congress, May 29, 1953; 104th Congress, March 7, 1995; 107th  
Congress October 16, 2002; 109th Congress January 2, 2006)

The Charter was amended December 4, 2014 by the 113th Congress, Title 36 United States Code, Chapter 2301, Sections 230101 and 230102 as follows:

#### Sec. 230101 - Organization.

- (a) **Federal Charter.** Veterans of Foreign Wars of the United States (in this chapter, the "corporation"), a national association of veterans who as soldiers, sailors, marines, and airmen served this Nation in wars, campaigns, and expeditions on foreign soil or in hostile waters, is a federally chartered corporation.
- (b) **Perpetual Existence.** Except as otherwise provided, the corporation has perpetual existence.

#### Sec. 230102 - Purposes.

The purposes of the corporation are fraternal, patriotic, historical, charitable, and educational, and are:

1. to preserve and strengthen comradeship among its members;
2. to assist worthy comrades;
3. to perpetuate the memory and history of our dead, and to assist their surviving spouses and orphans;
4. to maintain true allegiance to the Government of the United States, and fidelity to its Constitution and laws;
5. to foster true patriotism;
6. to maintain and extend the institutions of American freedom; and
7. to preserve and defend the United States from all enemies.

#### Sec. 230103 - Membership.

An individual is eligible for membership in the corporation only if the individual served honorably as a member of the Armed Forces of the United States-

1. in a foreign war, insurrection, or expedition in service that—
  - a. has been recognized as campaign-medal service; and
  - b. is governed by the authorization of the award of a campaign badge by the United States Government;
2. on the Korean peninsula or in territorial waters for at least 30 consecutive days, or a total of 60 days, after June 30, 1949; or
3. in an area which entitled the individual to receive special pay for duty subject to hostile fire or imminent danger under section 310 of title 37.

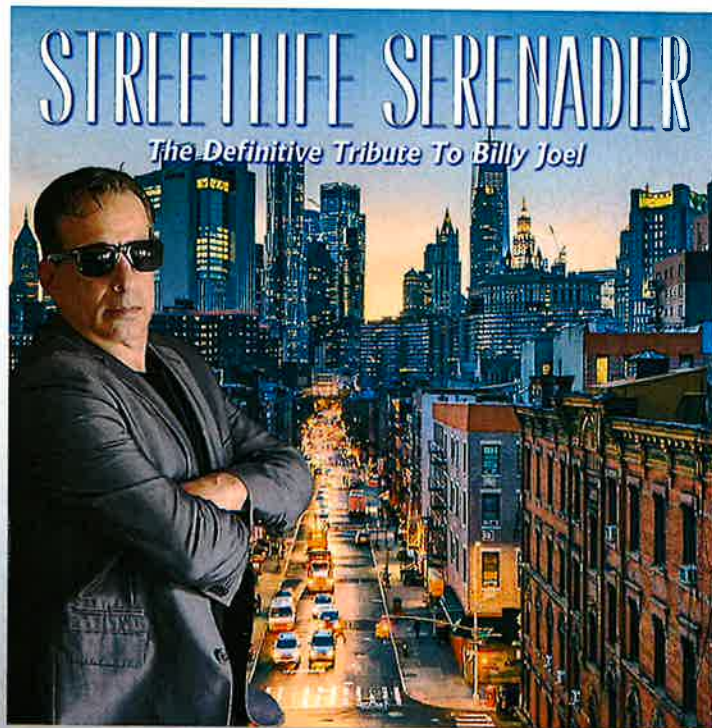
**VFW POST 10147 PRESENTS**

**THE ULTIMATE BILLY JOEL TRIBUTE**

**Dinner & Show**

**Saturday - 16 May 2026**

**FEATURING THE STREETLIFE SERENADER**

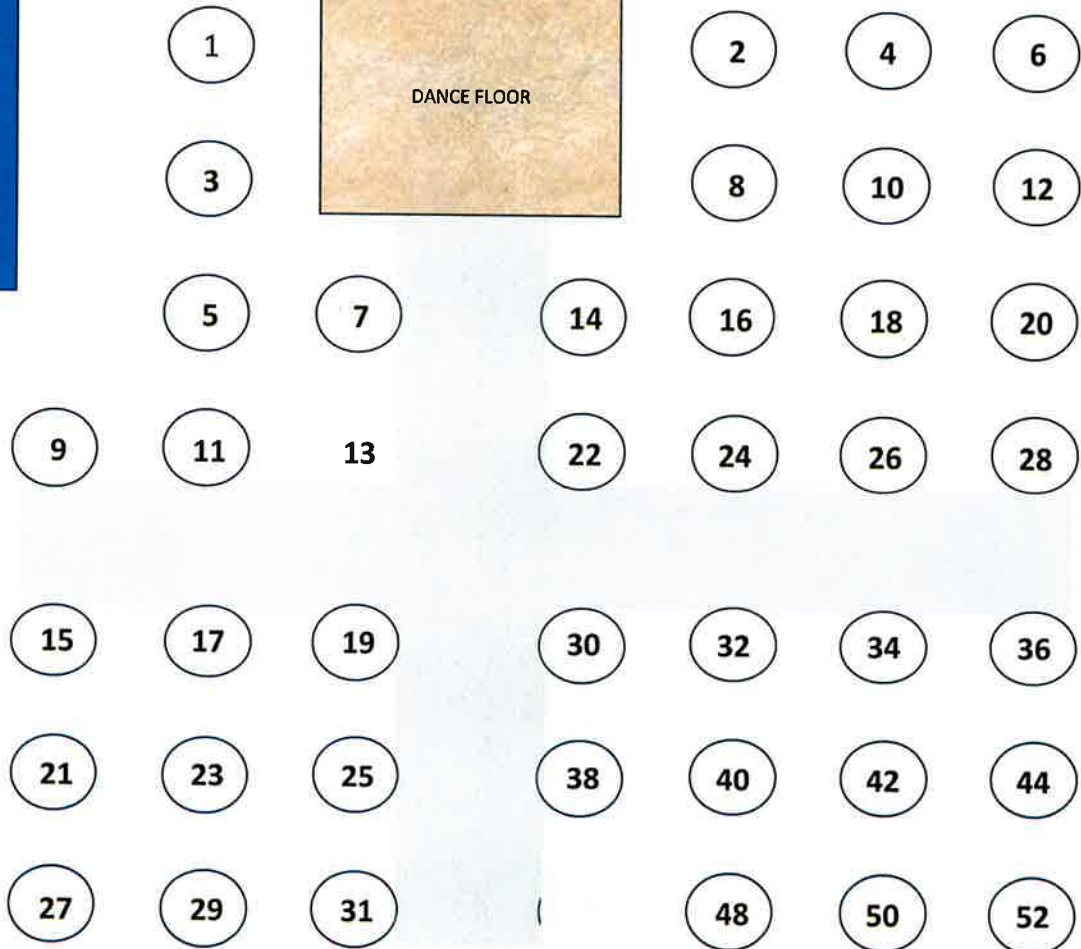


\$45 ONLINE AT  
**VFWPOST10147.ORG/DINNER**  
**-SHOWS**

DOORS OPEN AT 5 PM,  
DINNER AT 6 PM,  
SHOW AT 7 PM.



VFW POST 10147  
519 S CENTRAL AVE  
APOPKA, FL 32704





# MAJOR DEVELOPMENT PLAN FOR: MARRIOTT FAIRFIELD TOWNEPLACE SUITES

## NWC OF STATE ROAD 429 & CONNECTOR RD, APOPKA, FLORIDA 33712

PARCEL ID NUMBER 06-21-28-7172-16-030\*, 06-21-28-7172-16-040\*, 06-21-28-7172-16-042\*  
\*UPON FINAL PLAN APPROVAL, PARCEL ID IS SUBJECT TO CHANGE

NOT FOR CONSTRUCTION

# Bowman

Certificate of Authorization License No. 30462

Bowman Consulting Group Ltd  
4450 W Eau Gallie Blvd.  
Suite 144  
Melbourne, FL 32934  
Phone: (321) 255-5434  
www.bowman.com  
© 2024 Bowman Consulting Group Ltd

COVER SHEET  
MARRIOTT FAIRFIELD TOWNEPLACE SUITES  
NWC OF STATE ROAD 429 & CONNECTOR RD  
APOPKA, FLORIDA 33712  
CITY OF APOPKA  
ORANGE COUNTY

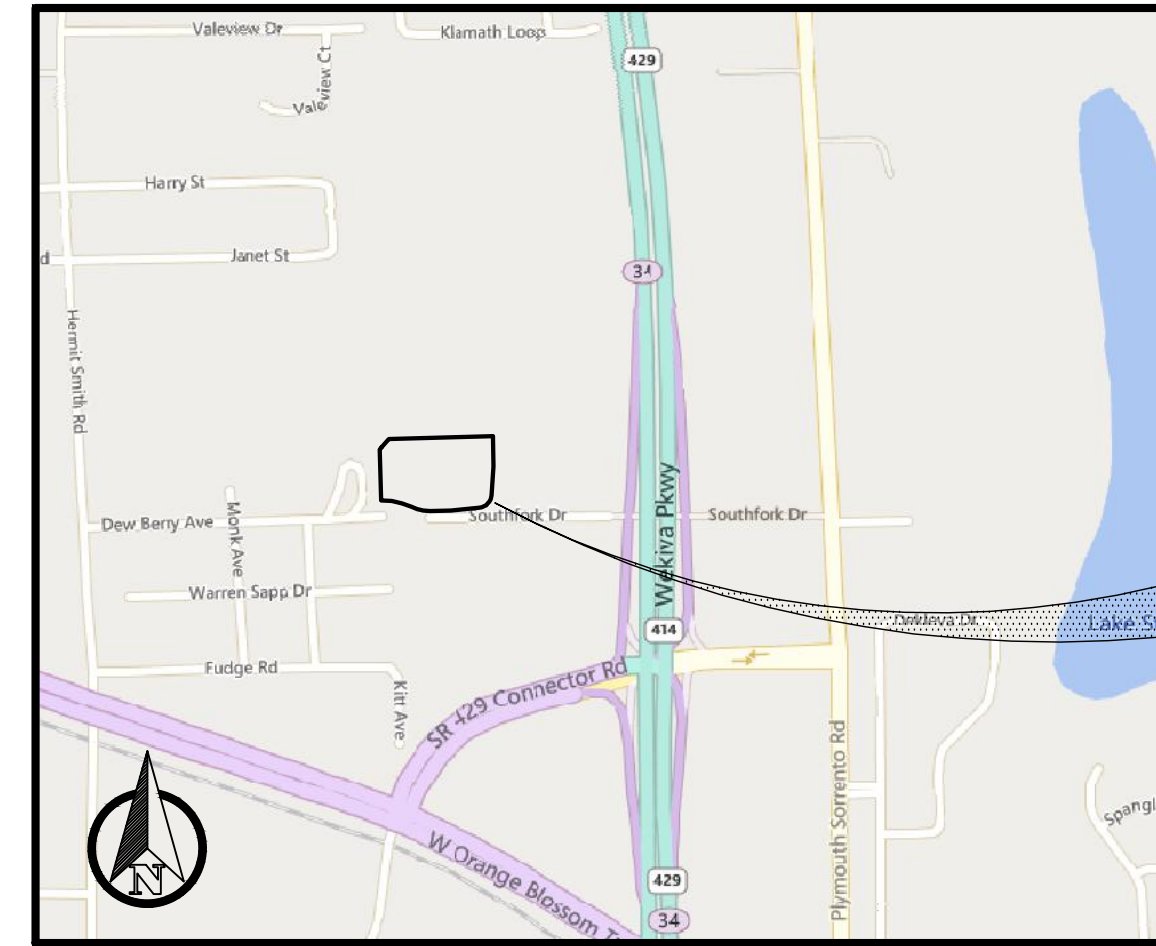
SECTION 36, TOWNSHIP 20 S, RANGE 27 E,  
SECTION 31, TOWNSHIP 20 S, RANGE 28 E

### GENERAL STATEMENT:

THIS PROJECT CONSISTS OF THE DEVELOPMENT OF ± 2.91 AC (128,700 SF) OF VACANT LAND. THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF A ± 77,081.73 SF; 4-STORY, 46 FEET 6 INCH TALL HOTEL ALONG WITH THE ASSOCIATED PARKING, LANDSCAPING, DRAINAGE AND UTILITIES.

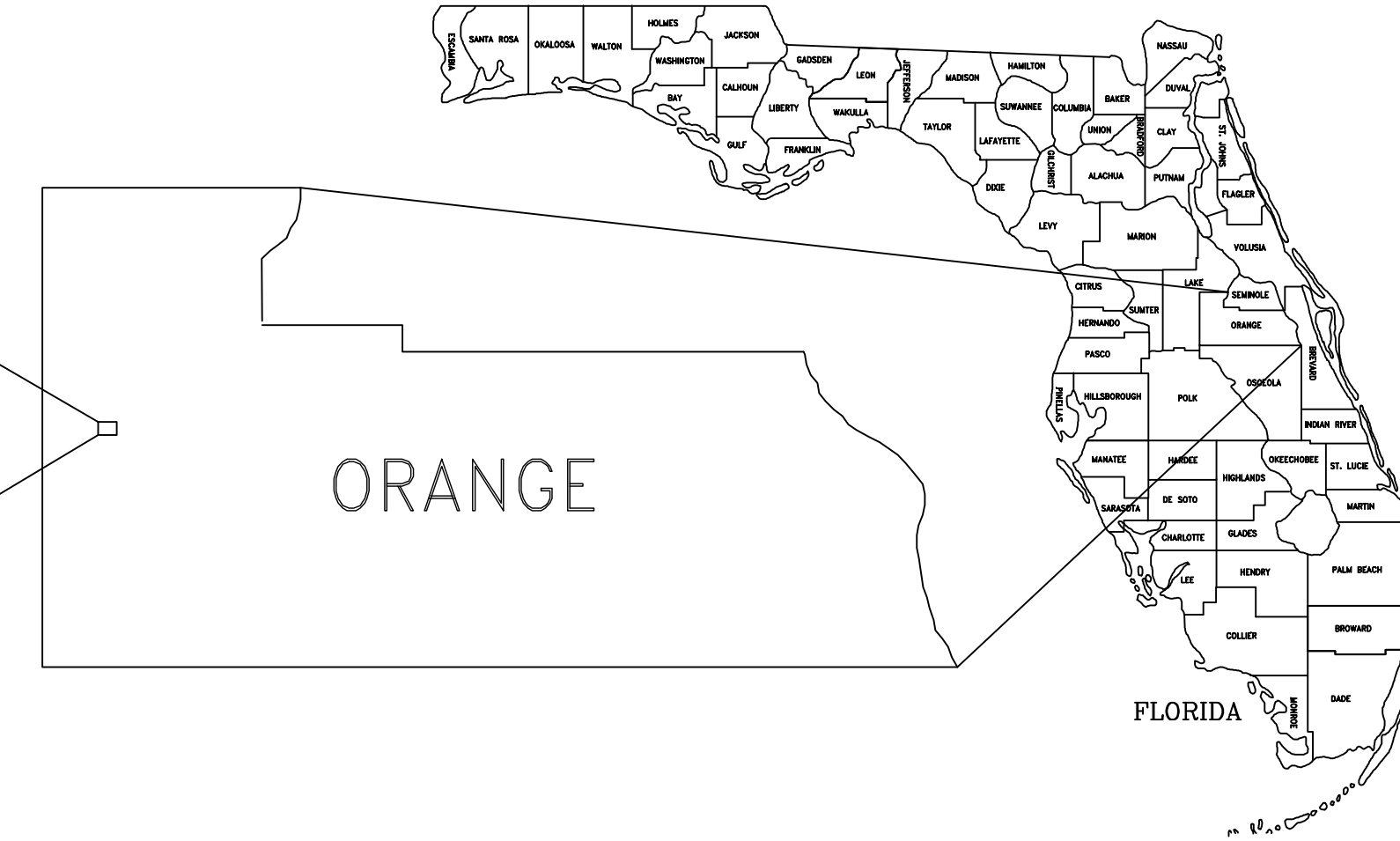
### UTILITY PROVIDERS:

- WATER, WASTEWATER, RECLAIM**  
CITY OF APOPKA  
748 EAST CLEVELAND STREET  
APOPKA, FL 32703  
PHONE: (407) 703-1713
- ELECTRIC**  
DUKE ENERGY  
452 EAST CROWN POINT ROAD  
WINTER GARDEN, FL 34787  
PHONE: (407) 905-3302  
FAX: (407) 905-3365
- GAS**  
LAKE APOPKA NATURAL GAS  
ANTONIO GIBSON  
1320 WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FL 34787  
PHONE: (407) 861-9231  
EMAIL: ANTONIO.GIBSON@LANDGO.ORG  
FAX: (407) 410-7024
- TELEPHONE**  
CENTURYLINK FLORIDA, INC.  
33 NORTH MAIN STREET  
WINTER GARDEN, FL 34787  
PHONE: (407) 814-5351  
FAX: (407) 814-5320
- CABLE TV**  
BRIGHT HOUSE NETWORKS  
65 SOUTH KELLER ROAD  
ORLANDO, FL 32810  
PHONE: (407) 215-5505  
FAX: (407) 215-5758



**SITE LOCATION MAP**

N.T.S.



### DIRECTIONS TO PROJECT SITE

FROM SR 429 N: HEAD NORTH ON STATE RTE 429 N, THEN HEAD WEST TOWARD SR 429 CONNECTOR RD, TURN RIGHT ONTO FLORIDIAN TOWN CENTER BLVD, AT THE TRAFFIC CIRCLE, TAKE THE 3RD EXIT ONTO SOUTHFORK RD, THE DESTINATION WILL BE ON THE RIGHT.

### OWNER / DEVELOPER

RICHARD DEMARCO  
FLORENCE HOTEL COMPANY, LLC.  
100 CHURCH ST. SW, SUITE 400  
HUNTSVILLE, AL 35801

### CIVIL ENGINEER

BOWMAN CONSULTING GROUP, LTD.  
ENGINEERING OF RECORD:  
KYLE A. SHASTEEN, P.E.  
4450 W. EAU GALLIE BLVD.  
SUITE 144  
MELBOURNE, FL 32934  
PHONE: (321) 255-5434

# Bowman

Sheet List Table	
Sheet Number	Sheet Title
C0	COVER SHEET
PD	MASTER PLAN
G1.0	GENERAL NOTES
G1.1	GENERAL NOTES
S1.0	AERIAL, SOILS & FLUCCS
C1.0	DEVELOPMENT PLAN
C1.1	PARKING PLAN
C2.0	PRELIMINARY PAVING, GRADING & UTILITY PLAN
C3.0	FIRE TRUCK MOVEMENT PLAN
C3.1	GARBAGE TRUCK MOVEMENT PLAN
D1.0	DETAILS - COVER
D1.2	DETAILS - LOBBY LEVEL FLOOR PLAN
D1.3	DETAILS - TYP. LEVEL FLOOR PLAN
D1.4	DETAILS - LEVEL 3 FLOOR PLAN
D1.5	DETAILS - LEVEL 4 FLOOR PLAN
D1.6	DETAILS - ROOF PLAN
D1.7	DETAILS - BUILDING ELEVATIONS
D1.8	DETAILS - BUILDING ELEVATIONS

### SURVEY NOTE:

THESE PRELIMINARY PLANS WERE PREPARED WITHOUT THE BENEFIT OF A SITE SPECIFIC BOUNDARY SURVEY. THE PROPERTY BOUNDARY IS BASED OFF OF ORANGE COUNTY PROPERTY APPRAISER GIS.

TOPOGRAPHY INFORMATION IS BASED OFF OF THE SURVEY BY DONALD W. MCINTOSH ASSOCIATES, INC. DATED 11/10/2020.

### FLOOD NOTE:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN ORANGE COUNTY, COMMUNITY NUMBER 120170, FIRM NO. 12095C0125H & 12095C0110H, EFF. 09-24-2021.

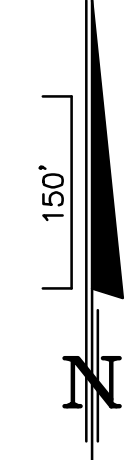


Know what's below.  
Call before you dig.

PLAN STATUS		
DATE	DESCRIPTION	
	JG	KAS
DESIGN	JG	CHKD
SCALE	AS SHOWN	
JOB No.	011589-01-001	
DATE	9/22/2025	
COVER SHEET		
SHEET No.	C0	

06-21-28-7172-16-030\* 06-21-28-7172-16-040\* 06-21-28-7172-16-042\* PRELIMINARY DEVELOPMENT PLAN FOR MARRIOTT FAIRFIELD TOWNEPLACE SUITES, NWC OF STATE ROAD 429 & CONNECTOR RD, APOPKA, FLORIDA 33712. THIS PLAN IS THE PROPERTY OF BOWMAN CONSULTING GROUP LTD. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP LTD.

DONALD W. MCINTOSH ASSOCIATES, INC. RESERVES THE EXCLUSIVE COPYRIGHT AND PROPERTY RIGHTS TO THIS DRAWING WHICH MAY NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER, NOR CAN IT BE ASSIGNED TO ANY PARTY WITHOUT DONALD W. MCINTOSH ASSOCIATES, INC.'S WRITTEN CONSENT.



NOT FOR CONSTRUCTION



1950 SUMMIT PARK DRIVE, SUITE 600  
ORLANDO, FL 32810 407.644.4068

Seals

DATE: \_\_\_\_\_

MAJOR DEVELOPMENT PLAN - PHASE 1  
FLORIDIAN TOWN CENTER  
(aka: 429 WEST)  
CITY OF APOPKA, FLORIDA

DOCUMENT CHANGES	
Description	Date
REVISED PARCEL 4 PHASE 1 DEVELOPMENT	4/30/24

Issue Description	
Issue Date	2/16/21
Project No	18161
Drawn	MAB / MAB
Designed	MAB / MAB
Checked By	JCN
Drawing Title	

MASTER PLAN

Sheet Number  
**PD**

- GENERAL NOTES:
- SEE SITE DATA, DEVELOPMENT NOTES, SPECIFICATIONS & LEGEND SHEETS FOR ADDITIONAL INFORMATION.
  - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

GENERAL REQUIREMENTS OF CONTRACTOR

1. CONTRACTOR SHALL MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CHANGES OF CONSTRUCTION FROM THAT SHOWN IN THESE PLANS AND SPECIFICATIONS FOR THE PURPOSE OF PROVIDING A BASIS FOR AS-BUILT DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER AND THE AGENCY(S) HAVING JURISDICTION. ALL WORK SHALL BE AS-BUILT BY A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR INCLUDING ALL FINISH FLOORS, SITE GRADING, WATER SYSTEM, SEWER SYSTEM, DRAINAGE SYSTEM, RECLAIMED WATER SYSTEM AND ALL OTHER FACILITIES ASSOCIATED WITH THE PROJECT.

UPON COMPLETION OF THE PROJECT, THE LICENSED SURVEYOR SHALL DELIVER SIGNED AND SEALED COPIES OF THIS AS-BUILT RECORD OF THE PROJECT TO THE ENGINEER.

WARNING: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.

2. CONTRACTOR SHALL PROMPTLY NOTIFY, BY TELEPHONE AND IN WRITING, THE ENGINEER AND THE AGENCY HAVING JURISDICTION UPON DISCOVERY OF, AND BEFORE DISTURBING, ANY PHYSICAL CONDITIONS DIFFERING FROM THOSE REPRESENTED BY THE APPROVED PLANS AND SPECIFICATIONS.

3. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ALL LIABILITY AND CLAIMS, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

4. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY ON OR IN THE VICINITY OF THE JOB SITE AND FURTHER AGREES TO, AT CONTRACTOR'S EXPENSE, REPAIR OR REPLACE TO ORIGINAL CONDITION ALL EXISTING IMPROVEMENTS WITHIN OR IN THE VICINITY OF THE JOB SITE WHICH ARE NOT DESIGNATED FOR REMOVAL AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF CONTRACTOR'S OPERATIONS.

5. EXISTING BURIED CONDUITS AND STRUCTURES KNOWN TO THE ENGINEER ARE SHOWN ON THESE PLANS. HOWEVER, ALL CONDUITS AND STRUCTURES MAY NOT BE SHOWN AND THE LOCATIONS OF THOSE SHOWN ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE PREPARER OF THE PLANS.

CONTRACTOR SHALL INDEPENDENTLY VERIFY THE PRESENCE OF BURIED CONDUITS AND STRUCTURES, BOTH ACTIVE AND ABANDONED-IN-PLACE AND, BEFORE COMMENCING WORK, CONTRACTOR SHALL DETERMINE THE EXACT LOCATION INCLUDING DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES, INCLUDING SERVICE CONNECTIONS, WHICH MAY AFFECT OR BE AFFECTED BY HIS OPERATIONS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES.

UPON ENCOUNTERING EXISTING UTILITIES OR STRUCTURES NOT SHOWN OR LOCATED DIFFERENTLY THAN SHOWN ON THE PLANS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND THE OWNER OF THE CONDUIT OR STRUCTURE BY TELEPHONE AND IN WRITING. IF SUCH CONDUIT OR STRUCTURE AFFECTS OR IS AFFECTED BY THE WORK, CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION AND DIRECTION BEFORE PROCEEDING WITH THE WORK, EXCEPTING THAT IN AN EMERGENCY AFFECTING SAFETY OF LIFE, WORK OR ADJACENT PROPERTY, CONTRACTOR SHALL ACT AT ONCE WITHOUT INSTRUCTIONS TO PREVENT INJURY OR LOSS.

6. CONTRACTOR SHALL CONTACT SUNSHINE-811 A MINIMUM OF 48 HOURS IN ADVANCE OF STARTING ANY CONSTRUCTION TO HAVE KNOWN UNDERGROUND FACILITIES LOCATED. NO EXCAVATION SHALL COMMENCE UNLESS THE CONTRACTOR HAS OBTAINED THE INQUIRY IDENTIFICATION NUMBER AND EACH UTILITY OR OTHER OWNER OF SUBSURFACE FACILITIES HAS LOCATED AND PHYSICALLY MARKED THEIR SUBSURFACE FACILITIES IN THE AREA OF WORK.

7. BEFORE COMMENCING EXCAVATION, CONTRACTOR SHALL CONTACT THE CITY AND EACH UTILITY COMPANY OR OTHER OWNER OF SUBSURFACE FACILITIES WITHIN THE WORK SITE. SHALL VERIFY WHETHER OR NOT A REPRESENTATIVE WILL BE PRESENT BEFORE AND/OR DURING EXCAVATION, AND SHALL DETERMINE SITE-SPECIFIC REQUIREMENTS FOR EXCAVATION.

8. CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD BEFORE START OF ANY CONSTRUCTION AND SCHEDULE THE TIME AND LOCATION OF PRE-CONSTRUCTION CONFERENCE. A PRE-CONSTRUCTION CONFERENCE WITH THE CITY IS REQUIRED PRIOR TO START OF WORK.

9. CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OF ALL EXISTING MONUMENTS WHICH CONTROL SUBDIVISIONS, TRACTS, BOUNDARIES, EASEMENTS, STREETS, HIGHWAYS OR OTHER RIGHTS-OF-WAY, OR WHICH PROVIDE SURVEY CONTROL WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTOR'S WORK. PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS, CONTRACTOR SHALL CONTACT WITH LICENSED LAND SURVEYOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR.

10. CONTRACTOR SHALL MAKE HIS OWN DEDUCTIONS AND CONCLUSIONS AS TO HOW EXISTING SURFACE AND SUB-SURFACE CONDITIONS WILL AFFECT OR BE AFFECTED BY HIS CONSTRUCTION OPERATIONS, INCLUDING THE NATURE OF MATERIALS TO BE EXCAVATED, THE DEGREE OF DIFFICULTY ASSOCIATED WITH MAKING AND MAINTAINING THE REQUIRED EXCAVATIONS, AND THE DEGREE OF DIFFICULTY WHICH MAY ARISE FROM SUBSURFACE CONDITIONS INCLUDING GROUNDWATER, AND SHALL ACCEPT FULL RESPONSIBILITY THEREFOR.

11. IT IS CONTRACTOR'S RESPONSIBILITY TO PROTECT THE INTEGRITY OF EXISTING PAVEMENT ALONG AND BEHIND SAWCUT LINES DURING CONSTRUCTION; IF PAVEMENT IS BROKEN-OFF OR OTHERWISE DAMAGED BEFORE NEW PAVEMENT IS PLACED, CONTRACTOR SHALL SAWCUT A NEW CONFORM LINE PARALLEL WITH, FULL LENGTH OF, AND SUFFICIENT DISTANCE (1-FOOT MINIMUM) BEHIND ORIGINAL SAWCUT AS TO REMOVE DAMAGED PAVEMENT AND / OR IRREGULARITY ALONG THE CONFORM LINE, OR AS REQUIRED BY THE AGENCY HAVING JURISDICTION.

12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL AS REQUIRED FOR THE WORK IN PROGRESS TO SAFELY HANDLE VEHICULAR, BICYCLE AND PEDESTRIAN TRAFFIC THROUGHOUT THE PROJECT, AND THAT THIS REQUIREMENT SHALL APPLY 24 HOURS PER DAY AND SEVEN DAYS A WEEK FOR THE DURATION OF WORK ON THE PROJECT. CONTRACTOR SHALL IMPLEMENT MAINTENANCE OF TRAFFIC (MOT) IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 102 MAINTENANCE OF TRAFFIC.

13. WORK PERFORMED BY THE CONTRACTOR THAT IS REQUIRED TO BE AS-BUILT SHALL BE SURVEYED BY A SURVEYOR REGISTERED IN THE STATE OF FLORIDA. IMPROVEMENTS SHALL BE SURVEYED WHILE THE WORK IS IN PROGRESS (UNCOVERED) SO THAT THE SURVEYOR CAN VISUALLY OBSERVE THE WORK AND SPECIFIC ELEMENT BEING SURVEYED AND CONFIRM WHAT IS BEING LOCATED, INCLUDING TYPE AND SIZE. IF THE WORK IS BURIED, THE CONTRACTOR IS RESPONSIBLE FOR POTHOLES EACH FITTING AND FEATURE OF THE INSTALLATION SO THE SURVEYORS WORK CAN BE PERFORMED. IT IS NOT ACCEPTABLE TO COVER WORK AND USE PIPE EXTENSIONS FOR THE PURPOSE OF AS-BUILDING INSTALLED WORK.

CONSTRUCTION NOTES (SPECIFICATIONS)

GENERAL NOTES:

1. UNLESS MODIFIED OR OTHERWISE SPECIFIED BY THE CONSTRUCTION NOTES THAT FOLLOW HEREON INCLUDING THOSE UNDER SEPARATE HEADINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, STANDARDS AND STANDARD PLANS, AND THE CITY OF APOPKA DESIGN STANDARDS AND STANDARD DETAILS. WHERE DISCREPANCIES IN THE STANDARDS OCCUR THE EOR AND CITY ENGINEER SHALL MAKE THE FINAL DETERMINATION.

ALL REFERENCED SPECIFICATIONS, CODES, DRAWINGS, AND DETAILS SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT OR DELINEATED IN THEIR ENTIRETY HEREOF.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK AND INTERFACING IMPROVEMENTS WITH WORK BY OTHER CONTRACTORS AT THIS JOB SITE AND WITH

IMPROVEMENTS REQUIRED BY PLANS BY OTHERS.

3. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL ENGINEERING AND GEOLOGICAL REPORTS FOR THIS PROJECT INCLUDING THOSE LISTED BELOW.

NO REPORT, THIS SECTION DOES NOT APPLY.

THESE REPORTS AND ANY ADDENDA SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT IN THEIR ENTIRETY HEREOF. IT IS CONTRACTORS RESPONSIBILITY TO REVIEW THE APPLICABLE GEOTECHNICAL AND GEOLOGY REPORTS. CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER TO OBTAIN OR REVIEW COPIES OF THESE REPORTS AND ADDENDA.

PRIOR TO BIDDING, CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER TO DETERMINE THE LOCATION AND DEPTH OF ALL TEST BORINGS AND EXPLORATORY PITS AND EXCAVATIONS. CONTRACTOR SHALL DETERMINE FROM THE GEOTECHNICAL ENGINEER WHAT REMEDIAL WORK IS RECOMMENDED TO MAKE THESE DISTURBED LOCATIONS SUITABLE FOR THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL INCLUDE IN HIS BID ALL COSTS FOR THE RECOMMENDED REMEDIAL WORK AND SHALL ADJUST HIS OPERATIONS TO PROPERLY SEQUENCE THE WORK TO ACCOMMODATE REMEDIAL WORK WITH CONSTRUCTION OF PROPOSED IMPROVEMENTS.

4. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE HEALTH AND SAFETY LAWS, ORDINANCES, REGULATIONS, RULES, AND STANDARDS INCLUDING ALL FEDERAL AND STATE REQUIREMENTS.

5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VEHICULAR, BICYCLE, AND PEDESTRIAN TRAFFIC CONTROL AND SAFETY AND SHALL FURNISH, INSTALL, AND MAINTAIN SUCH FENCING, SIGNS, LIGHTS, TRENCH PLATES, BARRICADES, AND/OR OTHER PROTECTION AS IS NECESSARY FOR SAID CONTROL AND SAFETY OR AS REQUIRED BY THE APPLICABLE REGULATORY AGENCY.

6. CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SUCH SHEETING, SHORING, BRACING, AND/OR OTHER PROTECTION AS IS NECESSARY TO PREVENT FAILURE OF TEMPORARY EXCAVATIONS AND EMBANKMENTS AND TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TEMPORARY IMPROVEMENTS, AND PARTIALLY COMPLETED PORTIONS OF THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SUFFICIENCY OF SUCH SUPPORTS AND/OR OTHER PROTECTION. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA TRENCH AND EXCAVATION SAFETY AND THE FLORIDA TRENCH SAFETY ACT.

7. BEFORE BEGINNING WORK, CONTRACTOR SHALL CONFIRM WITH AGENCIES HAVING JURISDICTION THAT ALL REQUIRED PERMITS AND LICENSES HAVE BEEN OBTAINED AND ALL REQUIRED NOTICES GIVEN.

8. DURING THE COURSE OF WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR OBSERVATION AND TESTING AS STIPULATED PURSUANT TO ABOVE DETERMINATIONS. ALL TESTING OF MATERIALS AND MATERIALS PLACED SHALL BE BY THE CONTRACTOR, AT HIS SOLE EXPENSE, USING AN INDEPENDENT LABORATORY.

WORK NOT OBSERVED BY THE EOR AND TESTED WILL BE SUBJECT TO REJECTION.

9. ALL UNSUITABLE CONSTRUCTION MATERIALS AND RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE JOB SITE, BE TRANSPORTED TO A SUITABLE LOCATION, AND BE DISPOSED OF IN A PROPER AND LEGAL MANNER AT THE EXPENSE OF THE CONTRACTOR.

10. CONTRACTOR SHALL SCHEDULE GRAVITY PIPELINE WORK AHEAD OF OTHER UNDERGROUND CONDUIT CONSTRUCTION.

11. STORM DRAIN WORK SHALL BEGIN AT THE LOWEST POINT OF DISCHARGE AND PROCEED UPSTREAM.

12. ALL WORK INVOLVING EXCAVATION, INCLUDING THAT FOR WATER, SEWER, STORM DRAIN AND UTILITY CONDUITS AND ALL SERVICE CONNECTIONS AND METER BOXES (NOT PERMITTED IN DRIVEWAYS) SHALL BE COMPLETED AND OBSERVED AND APPROVED BY THE AGENCY HAVING JURISDICTION AND THE STRUCTURAL BACKFILL OBSERVED AND TESTED FOR COMPACTION BEFORE AGGREGATE BASE, PAVING AND OTHER PERMANENT SURFACE CONSTRUCTION MAY COMMENCE.

13. BEFORE BEGINNING WORK, CONTRACTOR SHALL DETERMINE OR VERIFY THE LOCATION AND INVERT ELEVATION OF ALL EXISTING WATER, SEWER, AND DRAINAGE STRUCTURES AND/OR CONDUITS TO BE JOINED BY NEW CONSTRUCTION.

BEFORE BEGINNING WORK, CONTRACTOR SHALL DETERMINE OR VERIFY THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES AND/OR CONDUITS WHICH CROSS OR OTHERWISE MAY CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL DETERMINE AND INSTALL FITTINGS, CONNECTORS, AND ADAPTERS REQUIRED TO CONNECT AT NO ADDITIONAL COST.

14. GROUNDWATER MAY BE ENCOUNTERED AT OR NEAR THE GROUND SURFACE. CONTRACTOR SHALL INSTALL DEWATERING SYSTEMS AS REQUIRED TO LOWER THE WATER LEVEL TO A MINIMUM OF 3 FEET BELOW THE BOTTOM OF EXCAVATIONS FOR ALL IMPROVEMENTS CONSTRUCTED FOR THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEWATERING. CONTRACTOR IS RESPONSIBLE FOR PROPER PERMITTING AND DISPOSAL OF DEWATERING WATER. ALL COSTS, IMPACTS OR FINES TO THE PROJECT FROM DEWATERING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

15. ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING FINAL DEVELOPMENT PLANS APPROVAL PROCESS.

16. ALL PROPOSED DEVELOPMENT IMPROVEMENTS SHALL CONFORM TO THE CITY OF APOPKA LAND DEVELOPMENT CODE, ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, FLORIDA DEPARTMENT OF TRANSPORTATION AND CENTRAL FLORIDA EXPRESSWAY AUTHORITY (CFX) REQUIREMENTS.

17. ONSITE UTILITIES ARE SHOWN AS CONCEPTUAL ONLY. FINAL PLACEMENT WILL BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS.

18. ALL FINAL UTILITIES (ELECTRICAL, CABLE TV, GAS, TELEPHONE, ETC) SHALL BE INSTALLED UNDERGROUND, APPURTENANCES TO THESE SYSTEMS THAT ARE REQUIRED TO BE ABOVE GROUND SHALL BE EFFICIENTLY SCREENED.

19. SANITARY WASTE SERVICES WILL BE PROVIDED BY CITY OF APOPKA.

20. THE SITE IS LOCATED IN ZONE X FLOOD HAZARD ZONE, OUTSIDE OF THE 100 YEAR FLOODPLAIN PER FEMA/FIRM MAP, ORANGE COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12095C 0125E, REVISED SEPTEMBER 25, 2009.

21. NO KNOWN EXISTING HISTORICAL STRUCTURES OR OTHER CULTURALLY SIGNIFICANCE ARTIFACTS WERE OBSERVED ONSITE.

22. PROJECT LANDSCAPING WILL MEET STANDARDS SET FORTH IN SECTION 2.09.9(D)(21) OF THE CITY OF APOPKA LAND DEVELOPMENT CODE. LANDSCAPE AND IRRIGATION SHALL BE IN COMPLIANCE WITH "WATER WISE ORDINANCE 2069", UNLESS OTHERWISE APPROVED BY THE CITY.

23. PROJECT LIGHTNING WILL MEET STANDARDS SET FORTH IN THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC) AND THE CITY'S DEVELOPMENT DESIGN GUIDELINES, UNLESS OTHERWISE APPROVED BY THE CITY. ALL LIGHT POLES (PARKING AND PEDESTRIAN) SHALL BE DECORATIVE IN THE STYLE WITH BASE FLUSH WITH GROUND (NO BOLLARD MOUNTED LIGHTS). PEDESTRIAN SCALED LIGHTING SHALL BE PROVIDED ALONG ALL SIDEWALK LEADING TO THE BUILDING AND ALONG THE CONCRETE SHARED PATHS.

24. PROJECT SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE MASTER SIGN PLAN APPROVED BY THE CITY OF APOPKA WITH THE PUD APPROVAL.

25. FIRE RESCUE WILL BE PROVIDED BY THE CITY OF APOPKA FIRE DEPARTMENT. THE FIRE DEPARTMENT STATION 4 IS APPROXIMATELY 1.3 MILES FROM THE DEVELOPMENT, AT 2750 W. ORANGE AVE. APOPKA FL. ONSITE FIRE PROTECTION WILL BE PROVIDED WITH A KNOWN WATER DISTRIBUTION SYSTEM WITH FIRE HYDRANTS. ADDITIONALLY THE BUILDING WILL BE PROTECTED WITH AN APPROVED AUTOMATIC FIRE SPRINKLE SYSTEM, FDC'S AND REMOTE MONITORING ALARM SYSTEM. FIRE PROTECTION SERVICES WILL BE IN COMPLIANCE WITH THE ADOPTED CITY OF APOPKA FIRE DEPARTMENT STANDARDS AND REQUIREMENTS.

26. NO OUTSIDE STORAGE OF PARTS, SUPPLIES, MATERIALS, GOOD OR EQUIPMENT SHALL BE ALLOWED, UNLESS SCREENED FROM VIEW.

27. ALL ROOF TOP EQUIPMENT SHALL BE COMPLETELY SCREENED FROM ADJACENT PROPERTY AND PUBLIC RIGHT-OF-WAYS.

28. IF FINAL DEVELOPMENT PLAN ASSOCIATED WITH THIS MAJOR DEVELOPMENT PLAN HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE (3) YEARS AFTER APPROVAL, THEN THE APPROVAL OF THIS MAJOR DEVELOPMENT PLAN WILL EXPIRE.

29. SCHOOL: WITHIN THE MULTI-FAMILY PORTION (APARTMENT) (312 UNITS X 0.281 STUDENTS/ UNIT)= 88 STUDENTS.

WITHIN THE COMMERCIAL DEVELOPMENT NO RESIDENTIAL USES ARE PROPOSED. PUBLIC SCHOOL CAPACITY.

30. FOLLOWING LIST OF PERMITS, BUT NOT LIMITED TO, ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION:

- CITY OF APOPKA FINAL DEVELOPMENT PLAN APPROVAL
FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY UTILITY PERMIT
CENTRAL FLORIDA EXPRESSWAY AUTHORITY (CFX) DRAINAGE CONNECTION PERMIT
FDEP POTABLE WATER SYSTEM DISTRIBUTION PERMIT
FDEP WASTEWATER COLLECTION SYSTEM PERMIT
ST. JOHNS RIVER WATER MANAGEMENT ERP.
NPDES PERMITTING (INCLUDING NOI AND NOT)

31. PRIOR TO COMMENCING CLEARING AND GRADING ACTIVITIES, A PERMIT LETTER FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION MUST BE RECEIVED, WITH A COPY FORWARDED TO THE CITY OF APOPKA, FOR APPROVAL OF GOPHER TORTOISE SURVEY AND ANY REQUIRED REMEDIAL ACTIVITY.

32. A BI-DIRECTIONAL AMPLIFIER (BDA/DAS) SYSTEM SURVEY WILL BE REQUIRED DURING CONSTRUCTION ACCORDANCE WITH THE CITY OF APOPKA FORE DEPARTMENT REQUIREMENTS.

GRADING NOTES:

1. ALL GRADING SHALL BE IN CONFORMANCE WITH THESE PLANS, CITY OF APOPKA CONSTRUCTION STANDARDS, THERETO AND WITH THE RECOMMENDATIONS AND REFERENCED STANDARD GRADING SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT(S) REFERENCED IN THE GENERAL NOTES ON THESE PLANS.

2. CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A HAZARD TO VEHICULAR TRAFFIC OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS, IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST RESULTING FROM HIS OPERATIONS. DUST ABATEMENT MEASURES SHALL BE CONTINUED UNTIL RELIEF IS GRANTED BY THE INSPECTOR.

3. AREAS TO BE GRADED IN ACCORDANCE WITH THE GRADING AND CLEARING PLANS, THE GRADING, PAVING, AND DRAINAGE PLAN, SITE SHALL BE CLEARED OF ALL VEGETATION (EXCEPT TREES INDICATED TO REMAIN), INCLUDING ROOTS AND ROOT STRUCTURES, OTHER ORGANIC MATERIAL, DEBRIS, NON-COMPLYING FILL, AND OTHER MATERIAL UNSUITABLE FOR SUPPORT OF FILL AND/OR PROPOSED IMPROVEMENTS.

4. BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY AND EOR FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON PUBLIC ROADS. THE CITY SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR. CONTRACTOR SHALL IMMEDIATELY CLEAN UP ALL SPILLS AND TRACKING.

5. UNSUITABLE SOILS ENCOUNTERED DURING GRADING SHALL BE EXCAVATED AND REPLACED.

OVERLET AND/OR PUMPING AREAS ENCOUNTERED DURING GRADING SHALL BE REVIEWED FOR CORRECTIVE MEASURES BY THE CITY AND EOR. CONTRACTOR IS RESPONSIBLE FOR DRYING OR WETTING SOIL AS REQUIRED TO OBTAIN OPTIMUM WATER CONTENT FOR COMPACTION. ALL COST FOR MOISTURE CONDITIONING SOIL SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.

6. FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 12-INCHES IN LOOSE THICKNESS, BE MOISTENED OR THRIENED AS REQUIRED AND BE COMPACTED TO THE MINIMUM RELATIVE COMPACTION. OTHER LIFTS MAY BE NECESSARY TO ACHIEVE THE REQUIRED MINIMUM COMPACTION.

7. FILL AND BACKFILL MATERIAL SHALL BE COMPACTED AT LEAST TO THE SPECIFIED RELATIVE COMPACTION BUT IN NO CASE TO LESS THAN 95% OF MAXIMUM DENSITY, DETERMINED IN CONFORMANCE WITH AASHTO T 99 AND T 99, LATEST REVISION. SOME AREAS REQUIRE COMPACTION TO GREATER DENSITY AS CALLED FOR ON THESE PLANS OR THE AGENCY HAVING JURISDICTION.

8. FINISH CUT SLOPES, FILL SLOPES AND COMBINATION CUT AND FILL SLOPES SHALL NOT EXCEED A GRADE OF A HORIZONTAL TO 1 VERTICAL UNLESS SPECIFICALLY CALLED FOR ON THESE PLANS. LOWER POUD SLOPES AND DRAINAGE DITCHES CAN BE EXCAVATED TO 2 HORIZONTALS TO 1 VERTICAL, WHERE CALLED FOR ON THE PLANS OR APPROVED IN WRITING IN ADVANCE OF CONSTRUCTION.

9. ALL GRADED AREAS SHALL BE PLANTED IN CONFORMANCE WITH THE APPROVED LANDSCAPING PLAN, IF APPLICABLE AND SHALL OTHERWISE BE PLANTED WITH SOO OR PLANTINGS AS APPROVED BY THE CITY AND EOR AND SHALL BE DENSE AND GROWING PRIOR TO FINAL INSPECTION.

10. IF NOT DIMENSIONED, LOCATION OF FINISH GRADE ELEVATIONS AND FEATURES SUCH AS SWALES, RIDGE LINES, ETC. SHALL BE DETERMINED BY SCALE FROM KNOWN POINTS SHOWN ON THE PLANS. UNIFORM GRADIENTS OR VERTICAL CURVES, AS APPROPRIATE, SHALL BE ASSUMED BETWEEN CONTROL ELEVATIONS SHOWN ON THE PLANS.

11. PLAN ELEVATIONS SHOWN ON SOIL AND LANDSCAPED AREAS ARE FINISH GRADE (FINISH SURFACE) ELEVATIONS INTENDED TO ESTABLISH FINAL SURFACE DRAINAGE CONTROL FOR THESE AREAS. DURING GRADING OPERATIONS, THICKNESSES SPECIFIED BY LANDSCAPE ARCHITECT FOR TURF, WOOD CHIPS, MULCH, ETC. SHALL BE SUBTRACTED FROM THESE ELEVATIONS TO ESTABLISH FINISH SOIL GRADE.

12. PLAN ELEVATIONS SHOWN ON WALKWAYS, RAMPS, STEPS AND OTHER HARDSCAPE ARE INTENDED TO ESTABLISH GRADING AND SURFACE DRAINAGE CONTROL FOR THESE IMPROVEMENTS. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO PERFORM DETAILED LAYOUT FOR AND TO CONSTRUCT WALKWAYS, RAMPS, STEPS, AND OTHER HARDSCAPE IN MINIMUM SLOPE AND IN ACCORDANCE WITH ALL BUILDING CODE AND ACCESSIBILITY REQUIREMENTS INCLUDING THOSE FOR DIMENSIONING, SLOPE, CROSS-SLOPE, SURFACE TEXTURE, WARNING CURBS, AND HAND-RAILS.

13. SITE FINISH GRADING SHALL BE COMPLETED AND CONFIRMED BY SURVEY TO CONFORM TO APPROVED PLANS AND SPECIFICATIONS BEFORE LANDSCAPING AND IRRIGATION CONSTRUCTION CAN BEGIN.

LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE AND PROPERLY DISPOSE OF ALL EARTH SPOIL FROM PLANT HOLES AND FOR TRENCHES. EXCESS SOIL AND/OR MULCH SHALL NOT BE PLACED OR SPREAD AT THE SITE, BUT REMOVED AND PROPERLY DISPOSED.

14. PAVEMENT STRUCTURAL SECTIONS SHALL BE AS SHOWN ON THESE PLANS.

15. THE UPPER 12 INCHES OF FILL OR NATIVE SOIL BELOW THE BOTTOM OF BASE OR SUBBASE COURSE (BELOW SUBGRADE) IN PAVEMENT AREAS, AND THE UPPER 6 INCHES OF FILL OR NATIVE SOIL BELOW THE CONCRETE IN WALKWAY AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% OF MAXIMUM DENSITY.

16. BEFORE PLACEMENT OF BASE OR SUBBASE MATERIAL IN PAVEMENT AREAS, THE SUBGRADE SOIL SHALL BE DENSITY TESTED BY THE CONTRACTOR AND REVIEWED BY THE EOR.

17. SURFACE SOILS CONTAINING ORGANIC MATERIAL MAY BE STOCKPILED FOR FUTURE USE BY THE LANDSCAPE CONTRACTOR; HOWEVER, THIS OPERATION SHALL BE COORDINATED SO THAT UPON COMPLETION OF THE PROJECT, ALL EXCESS MATERIAL IS REMOVED FROM THE JOB SITE AND FINISH GRADES ARE AS CALLED FOR ON THE PLANS.

18. QUALITY REVIEW AND REPORTING REQUIREMENTS

A. CONTRACTOR SHALL CONDUCT STRINGLINE TESTING OF SUBGRADE, BASE, AND FINAL ASPHALT IN CONSTRUCTION WITH THE EOR.

19. BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES: ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOWS, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO

RETAIN CONCRETE WASTES ONSITE UNTIL THEY CAN BE DISPOSED AS A SOLID WASTE. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED WASTE RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO MINIMIZE EROSION BY WIND AND WATER.

20. CONTRACTOR IS REQUIRED TO REVIEW TOPOGRAPHIC MAPPING AND CONFIRM EXISTING TOPOGRAPHIC MAPPING IS CONSISTENT WITH THE CONDITION OF THE SITE ENCOUNTERED BY THE CONTRACTOR. DISCREPANCIES FOUND WITH THE EXISTING TOPOGRAPHIC MAPPING MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO START OF ANY GRADING. ONCE GRADING COMMENCES, THE CONTRACTOR HAS ACCEPTED THE EXISTING TOPOGRAPHIC MAPPING AS ACCURATE AND REPRESENTATIVE OF THE EXISTING CONDITIONS ASSUMED BY THE CONTRACTOR.

STORM DRAIN NOTES:

1. ALL PUBLIC STORM DRAIN MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, REFERENCED STANDARD SPECIFICATIONS, AND CITY REQUIREMENTS.

2. CONCRETE FOR ALL DRAINAGE FACILITIES SHALL BE 3000 PSI.

3. REINFORCED CONCRETE PIPE (RCP) MATERIALS AND INSTALLATION SHALL COMPLY WITH THE REFERENCED STANDARD SPECIFICATIONS. RCP STRENGTH CLASS SHALL BE AS CALLED FOR ON THE PLANS AND SHALL BE A S.T.M. STANDARD C-76 CLASS III MINIMUM.

JOINTS SHALL BE TONGUE AND GROOVE, WITH COMPRESSION TYPE RUBBER GASKET CONFORMING TO A S.T.M. STANDARD C-443.

RCP SHALL BE INSTALLED TO THE LINES AND GRADES CALLED FOR ON THE PLANS. JOINTS SHALL NOT BE PULLED, DEFLECTED OR LEFT PARTIALLY OPEN. ALL JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.

4. CORRUGATED METAL PIPE (CMP) SHALL BE CONTECH (ARMCO) HEL-COR ALUMINIZED STEEL TYPE 2 PIPE WITH 2-23" X 1/2" HELICAL CORRUGATIONS. EACH PIPE END SHALL BE REFORMED TO PROVIDE AT LEAST TWO (2) ANNUAL CORRUGATIONS FOR HUGGER JOINT ASSEMBLY WITH O-RING GASKETS. WALL THICKNESS SHALL BE AS CALLED FOR ON THE PLANS AND SHALL BE 14 GAUGE (0.079") MINIMUM.

CMP INSTALLATION SHALL COMPLY WITH THE REFERENCED STANDARD SPECIFICATIONS AND WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDED PROCEDURES. ALL JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.

PVC PIPE CONNECTIONS TO MANHOLES, CATCH BASINS AND OTHER CONCRETE STRUCTURES SHALL BE CONSTRUCTED WITH WATERSTOP AT MIDPOINT OF STRUCTURE WALL PENETRATION. WATERSTOP SHALL BE PVC CONCRETE MANHOLE ADAPTER (4" THROUGH 12" PIPE) OR LARGE DIAMETER WATERSTOP AS MANUFACTURED BY FERROCO, OR EQUIVALENT APPROVED BY THE ENGINEER.

6. HIGH DENSITY POLYPROPYLENE (HP) PIPE AND FITTINGS FOR 12" THROUGH 60" SIZE SHALL BE HP-PP (WATERIGHT) SERIES AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. (ADS). HP PIPE PLACEMENT SHALL COMPLY WITH THESE DRAWINGS SHALL BE APPROVED BY THE EOR IN WRITING PRIOR TO ORDERING.

PIPE AND FITTING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES. CONNECTIONS TO CONCRETE STRUCTURES SHALL BE CONSTRUCTED WATER TIGHT USING MANUFACTURER'S RECOMMENDED MATERIALS AND METHODS. ALL JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.

7. GRATED INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN DETAIL SHOWN HEREON. ALL GRATES AND FRAMES SHALL BE TRAFFIC-WEIGHT FURNISHED WITH LOCK SCREWS TO PREVENT VANDALISM. INLETS SHALL CONFORM TO FDOT STANDARDS.

8. AS-BUILT DRAWINGS SHOWING THE ACTUAL LOCATION OF ALL PIPES, STRUCTURES, MANHOLES, CLEANOUTS, EASEMENTS, ETC. SHALL BE REVIEWED AND FILED WITH THE ENGINEER BEFORE FINAL ACCEPTANCE OF THE WORK. IN ADDITION, AN ELECTRONIC AUTOCAD™ FORMAT DRAWING RECORDED ON A CD, SHOWING THE ACTUAL LOCATION OF PIPE, STRUCTURES, MANHOLES, CLEANOUT AND APPURTENANT STRUCTURES, INCLUDING INVERT AND RISE ELEVATIONS, SHALL BE SUBMITTED TO THE ENGINEER BEFORE FINAL ACCEPTANCE OF WORK. THE ELECTRONIC DRAWING SHALL BE IN THE FOLLOWING COORDINATE SYSTEM: HORIZONTAL NAVD 83 NORTH AMERICA DATUM (STATE PLANE COORDINATE SYSTEM), VERTICAL NAVD 83 NORTH AMERICAN VERTICAL DATUM. SURVEY SHALL BE SIGNED AND SEALED BY A SURVEYOR REGISTERED IN THE STATE OF FLORIDA.

QUALITY REVIEW AND REPORTING MEASUREMENTS

A. CONTRACTOR SHALL REQUEST AND FACILITATE INSPECTION BY ENGINEER AFTER INSTALLATION AND ASSEMBLY OF, BUT BEFORE COVERING, STORM DRAINAGE PIPING.

B. WITHIN TEN (10) WORKING DAYS OF COMPLETION OF THE STORM DRAIN SYSTEM AND BEFORE CONSTRUCTION OF PAVEMENT, WALKWAYS AND OTHER PERMANENT SURFACE IMPROVEMENTS, CONTRACTOR SHALL PROVIDE A CONSTRUCTION RECORD DRAWING OF THE SYSTEM PREPARED BY A FLORIDA REGISTERED LAND SURVEYOR TO INCLUDE TOP OF GRATE OR COVER AND INLET AND OUTLET INVERT ELEVATIONS OF ALL STORM DRAIN STRUCTURES. ELEVATION MEASUREMENTS SHALL BE ACCURATE TO 0.01 FOOT.

C. SURVEYING, CLEANING OF THE STORM DRAIN SYSTEM SHALL BE AT CONTRACTOR'S EXPENSE. ANY DEVIATION FROM THE APPROVED PLANS AND DESIGN INTENT NOTED BY THE ENGINEER DURING THIS PROCESS SHALL BE CORRECTED BY CONTRACTOR AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE ENGINEER PRIOR TO ACCEPTANCE OF THE SYSTEM AND FINAL PAYMENT.

ACCEPTABLE TOLERANCES ARE AS FOLLOWS:

PIPE OR STRUCTURE INVERT: 0.04 FOOT MAXIMUM DEVIATION FROM DESIGN ELEVATION AT ANY LOCATION OR 10 PERCENT OF DESIGN SLOPE OVER ANY REACH, WHICHEVER IS LESS.

TOP-OF-GRATE: 0.04 FOOT MAXIMUM DEVIATION FROM DESIGN ELEVATION IN DIRT OR A.C. PAVEMENT SURFACING

0.02 FOOT MAXIMUM DEVIATION FROM DESIGN ELEVATION IN CONCRETE SURFACING

13. STORM WATER MANAGEMENT FACILITIES WILL BE PROVIDED FOR ONSITE AND DESIGN WILL BE DETERMINED WITH THE FINAL DEVELOPMENT PLAN PROCESS.

STREET PAVEMENT AND APPURTENANT CONCRETE NOTES:

1. ALL ASPHALT PAVEMENT AND APPURTENANT CONCRETE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND REFERENCED SPECIFICATIONS AND WITH THE FDOT DESIGN STANDARDS AND SPECIFICATIONS

2. ASPHALT CONCRETE SHALL BE AS CALLED FOR ON THE PLANS.

PAVING ASPHALT SHALL BE GRADE SHALL BE AS CALLED FOR ON THE PLANS. PAVING ASPHALT MIXTURE SHALL TACK ON A MAXIMUM OF 20% RECLAIMED ASPHALT PAVEMENT (RAP).

3. BEFORE PAVING A TACK COAT OF ASPHALTIC EMULSION SHALL BE APPLIED TO ALL EXISTING VERTICAL SURFACES AGAINST WHICH PAVING IS TO BE PLACED, ON THE BASE, AND BETWEEN PAVEMENT COURSES CONSTRUCTED MORE THAN 24 HOURS APART.

4. BASE MATERIAL SHALL BE AS CALLED FOR ON THE PLANS. WHEN BASE IS USED AS A FINISH SURFACE, IT SHALL BE COQUINA OR CRUSHED CONCRETE ONLY.

5. ALL WORK INVOLVING EXCAVATION INCLUDING THAT FOR WATER, SEWER, STORM DRAIN AND UTILITY CONDUITS AND ALL SERVICE CONNECTIONS AND METER BOXES (NOT PERMITTED IN DRIVEWAYS) SHALL BE COMPLETED AND OBSERVED AND APPROVED BY THE AGENCY HAVING JURISDICTION AND THE EOR. THE STRUCTURAL BACKFILL OBSERVED AND TESTED FOR COMPACTION AND APPROVED BEFORE BASE, PAVING AND OTHER PERMANENT SURFACE CONSTRUCTION MAY COMMENCE.

6. COMPACTION OF FILL, SUBGRADE AND BASE COURSES AS WELL AS ALL TRENCH BEDDING AND BACKFILL SHALL BE OBSERVED AND TESTED BY THE CONTRACTOR AND ACCEPTED BY EOR.

7. CONCRETE FOR CURBS, GUTTERS, DRIVEWAYS, AND SIDEWALKS SHALL BE 3,000 PSI. CONCRETE FOR DRAINAGE STRUCTURES SHALL BE 3,000 PSI. CONCRETE PAVEMENT SHALL BE 3,000 PSI. DRIVEWAYS, SIDEWALK, AND CONCRETE PAVEMENT SHALL BE FIBER REINFORCED.

8. JOINTS IN CONCRETE PAVEMENT

A. WEAKENED PLANE CRACK CONTROL (CONTRACTION) JOINTS SHALL BE CONSTRUCTED AT REGULAR INTERVALS NOT EXCEEDING 10-FEET EACH WAY (LONGITUDINAL AND TRANSVERSE) AND AT ADDITIONAL LOCATIONS AS MAY BE CALLED FOR ON THE PLANS. REINFORCEMENT SHALL BE CONTINUOUS THROUGH JOINTS.

DEPTH OF

DEVELOPMENT NOTES

- ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING THE FINAL DEVELOPMENT PLAN APPROVAL PROCESS.
- ALL PROPOSED DEVELOPMENT IMPROVEMENTS SHALL CONFORM TO THE CITY OF APOPKA LAND DEVELOPMENT CODE AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT REQUIREMENTS.
- THE DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS, WATER AND SEWER SYSTEMS, UTILITIES, AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS MANUAL.
- ONSITE UTILITIES ARE SHOWN AS CONCEPTUAL ONLY. FINAL PLACEMENT WILL BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
- ALL PROPOSED UTILITIES (ELECTRICAL, CABLE TV, GAS, TELEPHONE, ETC.) SHALL BE INSTALLED UNDERGROUND. APPURTENANCES TO THESE SYSTEMS THAT ARE REQUIRED TO BE ABOVE GROUND SHALL BE EFFECTIVELY SCREENED.
- SANITARY WASTE SERVICES WILL BE PROVIDED BY THE CITY OF APOPKA.
- STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED FOR ONSITE, AND DESIGN WILL BE DETERMINED WITH THE FINAL DEVELOPMENT PLAN PROCESS. THIS SITE IS LOCATED IN ZONE X (FLOOD HAZARD ZONE) OUTSIDE OF THE 100-YEAR FLOODPLAIN PER FEMA/FIRM MAP, ORANGE COUNTY, FLORIDA, COMMUNITY PANEL NO. 12095C0125H, REVISED SEPTEMBER 24, 2021 AND COMMUNITY PANEL NO. 12095C0110H, REVISED SEPTEMBER 24, 2021.
- PER USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM, SOIL SURVEY MAPS AND ONSITE SOILS ARE SHOWN ON SHEET S1.0 (AERIAL, SOILS, AND FLUCCS).
- NO EXISTING JURISDICTIONAL WETLANDS OR OTHER POTENTIAL ENVIRONMENTAL CONDITIONS WERE OBSERVED ONSITE, PER THE ECOLOGICAL ASSESSMENT REPORT PREPARED BY BIO-TECH CONSULTING, INC.
- NO KNOWN EXISTING HISTORICAL STRUCTURES OR OTHER CULTURALLY SIGNIFICANT ARTIFACTS WERE OBSERVED ONSITE.
- PROJECT LANDSCAPING WILL MEET STANDARDS SET FORTH IN SECTION 2.09.19(D)(21) OF THE CITY OF APOPKA LAND DEVELOPMENT CODE. LANDSCAPE AND IRRIGATION SHALL BE IN COMPLIANCE WITH "WATER WISE ORDINANCE 2069", UNLESS OTHERWISE APPROVED BY THE CITY.
- PROJECT LIGHTING WILL MEET STANDARDS SET FORTH IN THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC) AND THE CITY'S DEVELOPMENT DESIGN GUIDELINES, UNLESS OTHERWISE APPROVED BY THE CITY. ALL LIGHT POLES (PARKING AND PEDESTRIAN) SHALL BE DECORATIVE IN STYLE WITH BASES FLUSH WITH THE GROUND (NO BOLLARD MOUNTED LIGHTS). PEDESTRIAN-SCALED LIGHTING SHALL BE PROVIDED ALONG ALL SIDEWALKS LEADING TO BUILDINGS AND ALONG THE CONCRETE SHARED PATHS.
- PROJECT SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE MASTER SIGN PLAN APPROVED BY THE CITY OF APOPKA WITH THE PUD APPROVAL.
- FOR PARCEL 5, TRASH COMPACTORS ARE PROVIDED FOR REFUSE COLLECTION. REFUSE WILL BE COLLECTED BY A LOCAL APPROVED FRANCHISE ON A WEEKLY BASIS.
- FIRE RESCUE WILL BE PROVIDED BY THE CITY OF APOPKA FIRE DEPARTMENT. FIRE STATION 4 IS APPROXIMATELY 1.3 MILES FROM THE DEVELOPMENT AT 2750 W. ORANGE AVE, APOPKA, FL. ONSITE FIRE PROTECTION WILL BE PROVIDED WITH A LOOPED WATER DISTRIBUTION SYSTEM WITH FIRE HYDRANTS. ADDITIONALLY, BUILDINGS WILL BE PROTECTED WITH APPROVED AUTOMATIC FIRE SPRINKLER SYSTEMS, FDC'S, AND REMOTE MONITORING ALARM SYSTEMS. FIRE PROTECTION SERVICES WILL COMPLY WITH THE ADOPTED CITY OF APOPKA FIRE DEPARTMENT STANDARDS AND REQUIREMENTS.
- NO OUTSIDE STORAGE OF PARTS, SUPPLIES, MATERIALS, GOODS, OR EQUIPMENT SHALL BE ALLOWED UNLESS SCREENED FROM VIEW.
- ALL ROOFTOP EQUIPMENT SHALL BE COMPLETELY SCREENED FROM ADJACENT PROPERTY AND PUBLIC RIGHTS-OF-WAY.
- SCHOOLS:
  - WITHIN THE COMMERCIAL DEVELOPMENT, NO RESIDENTIAL USES ARE PROPOSED. PUBLIC SCHOOL CAPACITY IS NOT REQUIRED.
- THE FOLLOWING LIST OF PERMITS (BUT NOT LIMITED TO) ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION:
  - CITY OF APOPKA FINAL DEVELOPMENT PLAN APPROVAL
  - FDEP POTABLE WATER SYSTEM DISTRIBUTION PERMIT
  - FDEP WASTEWATER COLLECTION SYSTEM PERMIT
  - ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT
  - NPDES PERMITTING (INCLUDING NOI AND NOT)
- PRIOR TO COMMENCING CLEARING AND GRADING ACTIVITIES, A PERMIT/LETTER FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION MUST BE RECEIVED—WITH A COPY FORWARDED TO THE CITY OF APOPKA—FOR APPROVAL OF A GOPHER TORTOISE SURVEY AND ANY REQUIRED REMEDIAL ACTIVITY.
- A BI-DIRECTIONAL AMPLIFIER (BDA/DAS) SYSTEM SURVEY WILL BE REQUIRED DURING CONSTRUCTION IN ACCORDANCE WITH CITY OF APOPKA FIRE DEPARTMENT REQUIREMENTS.

CUMULATIVE DEVELOPMENT PROGRAM								
PARCEL/TRACK	USE	ARE (AC)	IMPERVIOUS (AC)	IMP. %	PERVIOUS (AC)	PER. %	OWN AND MAINTAIN	NOTES
PARCEL 1	COMMERCIAL RETAIL	4.006	0.069	1.72	3.937	98.2	POA	
PARCEL 2	COMMERCIAL RETAIL	6.626	0.052	0.78	6.574	99.2	POA	
PARCEL 3	HOTEL, COMMERCIAL RETAIL	3.119	0.000	0.00	3.119	100.0	POA	
PARCEL 4	MULTI-FAMILY APARTMENTS	30.786	7.840	25.5	22.926	74.5	POA	
<b>PARCEL 5</b>	<b>FLEX SPACE</b>	<b>2.910</b>	<b>2.140</b>	<b>73.57</b>	<b>0.77</b>	<b>26.4</b>	<b>POA</b>	
PARCEL 6	YMCA, COMMERCIAL	3.034	0.000	0.0	3.034	100.0	POA	
PARCEL 7	ASSISTED LIVING FACILITIES	5.854	0.000	0.0	5.854	100.0	POA	
TRACT B	OPEN SPACE	0.100	0.000	0.0	0.1	100.0	POA	
TRACT C1	STORMWATER MANAGEMENT / OPEN SPACE	1.844	0.042	2.3	1.8020	97.7	CITY OWNED/ POA MAINTAINED	
TRACT C2	OPEN SPACE	0.326	0.006	1.8	0.32	98.2	CITY OWNED/ POA MAINTAINED	
TRACT D	STORMWATER MANAGEMENT / OPEN SPACE	1.959	0.000	0.0	1.959	100.0	POA	
TRACT E	STORMWATER MANAGEMENT / OPEN SPACE	1.397	0.000	0.0	1.397	100.0	POA	
TRACT F	OPEN SPACE	2.493	0.000	0.0	2.493	100.0	POA	
TRACT G	STORMWATER MANAGEMENT / OPEN SPACE	3.884	0.000	0.0	3.884	100.0	POA	
TRACT H	STORMWATER MANAGEMENT / OPEN SPACE	2.402	0.000	0.0	2.402	100.0	POA	
TRACT LS	SANITARY LIFT STATION	0.078	0.061	78.2	0.017	21.8	CITY	
FLORIDIAN TOWN CENTER RW- SOUTHERN PORTION	CITY ROAD RIGHT-OF-WAY	1.445	1.206	83.5	0.239	16.5	CITY	
MAIN ENTRANCE OFF 429 CONNECTOR ROAD	CITY ROAD RIGHT-OF-WAY	0.308	0.204	66.2	0.104	33.8	CITY	
FLORIDIAN TOWN CENTER RW - NORTHERN PORTION, SOUTHFORK AND KIOWA AVE RW	CITY ROAD RIGHT-OF-WAY	4.031	1.970	48.9	2.061	51.1	CITY	
WILLIAMS FAMILY COURT RW	CITY ROAD RIGHT-OF-WAY	0.257	0.157	61.1	0.1	38.9	CITY	
EXISTING SOUTHFORK ROAD RW	CITY ROAD RIGHT-OF-WAY	0.790	0.424	53.7	0.366	46.3	CITY	
TOTALS (1)		77.727	14.171	18.2	63.458	81.8		
1. TOTAL LAND BEING DEVELOPED AS PART OF THIS PROJECT. THIS INCLUDES SOME LAND OWNED BY THE CITY OF APOPKA. TOTALS SHOWN ARE SITE WIDE ACCUMULATIVE NUMBERS								
2. PERCENT FOR IMPERVIOUS AND PERVIOUS AREAS SHOWN TRACT BY TRACT								

CITY OF APOPKA  
 2024-03-28  
 DEVELOPMENT NOTES  
 FILE PATH: \\10.10.10.10\...  
 PROJECT: ...  
 DRAWING: ...  
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SITE DATA & DEVELOPMENT NOTES  
**MARRIOTT FAIRFIELD TOWNEPLACE SUITES**  
 NWC OF STATE ROAD 429 & CONNECTOR RD  
 APOPKA, FLORIDA 33712  
 CITY OF APOPKA  
 ORANGE COUNTY

PLAN STATUS		
DATE	DESCRIPTION	
JG	JG	KAS
DESIGN	DRAWN	CHKD
SCALE	AS SHOWN	
JOB No.	011589-01-001	
DATE	9/22/2025	
GENERAL NOTES		
G1.1		
SHEET No.		

811: 2022 SOILS & FLUCCS  
 PROJECT: MARIOTT FAIRFIELD TOWNEPLACE SUITES  
 DATE: 9/22/2025  
 DRAWN BY: JG  
 CHECKED BY: KAS  
 SCALE: AS SHOWN  
 JOB No.: 011589-01-001  
 DATE: 9/22/2025  
 AERIAL, SOILS & FLUCCS  
 SHEET No.: S1.0



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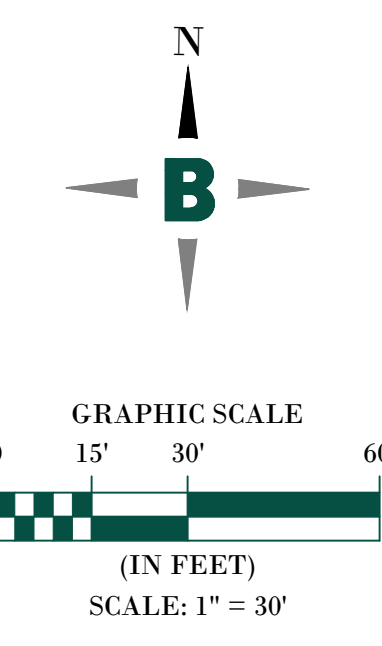


**LEGEND**

--- EXISTING SOILS LIMITS, PER USDA NATURAL RESOURCES CONSERVATION SERVICE MAPS

**SOILS LEGEND**

- ④⑥ TRAVARES FINE SAND, 0%-5% SLOPES
- ④⑦ TRAVARES-MILLHOPPER FINE SAND, 0%-5% SLOPES



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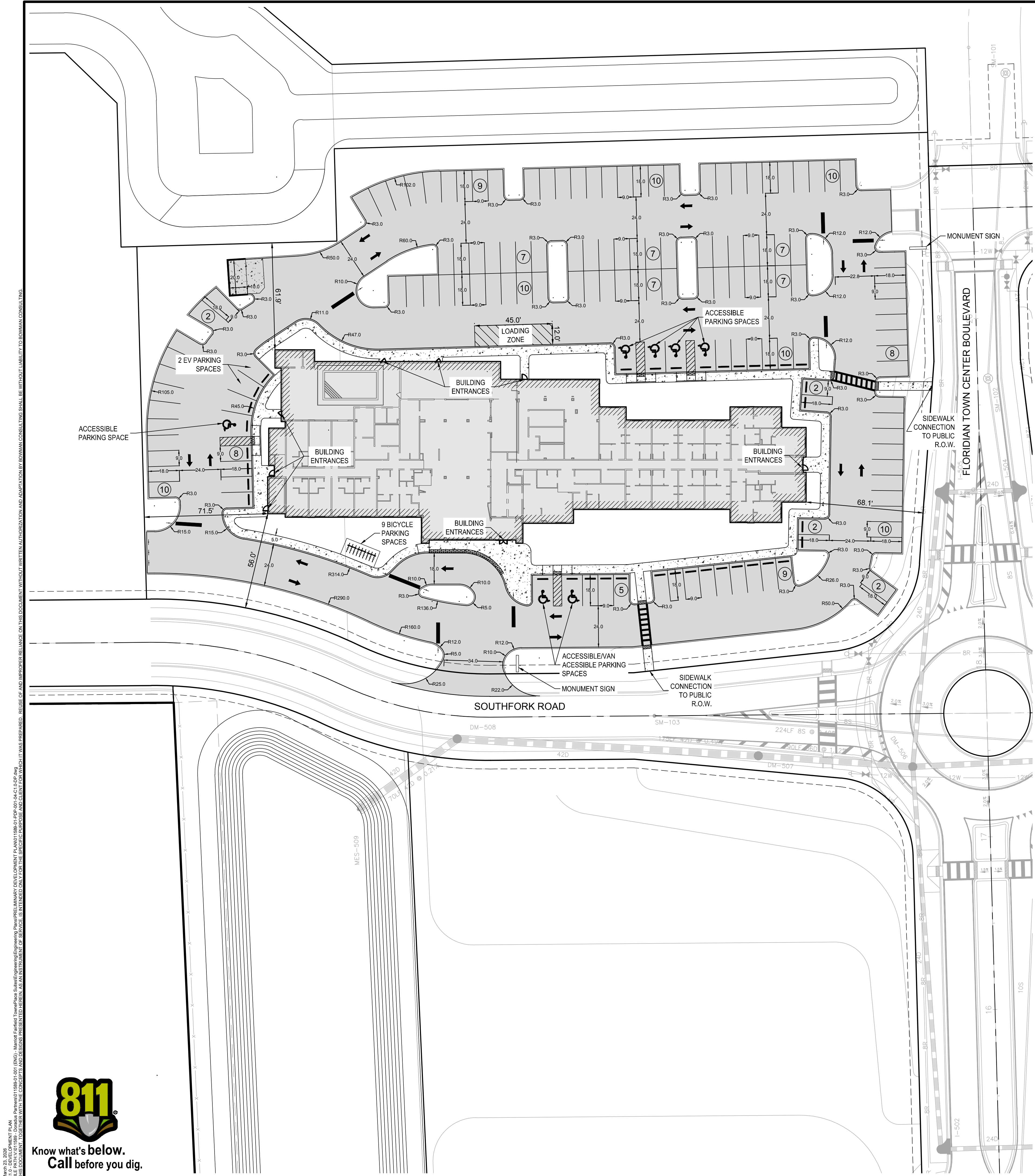


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**AERIAL, SOILS & FLUCCS**  
**MARIOTT FAIRFIELD TOWNEPLACE SUITES**  
 NWC OF STATE ROAD 429 & CONNECTOR RD  
 APOPKA, FLORIDA 33712  
 CITY OF APOPKA  
 ORANGE COUNTY

PLAN STATUS	

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KAS CHKD	
SCALE	AS SHOWN
JOB No.	011589-01-001
DATE	9/22/2025
AERIAL, SOILS & FLUCCS	
SHEET No.	<b>S1.0</b>



**SITE DATA**

THE PROPOSED PROJECT IS A HOTEL COMMERCIAL DEVELOPMENT OF EXISTING ABANDON AGRICULTURAL NURSERIES AND VACANT PROPERTY. IMPROVEMENTS WILL OCCUR IN ONE PHASE CONSISTING OF CONSTRUCTION OF BUILDING, PAVED PARKING AND DRIVE AISLES, SIDEWALKS, ASSOCIATED UTILITIES, AND LANDSCAPING.

CURRENT LOCAL JURISDICTION: CITY OF APOPKA  
 CURRENT LAND USE CLASSIFICATION: RURAL  
 CURRENT ZONING CLASSIFICATION: PLANNED DEVELOPMENT (PD)  
 PROPOSED ZONING: PLANNED DEVELOPMENT (PD)  
 FLOOD ZONE CLASSIFICATION: ZONE X  
 FIRM PANEL NO. : 12095C0125H & 12095C0110H DATED : 9/24/2024

SURROUNDING ZONING:

DIRECTION	PROPERTY USE	LAND USE	ZONING	JURISDICTION
NORTH	RESIDENTIAL	SINGLE FAMILY ESTATE	RSF-1A	CITY OF APOPKA
EAST	SR429	STATE ROAD		FLORIDA DEPARTMENT OF TRANSPORTATION
SOUTH	RESIDENTIAL	MIXED USE-EAST SHORE-GATEWAY	MU-ES-GT	CITY OF APOPKA
WEST	RESIDENTIAL	SINGLE FAMILY	A-1	ORANGE COUNTY

FUTURE LAND USE (FLU) DESIGNATION: COMM AND HDR  
 EXISTING LAND USE: UNDEVELOPED LAND AND ABANDON NURSERY  
 PROPOSED LAND USE: COMMERCIAL

**BUILDING DATA**

BUILDING SETBACKS:

DIRECTION	REQUIRED SETBACK	PROVIDED SETBACK
FRONT (SOUTH)	8' FEET	56.1 FEET
SIDE (WEST)	0' FEET	71.5 FEET
SIDE (EAST)	20 FEET	68.0 FEET
REAR (NORTH)	10' FEET	103.7 FEET

BUILDING HEIGHT (FINISHED FLOOR TO ROOF): 46' 6"  
 MAXIMUM BY CODE: 50', 4 STORIES  
 EXISTING BUILDING: N/A  
 NO. OF STORIES: 4  
 BUILDING HEIGHTS HAVE BEEN MEASURED PER FLORIDA BUILDING CODE AS MEAN HEIGHT ABOVE FINISH FLOOR.

**GENERAL NOTES**

- FIVE FOOT WIDE CONCRETE SIDEWALKS ARE REQUIRED ON ALL STREET FRONTAGES. ANY DAMAGED, CRACKED, OR BROKEN SIDEWALKS OR CURBS SHALL BE REPLACED PRIOR TO FINAL COMPLETION.
- THE OWNER IS RESPONSIBLE FOR MEETING ALL PROVISIONS OF ADA AND FLORIDA ACCESSIBILITY CODE.
- FENCING SHALL MEET ALL CITY REQUIREMENTS FOR HEIGHT, TYPE, ETC. CHAIN LINK FENCING SHALL BE VINYL COATED PER CODE.
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF APOPKA STANDARDS, SPECIFICATIONS, AND ORDINANCES.
- CITY OF APOPKA WILL INSPECT PRIVATE SITE IMPROVEMENTS ONLY TO THE EXTENT THAT THEY CONNECT TO CITY OWNED/MAINTAINED SYSTEMS (ROADWAYS, DRAINAGE, UTILITIES, ETC.). IT IS THE RESPONSIBILITY OF THE OWNER AND DESIGN ENGINEER TO ENSURE SPECIFICATIONS. THE CITY IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS, TO INCLUDE, BUT NOT LIMITED TO, ROADWAYS, PARKING LOTS, DRAINAGE, STORMWATER PONDS, OR ON-SITE UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION, AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS.

**TRANSPORTATION IMPACT TABLE**

Land Use	Land Use Code <sup>(1)</sup>	Intensity	Units	Time Period	Average Rate <sup>(2)</sup>	Development Trips <sup>(1)</sup>		
						In	Out	Total
Proposed: Hotel	310	137	Rooms	AM <sup>(2)</sup>	0.46	35	28	63
				PM <sup>(2)</sup>	0.59	41	40	81

(1) Based on the Institute of Transportation Engineers Trip Generation, 11<sup>th</sup> Edition  
 (2) Peak Hour of Adjacent Street

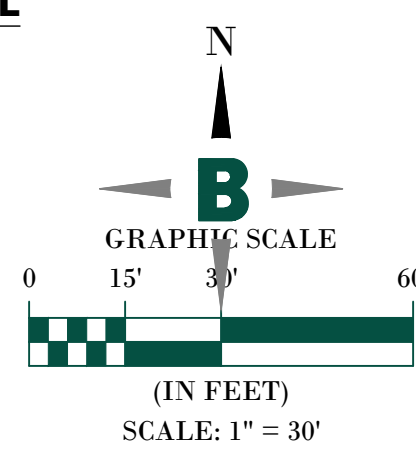
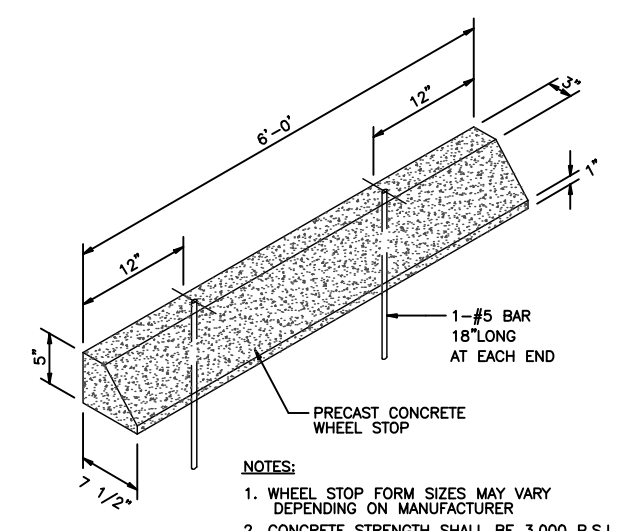
**SITE AREA CALCULATIONS**

AREA	EXISTING	PROPOSED
TOTAL PROPERTY AREA	±126,700 SF (±2.91 AC)	±126,700 SF (±2.91 AC)
BUILDING	0 SF	±23,990 SF (±0.55 AC)
SIDEWALK / PAVEMENT	0 SF	±69,220 SF (±1.59 AC)
TOTAL IMPERVIOUS	0 SF	±93,210 SF (±2.14 AC)
POND	0 SF	0 SF
OPEN SPACE	±126,700 SF (±2.91 AC)	±33,490 SF (±0.77 AC)
TOTAL PERVIOUS	±126,700 SF (±2.91 AC)	±33,490 SF (±0.77 AC)

REQUIRED OPEN SPACE PER THE APPROVED PUD MASTER PLAN, A TOTAL OF 30% OPEN SPACE IS REQUIRED CUMULATIVELY OVER THE ENTIRE FLORIDIAN TOWN CENTER LAND DEVELOPMENT AREA. OPEN SPACE PROVIDED WITHIN PARCEL 5 AREA IS 33,490 SF (0.77 ACRES).  
 IMPERVIOUS AREA: MAXIMUM ALLOWABLE IMPERVIOUS SURFACE RATIO 80% FOR PARCEL 5.  
 MAXIMUM ALLOWED: (2.91 AC \* 80%) = 2.33 ACRES

**PROPOSED LEGEND**

- PROPERTY LINE
- 6' OPAQUE FENCE
- 4' DECORATIVE FENCE
- KNEE WALL
- HEAVY-DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- STANDARD-DUTY ASPHALT PAVEMENT



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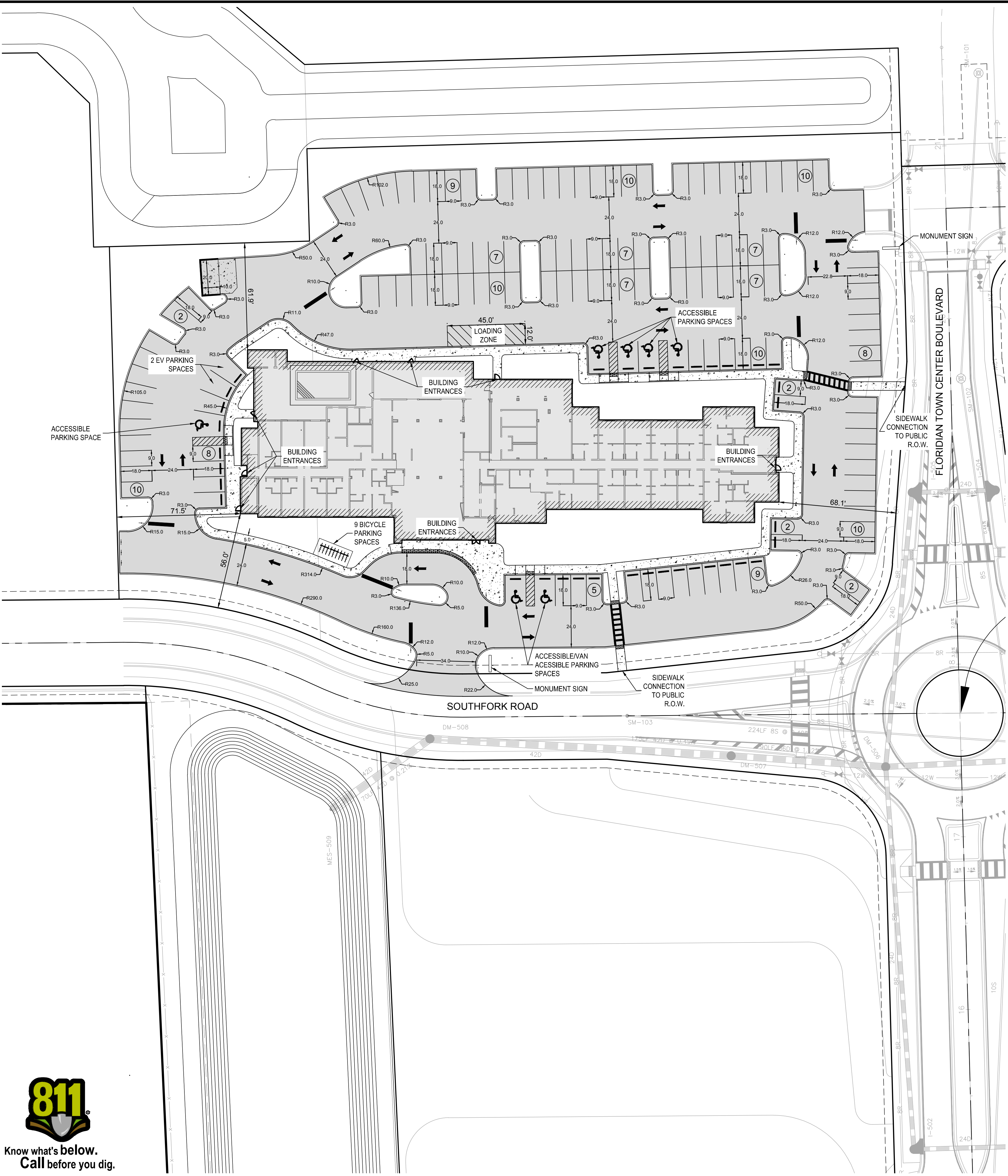
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DEVELOPMENT PLAN  
 MARRIOTT FAIRFIELD TOWNEPLACE SUITES  
 NWC OF STATE ROAD 429 & CONNECTOR RD  
 APOPKA, FLORIDA 33712  
 CITY OF APOPKA  
 ORANGE COUNTY

PLAN STATUS	
DATE	DESCRIPTION
JG	KAS
DESIGN	CHKD
SCALE	AS SHOWN
JOB No.	011589-01-001
DATE	9/22/2025
DEVELOPMENT PLAN	
SHEET No.	C1.0



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 TEL: (407) 938-1100  
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**PROPOSED PARKING DATA**

EXISTING PARKING SPACES	NONE
HANDICAP PARKING SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE (FAC). SECTION 208.2 OUTLINES THE TOTAL REQUIRED HANDICAP PARKING SPACES ON TABLE 208.2. REQUIRING A MINIMUM OF X HC SPACES.	
REQUIRED PARKING:	
HOTEL OR MOTEL: 1/GUEST ROOM + 1/2 EMPLOYEES + 1/200 SF OF RESTAURANT SPACE OR MEETING OR BANQUET AREA	
NUMBER OF GUEST ROOMS =	137 SPACES
NUMBER OF EMPLOYEES / 2 =	5 SPACES
SF OF REST/ MEET/ BANQUET ROOM / 200 SF =	0 SPACES

TOTAL PARKING REQUIRED	142 SPACES
PROPOSED STANDARD SPACES 9'X18'	133 SPACES
PROPOSED ACCESSIBLE SPACES 12'X18'	7 SPACES
PROPOSED EV SPACES	2 SPACES
TOTAL PARKING PROVIDED	142 SPACES

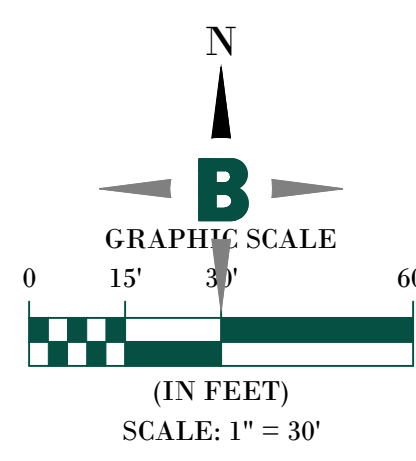
ELECTRIC CAR PARKING TO BE EVENLY SPACED THROUGHOUT DEVELOPMENT AND FINAL LOCATIONS MAY BE SHIFTED OR ADJUSTED AT TIME OF FINAL ENGINEERING.

**PROPOSED BICYCLE PARKING DATA**

REQUIRED BICYCLE PARKING:	
SHORT TERM =	2 SPACES
LONG TERM =	7 SPACES
TOTAL PARKING REQUIRED	9 SPACES
PROPOSED BICYCLE PARKING:	
SHORT TERM =	2 SPACES
LONG TERM =	7 SPACES
TOTAL PARKING PROPOSED =	9 SPACES

**PARKING NOTES**

PARKING SHOWN CONTAINS 90° PARKING SPACES.  
 TYPICAL DIMENSIONS: PROPOSED SPACES: 9' X 18'  
 PROPOSED ONE WAY ENTRANCE DRIVE AISLES: 14'  
 CITY OF APOPKA ONE WAY REQUIRED DRIVE AISLES: 18'



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**PARKING PLAN**  
**MARRIOTT FAIRFIELD TOWNEPLACE SUITES**  
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PARKING PLAN	
SHEET No.	C1.1







DATE: 09/22/2025 COVER  
 FILE PATH: \\01188 - Dorcas\Projects\150601-001 (ENR) - Marriott - Fairfield TownePlace Suites\01188-001-001.dwg  
 PROJECT: Fairfield TownePlace Suites by Marriott  
 DRAWN BY: JG  
 CHECKED BY: KAS  
 SCALE: AS SHOWN  
 JOB No.: 011589-01-001  
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