



## **APOPKA CITY COMMISSION AGENDA**

**July 1, 2026 1:30 PM**

**Apopka City Hall Commission Chambers**

**APOPKA CITY COMMISSION MEETING WILL BE LIVE-STREAMED ON YOUTUBE. TO WATCH, PLEASE VISIT:**

<https://www.youtube.com/CityofApopkaFL>

### **CALL TO ORDER**

### **INVOCATION**

Commissioner Baron's selection for invocation is: Pastor Steve Coleman of FaithWorks Church

### **PLEDGE**

### **PUBLIC COMMENT PERIOD**

The Public Comment Period is for City-related matters that are not on today's Agenda as business items or public hearings. If you are here to speak for a matter that requires a public hearing, please wait for that item to come up on the agenda. The Public Comment period will be held to a total of thirty (30) minutes. Each speaker will be given three (3) minutes to speak. If you are here for the Public Comment Period, please fill out a GREEN Intent to Speak Form and provide it to the City Clerk prior to the start of the meeting. When the Mayor calls for Public Comment Period, the City Clerk will read the submitted GREEN Intent to Speak Forms in the order they were received. Should a large number of citizens submit public comment period speaker cards, the speaking time per citizen may be reduced to a maximum of two (2) minutes per speaker, to give as many citizens an opportunity to speak as possible during the Public Comment Period. Groups of citizens who wish to speak on the same item or concern may elect a spokesperson to speak on their behalf, in which case an additional one (1) minute will be given to the spokesperson's time per citizen, up to six (6) minutes total. Citizens wishing to elect a spokesperson must be present during the public comment period, indicate the spokesperson on their Intent to Speak forms, and submit their forms together to the City Clerk. If you wish to speak on one of the business items or public hearing items, please fill out a WHITE Intent to Speak Form and provide it to the City Clerk prior to the start of the meeting. Once the item has been presented, the Mayor will call for Public Comment on that specific item. At that time, the City Clerk will read the submitted WHITE Intent to Speak Forms for the current item, in the order they were received. Each speaker will be given three (3) minutes to speak. Please refer to Resolution No. 2025-19 for further information regarding Public Participation Policy & Procedures for addressing the City Commission.

### **PROCLAMATION**

1. **Proclamation to Commemorate the 250th Anniversary of the Declaration of Independence**

### **APPROVAL OF MINUTES**

1. **Approval of Regular City Commission Meeting Minutes of June 17, 2026.**

### **AGENDA REVIEW**

### **CONSENT (Action Item)**

1. **Awarding of Duty Weapon**
2. **Approve Code Enforcement Settlement Agreement for 1760 Saddleback Ridge Road**
3. **Approve Code Enforcement Settlement Agreement for 215 Sharp Street**
4. **Authorize the issuance of a Sole Source Memo: HJ3 Composite Technologies**
5. **Authorize the execution of piggyback contracts for the assigned terms: Florida Department of Management Services - All Awarded Vendors (Motor Vehicles), Wastequip Manufacturing Company LLC (Bulk Solid Waste and Recycling**

Equipment), Stage Door II, LLC (Utility Site Restoration), Stage Door II, LLC (Stormwater Pipe Installation and Repair), School Board of Orange County - All Awarded Vendors (Plumbing Lift Station and Boiler Services), and Waste Management, Inc. of Florida (Processing and Disposal of Waste).

**BUSINESS (Action Item)**

1. **Quasi-Judicial - The Ridge Phase 3 - Major Development Plan**

Owner(s): Apopka Centerline Development, LLC  
Applicant: VHB c/o James R. Hoffman, P.E.  
Parcel Number(s): 17-21-28-7345-01-000  
Location: Southeast corner of Binion Road and Boy Scout Road  
Future Land Use (FLU): Mixed-Use  
Zoning: PD (Planned Development)  
Existing Use: Vacant  
Proposed Use(s): 363 Multi-family units  
Tract Size: 13.23 +/- acres  
Intensity: 0.2 floor area ratio  
Presented by: Jean Sanchez, Senior Planner

**PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)**

1. **Ordinance No. 3158 - First Reading - Legislative - Small-Scale Future Land Use Amendment – 4410 Chandler Road and 4420 Chandler Road**

Owner(s): Richard Chandler  
Applicant: Camila Neira  
Parcel Identification Number(s): 18-20-28-0000-00-030, 18-20-28-0000-00-063  
Location: 4410 Chandler Road, 4420 Chandler Road  
Existing Future Land Use: Residential Very Low Suburban  
Proposed Future Land Use: Office  
Existing Use(s): Residential  
Existing Zoning: RSF-1A (Residential Single-Family-Estate)  
Proposed Zoning: O (Office)  
Tract Size: 5.12 +/- Acres  
Proposed Use: Child care facility  
Project Manager: Jun Sohn, Ph.D.

2. **Ordinance Number 3159 – First Reading - Quasi-Judicial – Change of Zoning – 4410 Chandler Road and 4420 Chandler Road**

Owner(s): Richard Chandler  
Applicant: Camila Neira  
Parcel Identification Number(s): 18-20-28-0000-00-030, 18-20-28-0000-00-063  
Location: 4410 Chandler Road, 4420 Chandler Road  
Existing Zoning: RSF-1A (Residential Single-Family-Estate)  
Proposed Zoning: O (Office)  
Existing Use(s): Residential  
Existing Future Land Use: Residential Very Low Suburban  
Proposed Future Land Use: Office  
Tract Size: 5.12 +/- Acres  
Proposed Use: Child care facility  
Project Manager: Jun Sohn, Ph.D.

3. **Ordinance No. 3165 – First Reading – Annexation – Bateman Properties**

Owner(s): LMB Capital, LLC  
Applicant(s): Denny Shiver  
Parcel Identification Number(s): 07-20-28-0000-00-029, 07-20-28-0000-00-049, and 07-20-28-0000-00-063  
Location: 2850 and 2864 Dowman Drive  
Future Land Use: County Rural  
Zoning: County A-1 (Citrus Rural)  
Existing Use: Vacant  
Tract Size: 4.85 +/- acre(s)

Project Manager: Jean Sanchez  
Presented by: Jean Sanchez, Senior Planner

**CITY COMMISSION REPORTS**

**CITY ADMINISTRATOR'S REPORT**

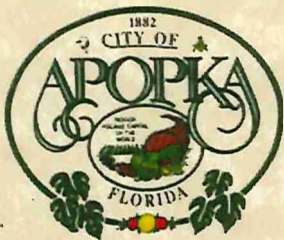
**CITY ATTORNEY'S REPORT**

**MAYOR'S REPORT**

**ADJOURNMENT**

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Commission with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.



# PROCLAMATION

**Celebrating July 4, 2026 and Commemorating the  
250th Anniversary of the United States Declaration of Independence  
1776 – 2026**

**WHEREAS**, on July 4, 1776, the Second Continental Congress adopted the Declaration of Independence, affirming that all people are created equal and endowed with unalienable rights to life, liberty, and the pursuit of happiness; and

**WHEREAS**, the year 2026 marks the 250th Anniversary of the founding of the United States, a milestone commemorating the courage, vision, and enduring ideals that shaped our nation; and

**WHEREAS**, the United States semi quincentennial presents an opportunity for all communities to reflect on our shared history, honor the diverse contributions of generations of Americans, and celebrate the principles of freedom and democracy; and

**WHEREAS**, the City of Apopka recognizes the sacrifices made by those who defended our nation, the achievements of those who helped build it, and the ongoing responsibility we share in strengthening our democracy for future generations; and

**WHEREAS**, Apopka residents, organizations, schools, and businesses contribute to the vibrancy and resilience of our community, embodying the American spirit of service, innovation, and unity; and

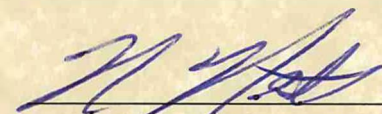
**WHEREAS**, the City of Apopka is proud to join municipalities across the United States in commemorating this historic anniversary and encouraging civic engagement, historical education, and community celebration throughout 2026;

**NOW, THEREFORE**, I, Nicholas L. Nesta, III, Mayor of the City of Apopka, Florida, do hereby proclaim the year 2026 as:

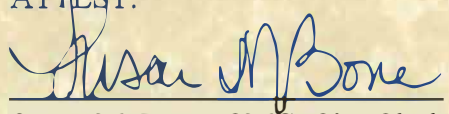
**“250th Anniversary of the United States Declaration of Independence”**

in the City of Apopka, and encourage all residents to participate in local events and observances honoring our nation’s history, heritage, and hope for the future.

**IN WITNESS WHEREOF**, I have hereunto set my hand and caused the Seal of the City of Apopka, Florida, to be affixed this 1<sup>st</sup> day of July, 2026.

  
Nicholas L. Nesta III, Mayor

ATTEST:

  
Susan M. Bone, CMC, City Clerk



## CITY OF APOPKA MINUTES

Minutes of the City Commission Meeting held on June 17, 2026 at 7:00 PM, in the City of Apopka Commission Chambers.

Present:

- Mayor Nick Nesta
- Vice Mayor Diane Velazquez
- Commissioner Yesenia Baron
- Commissioner Sam Ruth
- Commissioner Nadia Anderson
- Attorney Cliff Shepard

## CALL TO ORDER

### INVOCATION & PLEDGE OF ALLEGIANCE

Co-Pastor Tekoa Puerie & Commissioner Anderson – Provided Invocation and Pledge of Allegiance.

## PUBLIC COMMENT

**Mayor Nesta opened the Public Period. Public comment was given as follows:**

- **Dr. Jim Moyer** – Orange Soil & Water Conservation District, aquifer, water challenge.
- **Stacey Bryan** – Homeless (Mabel Powell), homeless resource center possibility.
- **Albert McKimmie** – Morale, perceptions, change in culture in city.
- **Francina Boykin** – Juneteenth, Black History / Slavery History.
- **Bobbie Boeh** – 13<sup>th</sup> St / Ocoee Apopka depression on roadway, Eden Crest round-a- bout difficulties.
- **Virginia Street** – Unhoused / needy in Apopka.
- **Leroy Bell** – Veterans of Service, palm tree maintenance in preparation for hurricane season.

**There being no one else who wished to speak, Mayor Nesta closed the Public Period.**

## APPROVAL OF MINUTES

1. Approval of Regular City Commission Meeting Minutes of June 3, 2026.
  - a. **Mayor Nesta** asked for a motion to approve the minutes from June 3, 2026.
  - b. **Motion by Commissioner Baron** and seconded by **Commissioner Anderson**.
  - c. **Motion carried unanimously.**

## AGENDA REVIEW

- **Radley Williams, Interim City Administrator** advised staff would like to pull Business Items #1 and #2. There are additional adjustments that need to be made.

## PROCLAMATION

1. **2026 Code Enforcement Appreciation Week**  
Presented by: Mayor Nesta
2. **Juneteenth Proclamation**  
Presented by: Mayor Nesta

## CONSENT (Action Item)

1. Execute Release of Code Enforcement Lien for 131 West 8th Street.
2. Special Event Request - Road Closure for Juneteenth Parade.
3. Approve a negotiated contract for RFQ 2025-A-184 - Water Reclamation Facility East Plant Expansion Design to: Tetra Tech, Inc.
4. Award a contract for RFP 2026-A-301: Consultant Services for the South Apopka Annexation Feasibility Study to The Corradino Group, Inc.
5. Authorization to Dispose Surplus Property.
6. Authorize the execution of piggyback contracts for the assigned terms: Lake Jem Farms, LLC, Mercon Construction Company, Hydromax USA, LLC, High Tech Engineering, Inc.
7. Authorize the Interim City Administrator to execute an agreement for the temporary use and demonstration of a mobile surveillance trailer for evaluation by the Apopka Police Department.
8. Accept the disbursement report for May 2026.
9. City of Apopka FY2026 Budget-to-Actual for Eight Months Ending May 31, 2026.

**Mayor Nesta opened the Public Period. There being no one who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Mayor Nesta** asked to pull items #3 and #4 for discussion and asked for a Motion to approve consent items 1, 2, 5 thru 9.
- b. **Motion** by **Commissioner Ruth** and seconded by **Commissioner Anderson**.
- c. **Motion carried unanimously.**

**Discussion Consent Item #3:** Approve a negotiated contract for RFQ 2025-A-184 - Water Reclamation Facility East Plant Expansion Design to: Tetra Tech, Inc.  
Presented by: Blanche Sherman, Finance Director

**Mayor Nesta opened the Public Period. There being no one who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Mayor Nesta** asked for a Motion to either deny or approve consent item #3.
- b. **Motion by Commissioner Anderson to deny** negotiated contract for RFQ 2025-A-184 and seconded by **Vice Mayor Velazquez**.
- c. **Motion carried unanimously.**

**Discussion Consent Item #4:** Award a contract for RFP 2026-A-301: Consultant Services for the South Apopka Annexation Feasibility Study to The Corradino Group, Inc.  
Presented by: Blanche Sherman, Finance Director

**Mayor Nesta opened the Public Period.**

- **Keyomi Jones** – Delayed emergency response to South Apopka by Orange County.
- **Mark Wright- Ahern** – Negative effects of South Apopka being Un-incorporated, educating residents to make a choice.
- **Francina Boykin** – Against the study and annexation due to City’s development and infrastructure.
- **Monique Morris** – Slow response times of Emergency Services due to Un-incorporated, educate residents.
- **Leroy Bell** – Overlooking South Apopka and doing only for North Apopka.
- **Unnamed** – Stop lights and requested one at Boy Scout Rd / Ocoee Apopka.
- **Virginia Street** – Division is the city, the city needs to show unity, provide education of annexation.
- **Albert McKimmie** – Perception of Apopka and who Apopka is.
- **Alexander Smith** – The study is required for annexation, in favor of annexation. Educate Orange County residents of benefits.

**There being no one else who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Commissioner Anderson** Moved to approve.
- b. **Motion by Commissioner Anderson** and seconded by **Commissioner Baron** to **Award a contract for RFP 2026-A-301: Consultant Services for the South Apopka Annexation Feasibility Study to The Corradino Group, Inc.**
- c. **Motion carried unanimously.**

**BUSINESS (Action item)**

1. **ITEM REMOVED: City of Apopka's Administrative Policies #107.3 Procurement proposed revisions**  
Presented by: Blanche Sherman, Finance Director, and Camille M. Evans, Esq.
2. **ITEM REMOVED: Utility Estimated Billing Policy**  
Presented by: Blanche Sherman, Finance Director

**3. City Commission Regular Meeting Schedule Update**

Presented by: Radley Williams, Interim City Administrator

**Mayor Nesta opened the Public Period. There being no one who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Mayor Nesta** asked for a Motion to approve the City Commission Regular Meeting Schedule Update.
- b. **Motion by Vice Mayor Velazquez** and seconded by **Commissioner Anderson**.
- c. **Motion carried unanimously.**

**PUBLIC HEARINGS/ ORDINANCES/ RESOLUTIONS (ACTION ITEMS)**

**1. Ordinance No. 3162 - Second Reading - IPMC Revisions (Code Enforcement)**

Presented by: Jason Woertman, Code Enforcement

**Mayor Nesta opened the Public Period. There being no one who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Mayor Nesta** asked for a Motion to adopt Ordinance No. 3162.
- b. **Motion by Commissioner Baron** and seconded by **Commissioner Ruth**.
- c. **Motion carried unanimously.**

**2. Ordinance No. 3163 – Second Reading – Annexation – Kelly Park Road Commercial**

Owner(s): Effie Road Holdings, LLC

Applicant(s): Luke Classon, P.E.

Parcel Identification Number(s): 12-20-27-0000-00-017

Location: East of Effie Drive and North of Kelly Park Road

Future Land Use: County Rural

Zoning: County A-1 (Citrus Rural)

Existing Use: Vacant

Tract Size: 1.16 +/- acre(s)

Presented by: Jean Sanchez, Senior Planner

**Mayor Nesta opened the Public Period. There being no one who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Mayor Nesta** asked for a Motion to adopt Ordinance No. 3163.
- b. **Motion by Commissioner Ruth** and seconded by **Commission Anderson**.
- c. **Motion carried unanimously.**

**3. Resolution No. 2026-28 Amending the budget for the fiscal year beginning October 1, 2025, and ending September 30, 2026.**

Presented by: Blanche Sherman, Finance Director

**Mayor Nesta opened the Public Period. There being no one who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Mayor Nesta** asked for a Motion to table Resolution No. 2026-28.
- b. **Motion by Commissioner Anderson** and seconded by **Commissioner Baron**.
- c. **Motion carried unanimously.**

**4. Resolution No. 2026-29 - FDOT Contract No. AT785 - FPN: 244296-2-78-04**

Presented by: Vladimir Simonovski, Public Works Director

**Mayor Nesta opened the Public Period. There being no one who wished to speak, Mayor Nesta closed the Public Period.**

- a. **Mayor Nesta** asked for a Motion to approve Resolution No. 2026-29.
- b. **Motion by Commissioner Baron** and seconded by **Vice Mayor Velazquez**.
- c. **Motion carried unanimously.**

**CITY ADMINISTRATOR’S REPORT**

**CITY ATTORNEY’S REPORT**

**CITY COMMISSION REPORTS**

**MAYOR’S REPORT**

- 1. City Commission Procedures

**ADJOURNMENT**

The meeting adjourned at 8:47 P.M.

*All video recordings of City Commission Meetings are always posted on the City of Apopka’s YouTube page, for viewing.*

\_\_\_\_\_  
Nicholas L. Nesta, III, Mayor

Attest: \_\_\_\_\_  
Susan M. Bone, City Clerk

Prepared by: \_\_\_\_\_  
Jodi Wrigley, Deputy City Clerk



## City of Apopka CITY COMMISSION STAFF REPORT

**Section:** CONSENT (Action Item)

**Item #:** 1.

**Meeting Date:** July 1, 2026

**Department:** Police Department

**SUBJECT:**

**Awarding of Duty Weapon**

**ACTION ITEM INFORMATION:**

**REQUEST:**

Chief Lovetta Quinn-Henry, PhD. requests to transfer the duty weapon of Officer Victor Barger after over 25 years of service.

**SUMMARY:**

Officer Victor Barger has served the City of Apopka and the Apopka Police Department for over 25 years. Chief Quinn-Henry is requesting approval to transfer his duty weapon to him in honor of his service.

**FUNDING SOURCE:**

N/A

**RECOMMENDED MOTION:**

Approve Chief Quinn-Henry to award Officer Victor Barger with his service weapon.

**ATTACHMENTS:**

None



## City of Apopka CITY COMMISSION STAFF REPORT

**Section:** CONSENT (Action Item)

**Item #:** 2.

**Meeting Date:** July 1, 2026

**Department:** Code Enforcement

**SUBJECT:**

**Approve Code Enforcement Settlement Agreement for 1760 Saddleback Ridge Road**

**ACTION ITEM INFORMATION:**

Approval of Code Enforcement Settlement Agreement - 1760 Saddleback Ridge Road

**REQUEST:**

Approve Code Enforcement Settlement Agreement - 1760 Saddleback Ridge Road

**SUMMARY:**

On August 19, 2025, the City of Apopka rendered an Order Finding SPROUT UP ENTERPRISES LLC, the owner of the property at 1760 Saddleback Ridge Road ("Subject Property") in violation of IPMC, Chapter 3, Sections 302.4, 308.1 and 304.2, as adopted by Article 5, Section 18-108 of the Apopka Municipal Code. A fine in the amount of Five Hundred (\$500.00) Dollars per day, per violation, was imposed starting on September 4, 2025.

On April 20, 2026, SPROUT UP ENTERPRISES LLC agreed to enter into a Settlement Agreement to reduce the unpaid code enforcement lien to a settlement amount of Eighteen Thousand (\$18,000.00) Dollars, paid to the City. The property is currently in compliance with the International Property Maintenance Code and Apopka Municipal Code.

**FUNDING SOURCE:**

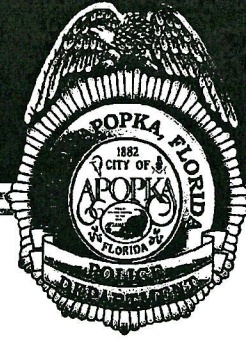
N/A

**RECOMMENDED MOTION:**

City Council approve the Code Enforcement Settlement Agreement.

**ATTACHMENTS:**

1. Affidavit of Compliance - 1760 Saddleback Ridge Road
2. Settlement Stipulation - 1760 Saddleback Ridge Road



**DOC # 20260015467**  
01/08/2026 14:57 PM Page 1 of 2  
Rec Fee: \$18.50  
Deed Doc Tax: \$0.00  
Mortgage Doc Tax: \$0.00  
Intangible Tax: \$0.00  
Phil Diamond, Comptroller  
Orange County, FL  
Ret To: CSC INC

**CERTIFICATION**

**STATE OF FLORIDA }  
COUNTY OF ORANGE }**

I, **JASON WOERTMAN**, Code Enforcement Recording Supervisor, do hereby certify that the attached is a true and correct copy of:

**AFFIDAVIT OF COMPLIANCE  
APOPKA CODE ENFORCEMENT HEARING OFFICER  
CE CASE# 25-00607  
1760 SADDLEBACK RIDGE RD, APOPKA, FL 32703  
PARCEL ID: 23-21-28-7966-00-540  
OWNER: SPROUT UP ENTERPRISES LLC**

IN WITNESS WHEREOF, I have hereunto set my hand this the 8<sup>th</sup> day of January 2026.

**CITY OF APOPKA**

**Jason Woertman**  
Code Enforcement Recording Supervisor

CODE ENFORCEMENT HEARING OFFICER  
OF THE  
CITY OF APOPKA, FLORIDA

CITY OF APOPKA, FLORIDA

CASE NO. 25-00607

ADDRESS: 1760 SADDLEBACK RIDGE RD LIEN  
PARCEL ID:23-21-28-7966-00-540

vs  
Respondent(s)

SPROUT UP ENTERPRISES LLC

20260015467 Page 2 of 2

AFFIDAVIT OF COMPLIANCE WITH ORDER  
OF APOPKA CODE ENFORCEMENT HEARING OFFICER

STATE OF FLORIDA  
COUNTY OF ORANGE

BEFORE ME, the undersigned authority, personally appeared **Joe Lebron**, Code Enforcement Officer for the City of Apopka, who, after being duly sworn, deposes and says:

1. That on **08/19/2025** the Code Enforcement Hearing Officer held a public hearing and issued its Order in the above-styled matter.
2. That, pursuant to said Order, Respondent was to have taken certain corrective action by or before **09/03/2025**
3. That re-inspection was performed on **01/05/26** and was in compliance.

If Compliance was met after corrective action date specified in said Order, Respondent must contact the Apopka Code Enforcement Office at (407) 703-1738 to resolve accrued daily fines.

FURTHER AFFIANT SAYETH NOT.

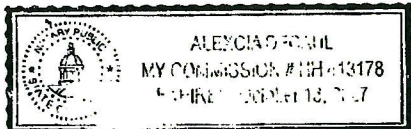
Dated this **01/06/2026**

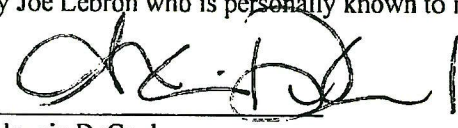
  
\_\_\_\_\_  
Joe Lebron  
Code Enforcement Officer

STATE OF FLORIDA  
COUNTY OF ORANGE

Sworn to and subscribed before me this **01/06/2026**  
an oath.

by Joe Lebron who is personally known to me and did not take



  
\_\_\_\_\_  
Alexcia DeCaul  
Notary Public, State of Florida  
Commission #HH 413178

**CODE ENFORCEMENT  
CITY OF APOPKA, FLORIDA**

CITY OF APOPKA,

Petitioner,

Complaint No. 25-00607

Address: 1760 SADDLEBACK RIDGE RD  
APOPKA, FL 32703

v.

SPROUT UP ENTERPRISES  
LLC

Respondents,  
\_\_\_\_\_ /

Parcel ID: 23-21-28-7966-00-540

**SETTLEMENT STIPULATION**

Petitioner CITY OF APOPKA, and Respondents SPROUT UP ENTERPRISES LLC, enter this Settlement Stipulation (“Stipulation”) in the above-styled action as follows:

1. This Stipulation is meant to settle all issues arising from the violations alleged in the complaint.

2. Petitioner and Respondents enter this Stipulation to pay a reduced total code enforcement fine in the amount of Eighteen Thousand (\$18,000.00) Dollars in full satisfaction of all fines previously imposed. Said amount must be paid within Sixty (30) days of the date of this Stipulation via one lump sum payment or same shall be null and void. Respondent(s) agree that payment must be made in full via one lump sum payment and partial payments of said amount will not be accepted by Petitioner.

3. Each party represents and warrants to the other party that it has the requisite authority to enter this Stipulation.

4. Upon approval of this Stipulation and clearance of the funds in payment in full of the agreed upon amount, the City of Apopka will record a Satisfaction of Lien for property address 1760 SADDLEBACK RIDGE RD , Apopka, FL 32703.

5. The Parties hereby irrevocably and unconditionally release, acquit, and forever discharge each other from claims of any kind arising from this complaint and enforcement action. The Parties also hereby waive all rights to file any claim or a lawsuit against the other party relating to the above styled action. This release does not prohibit Petitioner from initiating code enforcement actions for subsequent violations (either new or repeat) of anything within the scope of Petitioner's jurisdiction.

6. Upon full execution of this Stipulation by both parties and payment of the agreed settlement amount, the City of Apopka will schedule approval of this Agreement at the next City Council Public Hearing.

7. Should City Council not approve this Stipulation, all sums paid hereunder will be returned to Respondent and the releases set forth herein shall be null and void.

Dated this 20<sup>th</sup> day of April, 2026.

Petitioner:

CITY OF APOPKA  
Office of the City Attorney  
120 East Main Street  
Apopka, Florida 32703-5346  
T: 407.703.1641  
F: 407.703.1780  
E: [RWilliams@Apopka.net](mailto:RWilliams@Apopka.net)



Radley Williams  
Interim City Administrator

Respondent:

SPROUT UP ENTERPRISES LLC  
1760 Saddleback Ridge Rd  
Apopka, FL 32703-1673



Signature



Print Name



## City of Apopka CITY COMMISSION STAFF REPORT

**Section:** CONSENT (Action Item)

**Item #:** 3.

**Meeting Date:** July 1, 2026

**Department:** Code Enforcement

**SUBJECT:**

**Approve Code Enforcement Settlement Agreement for 215 Sharp Street**

**ACTION ITEM INFORMATION:**

Approval of Code Enforcement Settlement Agreement - 215 Sharp Street

**REQUEST:**

Approve Settlement Agreement - 215 Sharp Street

**SUMMARY:**

On October 19, 2021 the City of Apopka rendered an Order Finding MORGAN EVELYN ESTATE, the owner of the property at 215 Sharp Street ("Subject Property") in violation of IPMC, Chapter 3, Sections 302.4, 302.7 and 308.1, as adopted by Article 5, Section 18-108 of the Apopka Municipal Code. A fine in the amount of Five Hundred (\$500.00) Dollars per day, was imposed starting on November 4, 2021.

On May 28, 2026, CRISTIAN OSDENY FUENTES AGUILAR & VICKY DORIS AGUILAR AQUILAR, agreed to enter into a Settlement Agreement to reduce the unpaid code enforcement lien to a settlement amount of Twelve Thousand (\$12,000.00) Dollars, paid to the City. The property is currently in compliance with the International Property Maintenance Code and Apopka Municipal Code.

**FUNDING SOURCE:**

N/A

**RECOMMENDED MOTION:**

City Council approve the Code Enforcement Settlement Agreement.

**ATTACHMENTS:**

1. Affidavit of Compliance - 215 Sharp Street
2. Settlement Stipulation - 215 Sharp Street

CODE ENFORCEMENT HEARING OFFICER  
OF THE  
CITY OF APOPKA, FLORIDA

CITY OF APOPKA, FLORIDA

CASE NO. 21-00513  
ADDRESS: 215 SHARP ST  
PARCEL ID:04-21-28-2195-00-930

vs

Respondent(s)

MORGAN EVELYN ESTATE

AFFIDAVIT OF COMPLIANCE WITH ORDER  
OF APOPKA CODE ENFORCEMENT HEARING OFFICER


STATE OF FLORIDA  
COUNTY OF ORANGE

BEFORE ME, the undersigned authority, personally appeared **Bernard Jeanty**, Code Enforcement Officer for the City of Apopka, who, after being duly sworn, deposes and says:

1. That on 10/19/21 the Code Enforcement Hearing Officer held a public hearing and issued its Order in the above-styled matter.
2. That, pursuant to said Order, Respondent was to have taken certain corrective action by or before 11/03/21
3. That re-inspection was performed on 6/22/22 and was in compliance.

FURTHER AFFIANT SAYETH NOT.

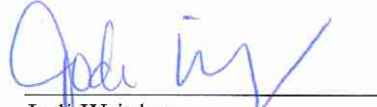
Dated this 6/22/22

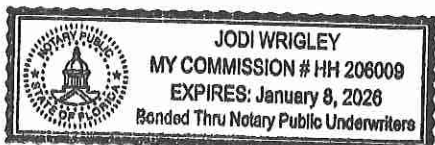
  
Bernard Jeanty  
Code Enforcement Officer

STATE OF FLORIDA  
COUNTY OF ORANGE

Sworn to and subscribed before me this 6/22/22  
take an oath.

by Bernard Jeanty who is personally known to me and did not

  
Jodi Wrigley  
Notary Public, State of Florida  
Commission #HH 206009



IN THE CIRCUIT COURT OF THE NINTH JUDICIAL CIRCUIT  
IN AND FOR ORANGE COUNTY, FLORIDA

CITY OF APOPKA, FLORIDA,  
a municipal corporation,

CASE NO.: 2025-CA-000070-O

Plaintiff,

v.

CHRISTIAN OSDENY FUENTES  
AGUILAR, an individual; VICKY DORIS  
AGUILAR AGUILAR, an individual; and  
ALL OTHER OCCUPANTS,

Defendants.

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**SETTLEMENT AGREEMENT**

Plaintiff, CITY OF APOPKA, FLORIDA (the “City”), a Florida municipal corporation, and Defendants, CHRISTIAN OSDENY FUENTES AGUILAR and VICKY DORIS AGUILAR AGUILAR (“Defendants”) (collectively, the “Parties”), hereby enter into this Settlement Agreement (the “Agreement”) to resolve any and all claims by and among the Parties in connection with or arising out of the above-styled action (the “Lawsuit”).

**WHEREAS**, the City filed suit to foreclose its lien on the property located at 215 Sharp Street, Apopka, Orange County, Florida 32703 (the “Property”); and

**WHEREAS**, Defendants are the record owners of the Property; and

**WHEREAS**, given the unique facts and circumstances in the Lawsuit, this Agreement is the result of a settlement of the Lawsuit and this Agreement and satisfaction of its terms and conditions shall constitute a full and final resolution and settlement of all claims asserted by the Plaintiff in the Lawsuit, and/or between the Parties arising from or related to the Lawsuit.

**NOW THEREFORE**, for good and valuable consideration received, the sufficiency of

which is stipulated by the Parties, it is hereby resolved and agreed by and between the City and Defendants as follows:

1. The recitals and introductory paragraph are fully adopted and incorporated herein by reference as if set forth fully herein.
2. In consideration of payment in the amount of twelve thousand dollars and no cents (\$12,000.00), made on behalf of Defendants to the City on or before June 1, 2026, and in satisfaction of the conditions of this Agreement, the City shall cause to be recorded in the Public Records of Orange County, Florida, a Release/Satisfaction of the Lien that is the subject of the Lawsuit. Additionally, upon satisfaction of the conditions of this Agreement, the City shall file with the Clerk of Court a Notice of Voluntary Dismissal with Prejudice in the Lawsuit, releasing the Lis Pendens, with each party to bear its own attorneys' fees and costs. The Dismissal with Prejudice shall be effective as to all defendants named in the Lawsuit, whether served or unserved.
3. This Agreement is contingent upon Defendants' payment to the City as set forth in paragraph 2 of this Agreement. If any of the aforementioned conditions are not satisfied by Defendants, the City shall proceed with the Lawsuit as set forth below.
4. This Agreement shall be governed by the laws of the State of Florida and the Court in the above-styled action shall have exclusive jurisdiction and venue to enforce this Agreement. In the event of dispute arising out of this Agreement, the prevailing party shall be entitled to attorneys' fees and costs resulting from enforcement of this Agreement.
5. The Parties agree that because the City is a public entity, the City Council must hold a duly noticed public meeting to consider and accept this Agreement. This Agreement shall not become effective until the City executes the Agreement following a duly noticed public

meeting required by Florida law.

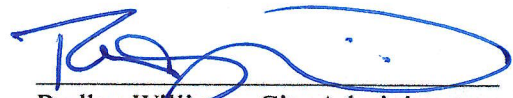
6. The Parties expressly agree that this Agreement results from an arm's length negotiation process in which each party was given the opportunity to consult with counsel and contribute to the drafting of this Agreement. No legal or other presumptions against the party drafting this Agreement shall therefore accrue to the benefit of either of the Parties and the Parties expressly waive the right to assert such a presumption in any proceedings or disputes connected with, arising out of, or involving this Agreement. The Parties expressly recognize that they have each entered into this Agreement knowingly and voluntarily.

IN WITNESS WHEREOF, the Parties hereto have executed and delivered this Settlement Agreement, with the effective date this 27 day of May, 2026.

ATTEST:

\_\_\_\_\_


CITY OF APOPKA

  
Radley Williams, City Administrator

CHRISTIAN OSDENY FUENTES  
AGUILAR

  
Print Name: Cristian Osdeny Fuentes  
Date: 05-28-2026 Aguilar

VICKY DORIS AGUILAR  
AGUILAR

  
Print Name: Vicky Doris Aguilar  
Date: 05/28/26 Aguilar



# City of Apopka CITY COMMISSION STAFF REPORT

**Section:** CONSENT (Action Item)  
**Item #:** 4.  
**Meeting Date:** July 1, 2026  
**Department:** Finance Department

**SUBJECT:**  
**Authorize the issuance of a Sole Source Memo: HJ3 Composite Technologies**

**ACTION ITEM INFORMATION:**

**REQUEST:**  
Approve the issuance of a sole source memo for (FY2026).

**SUMMARY:**

**107.3.9.8.3. SOLE SOURCE.**

Sole Source procurements are proprietary and used when only one vendor is able to provide commodities, contractual services, or construction services of adequate quality or quantity that meet City’s requirements, or when compatibility with existing systems requires procurement from a single source. Note: A memo of explanation must be sent to the appropriate approval authority along with the requisition documentation being attached to the purchase order. The City Administrator must give approval for the Sole Source designation. The Sole Source designation will expire each fiscal year after approval and may be renewed upon submission of a new request with documentation. Sole Source designations above \$50,000.00 must be noticed per Section 287.057(3)(c), Florida Statutes.

**Vendor Sole Source Memo Details:**

<b>Vendor:</b>	<b>HJ3 Composite Technologies</b>
<b>Requested Amount:</b>	Annual budgetary Appropriations
<b>Policy Requirements:</b>	<b>Sole Source procurements are proprietary and used when only one vendor is able to provide commodities, contractual services, or construction services of adequate quality or quantity that meet City’s requirements:</b> HJ3 Composite Technologies is the sole source manufacturer and qualified provider of the proprietary Stronghold composite concrete repair and rehabilitation system. The StrongHold™ system is a patented, engineered repair technology specifically developed for structural concrete rehabilitation, leak mitigation, chemical protection, and long-term asset reinforcement in aggressive industrial and wastewater environments.

<p><b>Policy Requirements:</b></p>	<p><b>Compatibility with existing systems requires procurement from a single source:</b>  The concrete tank is the 2nd stage of the wastewater treatment. The tank has been emptied for several years due to wastewater leaking into the ground. This tank is a backup to the newer system constructed approximately 7 years ago.</p> <p>The wastewater tank contains a cold joint that extends across the entire structure. The seal at this joint has failed, allowing water to leak beneath the structure slab and surface approximately 40 feet away. Staff has evaluated various repair options for deteriorated and leaking concrete wastewater structures. <b>Staff determined that HJ3 StrongHold Repair System is the most effective solution for repairing cold joints, preventing future leaks, and extending the service life of the tank.</b></p>
<p><b>Policy Requirements:</b></p>	<p><b>Justification:</b>  HJ3 utilizes proprietary composite materials, installation procedures, and engineering methods that are not commercially available through general concrete repair contractors. <b>Their repair system is specifically designed for wastewater treatment structures where conventional epoxy injection, cementitious patching, polyurethane grouting, or standard concrete repair methods have limited service life due to chemical attack, cyclic loading, and continuous moisture exposure.</b></p> <p>Additionally, HJ3 provides engineering support, manufacturer-certified installation, and warranty coverage that are only available through the company and its authorized personnel. <b>No other vendor can provide the identical proprietary materials, installation methodology, engineering design criteria, or warranty associated with the HJ3 rehabilitation system.</b></p> <p>Procurement from a single source is necessary to maintain system compatibility, preserve manufacturer quality control requirements, and ensure the intended structural and chemical performance of the rehabilitation system.</p>
<p><b>History</b></p>	<p>New established vendor and sole source.</p>

**FUNDING SOURCE:**

Approved FY26 Budget.

**RECOMMENDED MOTION:**

Approve the issuance of a blanket purchase order to HJ3 Composite Technologies, not to exceed budget appropriations.

**ATTACHMENTS:**

None



## City of Apopka CITY COMMISSION STAFF REPORT

**Section:** CONSENT (Action Item)

**Item #:** 5.

**Meeting Date:** July 1, 2026

**Department:** Finance Department

**SUBJECT:**

**Authorize the execution of piggyback contracts for the assigned terms: Florida Department of Management Services - All Awarded Vendors (Motor Vehicles), Wastequip Manufacturing Company LLC (Bulk Solid Waste and Recycling Equipment), Stage Door II, LLC (Utility Site Restoration), Stage Door II, LLC (Stormwater Pipe Installation and Repair), School Board of Orange County - All Awarded Vendors (Plumbing Lift Station and Boiler Services), and Waste Management, Inc. of Florida (Processing and Disposal of Waste).**

**ACTION ITEM INFORMATION:**

**REQUEST:**

Authorize the execution of piggyback contracts for the assigned terms.

**SUMMARY:**

The department purchases various commodities in its daily operations, including equipment, tooling, and services throughout the year. A piggyback contract can be executed via another entity's agreement when the items or services have already been bid by other governmental agencies or special co-operative agreements, provided such contracts are the result of a competitive bidding process and all terms and conditions are the same. This method provides the most efficient method of purchase or the best cost savings for the quantities that are being utilized. These contracts are also encouraged when applicable for operational proficiencies and to minimize staff processing time. Contractual information is kept on record with each purchase order issued.

Per Purchasing Policy 107.3.17 — Piggyback Contracts: Piggyback contracts will only be authorized during the period of time that the original contract is active and has not expired (if the original contract expires or terminates, so shall the piggyback contract). The Department Director or designee must review and confirm potential piggyback contracts for applicability and scope. The request for utilizing a piggyback contract must be submitted to the Finance Department for purchasing review. Upon approval, the Purchasing Administrator or designee shall submit their review to the City Attorney for final approval. Contracts that are over \$50,000 will also require City Commission approval. Multi-Year Piggybacks: if determined to be over \$50,000 and once authorized by City Commission, if the dollar amount allotted in the fiscal year budget is available for the services or commodities, it will not require additional City Commission approval.

Below is a full listing of the piggyback contracts that are being requested by department submittals, vendors, descriptions, sources, and expiration dates. Please note, contracts may have varying effective start dates.

Department: **Parks and Recreation**  
Vendor: **All Awarded Vendors (See Attached)**  
Description: **Motor Vehicles**  
Source: **Florida Department of Management Services**  
Bid/Contract #: 25100000-STC  
Original Bid Award Date: May 17, 2026  
Expiration Date: May 16, 2028  
Renewals: Two (2) additional one (1) year renewal options  
Max Expiration Date: May 16, 2030

Department: **Fleet and Sanitation**  
Vendor: **Wastequip Manufacturing Company LLC**  
Description: **Bulk Solid Waste and Recycling Equipment**  
Source: **Sourcewell**  
Bid/Contract #: 010825  
Original Bid Award Date: May 20, 2025  
Expiration Date: May 19, 2029  
Renewals: Three (3) additional one (1) year renewal options.  
Max Expiration Date: May 19, 2032

Department: **Public Works**  
Vendor: **Stage Door II, LLC**  
Description: **Utility Site Restoration**  
Source: **Orange County Government, Florida**  
Bid/Contract #: Y26-122-RC  
Original Bid Award Date: April 21, 2026  
Expiration Date: April 21, 2031  
Renewal: None  
Max Expiration Date: April 21, 2031

Department: **Public Works**  
Vendor: **Stage Door II, LLC**  
Description: **Stormwater Pipe Installation and Repair**  
Source: **Orange County Government, Florida**  
Bid/Contract #: Y25-1066A  
Original Bid Award Date: November 28, 2025  
Expiration Date: November 27, 2026  
Renewals: Two (2) additional one (1) year renewal options  
Max Expiration Date: November 27, 2028

Department: **Public Works**  
Vendor: **All Awarded Vendors (See Attached)**  
Description: **Plumbing, Lift Station and Boiler Services**  
Source: **The School Board of Orange County, Florida**  
Bid/Contract #: ITB25080  
Original Bid Award Date: September 10, 2025  
Expiration Date: September 9, 2028

Renewals: Two (2) additional one (1) year renewal options  
Max Expiration Date: September 9, 2030

Department: **Fleet and Sanitation**  
Vendor: **Waste Management, Inc. of Florida**  
Description: **Processing and Disposal of Waste**  
Source: **City of Orlando, Florida**  
Bid/Contract #: IFB26-0049-1  
Original Bid Award Date: June 1, 2026  
Expiration Date: May 31, 2029  
Renewals: Two (2) additional one (1) year renewal options  
Max Expiration Date: May 31, 2031

**FUNDING SOURCE:**

As authorized, adopted, and per the appropriated fiscal year budgetary funding within each departmental budget.

**RECOMMENDED MOTION:**

Authorize the execution of piggyback contracts per the assigned terms.

**ATTACHMENTS:**

1. Florida Department of Management Services - Motor Vehicles All Awarded Vendors
2. ITB25080 Plumbing, Lift Station and Boiler Services

Florida Department of Management Services  
Motor Vehicles  
#25100000-26-STC

Alan Jay Automotive Management, Inc.  
Bozard Ford Co.  
Carl Black of Orlando, LLC  
Duval Ford, LLC  
Garber Chevrolet Buick GMC, Inc.  
Garber Ford, Inc.  
Gator Moto Utility Vehicles and More, LLC  
Holler Imports of Winter Park, Inc. dba Holler Honda  
Myers Auto Group SHF LLC  
Palm Beach Autoplex, LLC  
Roberts Motor Company, Inc. dba Roberts Toyota  
Tropical Ford, Inc.

**ITB25080**  
**Plumbing, Lift Station and Boiler Services**  
**All Awarded Vendors**

Apex Service Partners Holdings LLC d/b/a Frank Gay Services LLC d/b/a Frank Gay Commercial Services  
EAASY US Holdco LLC  
Modern Plumbing Industries, Inc.  
Michigan Pumps & Electric Motors Repair Corp.



## City of Apopka CITY COMMISSION STAFF REPORT

**Section:** BUSINESS (Action Item)

**Item #:** 1.

**Meeting Date:** July 1, 2026

**Department:** Community Development

**SUBJECT:**

**Quasi-Judicial - The Ridge Phase 3 - Major Development Plan**

**ACTION ITEM INFORMATION:**

Owner(s): Apopka Centerline Development, LLC

Applicant: VHB c/o James R. Hoffman, P.E.

Parcel Number(s): 17-21-28-7345-01-000

Location: Southeast corner of Binion Road and Boy Scout Road

Future Land Use (FLU): Mixed-Use

Zoning: PD (Planned Development)

Existing Use: Vacant

Proposed Use(s): 363 Multi-family units

Tract Size: 13.23 +/- acres

Intensity: 0.2 floor area ratio

**REQUEST:**

Approve the Ridge Phase 3 — Major Development Plan

**SUMMARY:**

**ZONING REPORT**

This chart includes the relationships to adjacent properties.

Direction	Future Land Use	Zoning	Present Use
North	Commercial	PD (Planned Development)	Vacant
East	Industrial	I-L (Light Industrial)	Northwest (Industrial) Distribution Center
South	Future Land Use - in Progress	T (Transitional)	Vacant
West	Mixed-Use	PD (Planned Development)	The Ridge Stormwater Pond and Amenity Parcel 8

**PROJECT SUMMARY:**

The applicant requests approval of a Major Development Plan (MDP) for The Ridge PD – Parcel 3, which is part of The Ridge Planned Development (The Ridge PD). The proposed project consists of a multi-family residential community on the western half of Parcel 3, together with the extension of Bronson Lake Drive. The Ridge PD was established by Ordinance No. 2858 on July 21, 2021, which rezoned the original Ridge property to Planned Development and approved development to occur consistent with the approved Master Plan and PD Agreement. The Ridge PD was subsequently amended by Ordinance No. 2938 on July 27, 2022, which modified the approved PD and expanded the overall development area. As amended, The Ridge PD remains subject to the approved Master Plan, amended development program, PD Agreement, and applicable provisions of the City’s Land Development Code.

The proposed multi-family development includes 363 multi-family dwelling units within 11 apartment buildings, along with a clubhouse/leasing building, pool, internal access drives, parking areas, sidewalks, landscaping, utilities, and related site improvements. The proposed development is consistent with the Ridge PD Master Plan and Ordinance No. 2938 and does not alter the intended land uses or allocated capacities established for Parcel 3.

Parcel 3 is located within the approved Ridge PD, which was established for a mixed-use development consisting of residential, commercial, office, industrial, open space, recreation, stormwater, and supporting infrastructure uses. The overall Parcel 3 area encompasses approximately 30.49 acres. Of this area, approximately 14.37 acres are allocated for the proposed apartment development. The remainder of Parcel 3 is identified for future commercial/office development and will be reviewed under a separate Major Development Plan. The total development capacity for Parcel 3 shall remain subject to the approved Ridge PD Master Plan and PD development program.

As part of this MDP, Bronson Lake Drive will be extended from its previously constructed terminus to connect to Ocoee Apopka Road. The roadway extension is proposed to be publicly dedicated and will include associated roadway construction, sidewalks, landscaping, utility coordination, and stormwater drainage improvements. The plans also show proposed cross-access and pedestrian connections to the future commercial/office portion of Parcel 3, as well as pedestrian connections toward Parcel 8 and the community park area.

#### Open Space and Amenity

The Ridge PD includes a larger open space, recreation, and pedestrian system intended to serve the overall mixed-use development. The approved PD Master Plan identifies Parcel 8 as the lake/recreation area and central amenity area for the development. The PD also contemplates recreational amenities and pedestrian/bicycle connections throughout the development, including trail improvements along major roadways and internal connections between residential, commercial, and open space areas.

For Parcel 3, the proposed multi-family development includes a clubhouse/leasing building, pool, sidewalks, landscaping, and pedestrian connections that support the residential community and connect the project to surrounding development areas. The plans also identify a pedestrian connection to the future commercial/office portion of Parcel 3 and a pedestrian connection toward Parcel 8, which is identified as the community park area. The community park is shown as being under separate application. Therefore, any improvements associated

with Parcel 8 or the larger community park area will be reviewed separately, as applicable. Final details regarding required open space, recreation areas, landscaping, sidewalks, pedestrian connections, and any phase-specific amenities will continue to be reviewed through Construction Plan approval for consistency with the approved PD Master Plan, PD Agreement, Land Development Code, and applicable City requirements.

### Transportation and Access

The Ridge PD is planned with an internal roadway system and multiple access points intended to distribute traffic throughout the development and connect the residential, commercial, office, industrial, open space, and recreation areas. The approved PD Master Plan identifies connections to Boy Scout Road, Ocoee Apopka Road, Binion Road, and internal PD roadways. Bronson Lake Drive was contemplated as a parallel facility to Boy Scout Road and is intended to help accommodate and distribute project traffic within this portion of The Ridge PD. The Parcel 3 MDP includes the extension of Bronson Lake Drive from its previously constructed terminus to Ocoee Apopka Road, creating an important connection among Boy Scout Road, Ocoee Apopka Road, and the larger Ridge PD. The extension will serve the proposed multifamily development and is supplemented by internal access drives, parking areas, cross-access, as well as, pedestrian connections to the future commercial/office development on the remainder of Parcel 3, Bronson Lake Drive, and Parcel 8.

The plans also identify proposed turn lane improvements along Ocoee Apopka Road. During the Development Review Committee meeting, staff and the applicant specifically discussed that final turn lane requirements would be further evaluated during Construction Site Plan review. Consistent with that discussion, Note 1 on the Master Site Plan & Site Data sheet states: "Subject to determination of the posted speed limit on Boy Scout Road, a right-turn lane may be required prior to Construction Site Plan (CSP) approval if speed limit equals or exceeds 35 MPH." The Boy Scout Road Speed Zone Study recommends reducing the posted speed limit on Boy Scout Road from Binion Road to Ocoee Apopka Road from 45 miles per hour to 35 miles per hour. Accordingly, final roadway design, driveway configuration, turn lane requirements, sidewalk connections, emergency access, parking layout, utility coordination, and other traffic-related improvements will continue to be reviewed through Construction Site Plan approval and other applicable permitting.

### Stormwater Management

The project will utilize an existing permitted stormwater management pond constructed as part of The Ridge PD master infrastructure. According to the applicant's project scope, the existing stormwater facility has been designed with sufficient capacity to accommodate runoff from the proposed Parcel 3 development. The Bronson Lake Drive extension will include stormwater drainage infrastructure, and the proposed roadway drainage system will connect into and function as part of the existing Bronson Lake Drive drainage system. The grading, drainage, and utility plans show proposed storm sewer, sanitary sewer, water main, reclaimed water, fire service, fire hydrants, and related utility improvements to serve the development. The plans also identify existing stormwater areas, an existing lake, a preliminary wetland line, previously approved wetland line and wetland buffer, and a potential wetland impact of approximately 0.25 acres. Stormwater, grading, drainage, erosion control, wetland impacts, utility connections, and related infrastructure shall be reviewed in detail during Construction Plan approval. Final engineering plans must demonstrate consistency with the approved PD Master Plan, PD Agreement, City standards, and all applicable local, regional, state, and federal permitting requirements, including any applicable St. Johns River Water Management District requirements.

### Findings

The Development Review Committee finds that the applicant has demonstrated competent, substantial evidence that:

1. The proposed development and uses in the development plan comply with Article 3: Zoning Districts, and Article 4: Use Regulations;
2. The development proposed in the development plan and its general layout and design comply with all the standards in Article 5: Development Standards, and Article 6: Environmental Standards;
3. The development proposed in the development plan complies with all conditions of approval in any development approval or permit to which the plan is subject; and
4. The development proposed in the development plan complies with all other applicable standards in this LDC and all other City regulations; and
5. If any part of the development plan requires a plat, the plat is approved in accordance with Sec. 2.5.2.B, Plat (Subdivision), and is in substantial conformance with the development plan.

Final technical compliance with engineering, utility, drainage, fire access, and construction details will be addressed through Construction Plan review and permitting. Approval of the Major Development Plan does not authorize construction.

**SCHOOL PLANNING**

The project will be served by Wheatley Elementary School, Wolf Lake Middle School, and Wekiva High School. According to the Orange County Public Schools Capacity Encumbrance Letter and detailed capacity analysis, high school capacity is available for the project; however, elementary and middle school capacity are deficient. The analysis identifies a deficiency of 91.956 seats at the elementary school level and 44.588 seats at the middle school level, with no high school seat deficiency identified. The applicant provided the executed School Concurrency Mitigation Agreement and related amendments for The Ridge PD. According to the applicant, the agreement reserved and provided mitigation for 678 multi-family units within The Ridge PD. Of those units, 304 multi-family units were previously allocated to other parcels in the PD, leaving 374 multi-family units reserved for The Ridge PD – Parcel 3 MDP. The proposed 363 multi-family dwelling units are within the remaining reserved multi-family capacity identified by the applicant.

**ORANGE COUNTY NOTIFICATION**

Orange County was notified at the time of the site plan submittal for this property through the DRC agenda distribution.

**PUBLIC HEARING SCHEDULE**

June 9, 2026 – Planning Commission (5:30 PM)  
July 1, 2026 – City Council (1:30 PM)

FUNDING SOURCE:  
N/A

**Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

**FUNDING SOURCE:**

N/A

**RECOMMENDED MOTION:**

**DEVELOPMENT REVIEW COMMITTEE (DRC):**

On June 3, 2026, the Development Review Committee recommended approval of The Ridge Phase 3 – Major Development Plan at its meeting, and found it consistent with the Comprehensive Plan and Land Development Code based upon the findings and facts presented in the staff report and exhibits.

**PLANNING COMMISSION:**

At its meeting on June 9, 2026, the Planning Commission found the proposed The Ridge Phase 3 — Major Development Plan consistent with the Comprehensive Plan and Land Development Code, and voted 4-2 to recommend approval of the Major Development Plan based upon the findings and facts presented in the staff report and exhibits. Planning Commissioners David Woods and Malika Harrison dissented. Discussion prior to the vote included transportation, access, and roadway improvement considerations associated with the project and the larger Ridge PD.

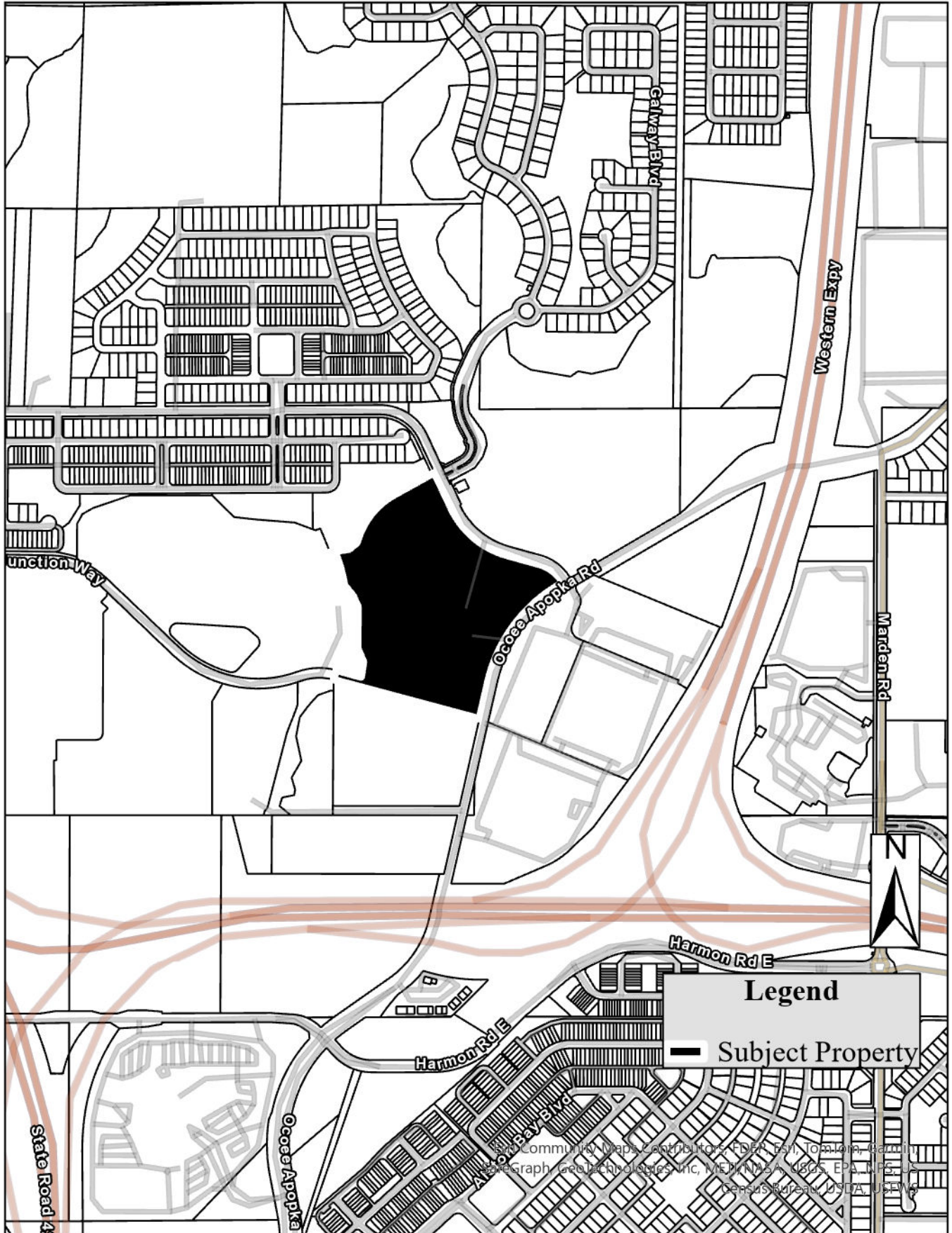
**CITY COMMISSION:**

Find the proposed The Ridge Phase 3 — Major Development Plan consistent with the Comprehensive Plan and Land Development Code, and approve the Major Development Plan based upon the findings and facts presented in the staff report and exhibits.

**ATTACHMENTS:**

1. The Ridge PD Parcel 3 - Map Series
2. The Ridge PD Parcel 3 - MDP
3. Ord. No. 2938
4. Ord. No. 2858
5. The Ridge PD - Master Plan (Revised)
6. Boy Scout Road Speed Zone Study 021825
7. The Ridge PD Parcel 3 - OCPS Capacity Encumbrance
8. The Ridge PD Parcel 3 - OCPS School Conc Amendment

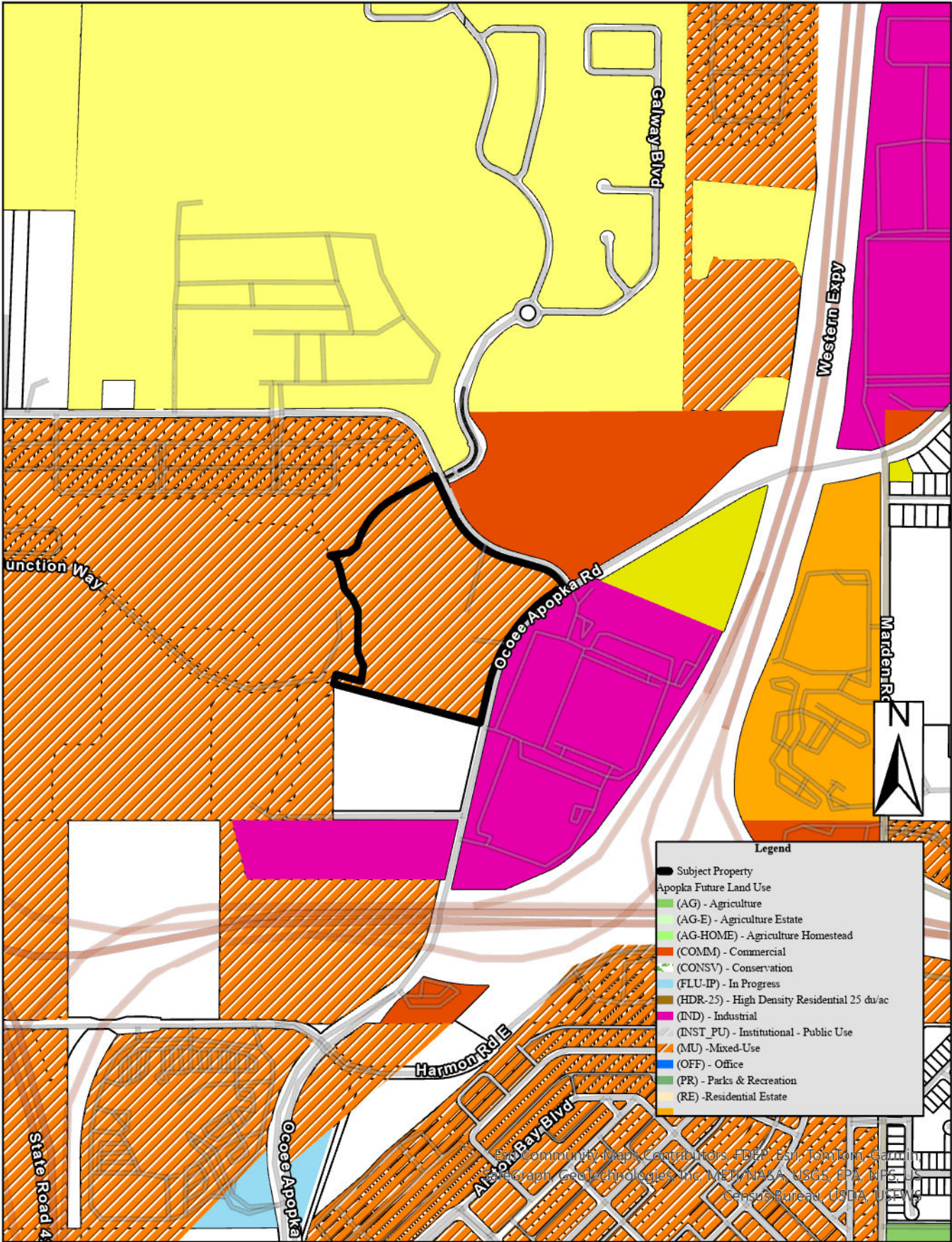
# Vicinity



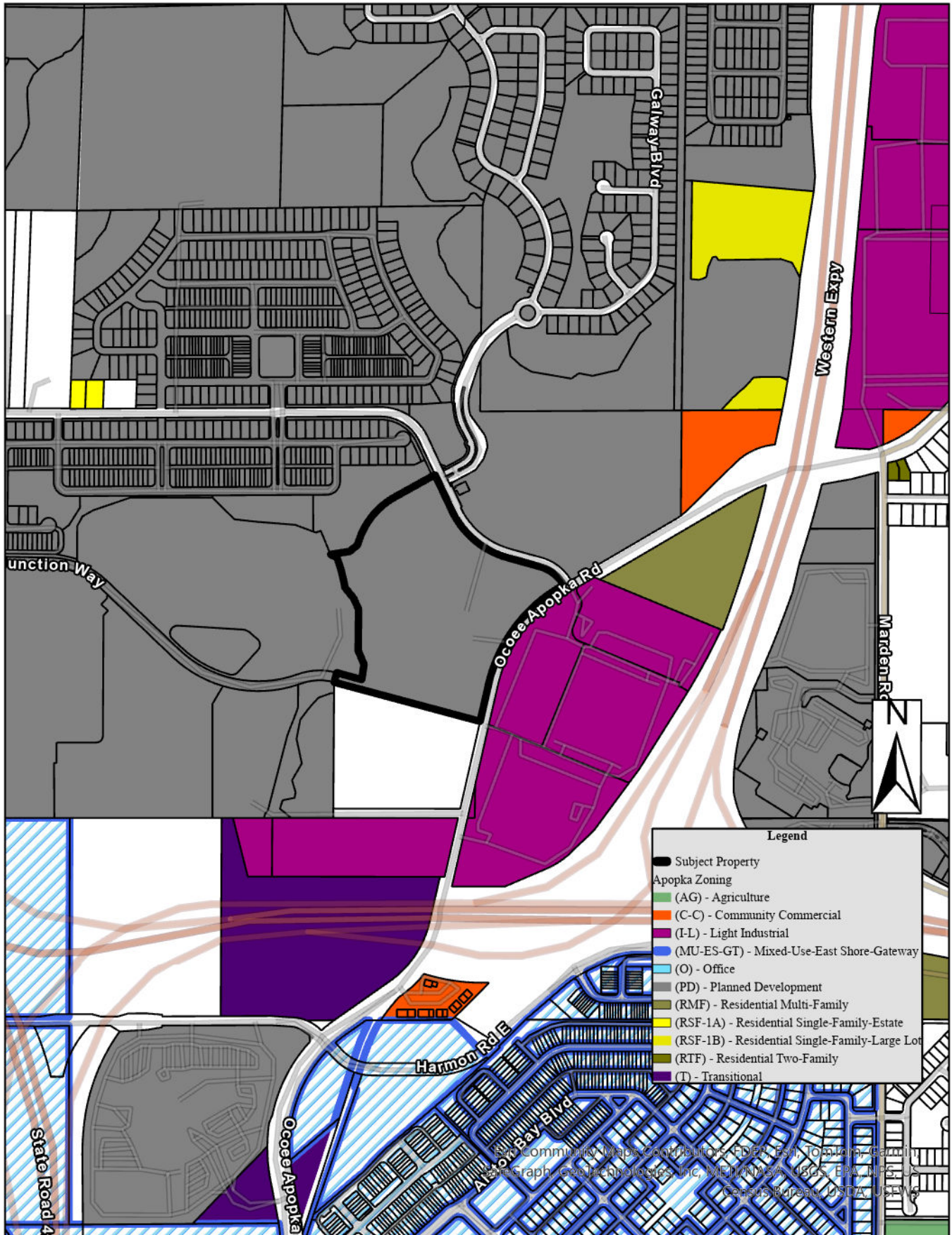
# Aerial



# Future Land Use



# Zoning

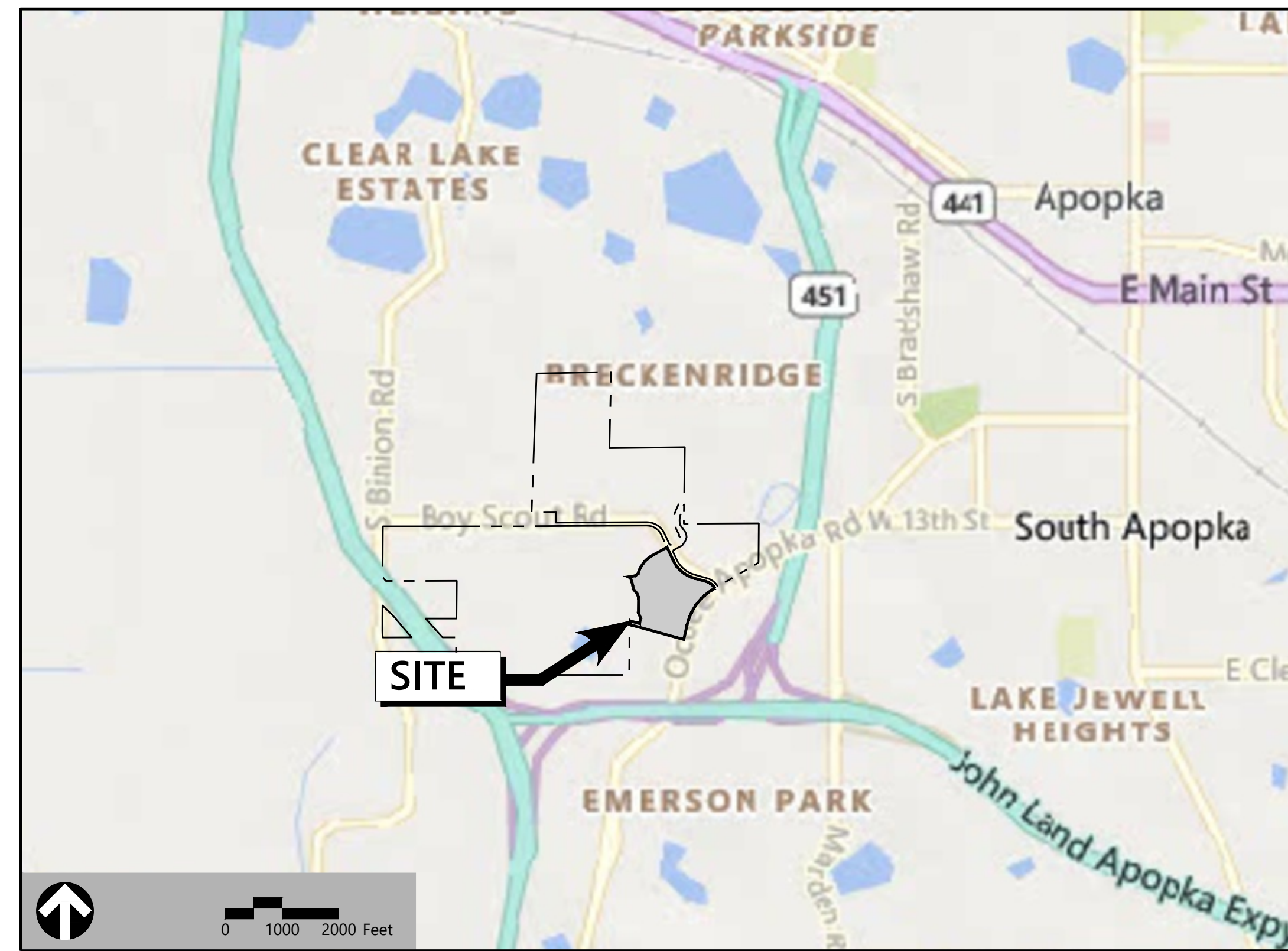


# Major Development Plan

Issued for Major Development Plan Approval  
 Date Issued February 20, 2026  
 Latest Issue May 1, 2026

## The Ridge PD - Parcel 3

City of Apopka, Florida  
 Parcel IDs: 17-21-28-7345-03-000



225 E. Robinson Street  
 Suite 300  
 Orlando, FL 32801  
 407.839.4006  
 Certificate of Authorization  
 Number FL #3932

### Owner / Applicant

Craig Perry  
 Apopka Centerline Development LLC  
 1500 Cordova Road  
 Suite 203  
 Fort Lauderdale, Florida 33316

### Sheet Index

No.	Drawing Title	Latest Issue
C-1.1	Existing Conditions Plan	March 05, 2026
C-2.0	Overall PD Site Plan	May 01, 2026
C-2.1	Master Site Plan & Site Data	May 01, 2026
C-3.0	Grading, Drainage & Utilities Plan	May 01, 2026
C-4.0	Typical Sections & Details	May 01, 2026
C-5.0	Fire Access Plan	March 05, 2026
C-6.0	Layout & Materials Plan	May 01, 2026

### Civil Engineer

VHB  
 John Prowell  
 225 E. Robinson Street  
 Suite 300  
 Orlando, Florida 32801  
 P 407-839-4006 - F 407-839-4008

### Surveyor

Allen & Company  
 Jim Rickman  
 16 E. Plant Street  
 Winter Garden, Florida 34787  
 P 407-654-5355

### Geotech

Tierra, Inc  
 591 Susan B. Britt Court  
 Winter Garden, Florida 34787  
 P 407-877-1354 - F 407-654-7347

### Environmental

Bio-Tech Consulting Inc.  
 Mark Ausley  
 3025 E. South Street  
 Orlando, Florida 32803  
 P 407-894-5969 - F 407-894-5970

### Reference Drawings

No.	Drawing Title	Latest Issue
L-1.0 - L-3.0	Landscape Plans	February 20, 2026
Shts. 1-6	Topographic, Underground Utility and Tree Survey	December 09, 2025
A6.11	Building Elevations	December 03, 2025

### PROJECT SCOPE

THE RIDGE PD - PARCEL 3 PROJECT CONSISTS OF THE DEVELOPMENT OF A MULTI-FAMILY RESIDENTIAL COMMUNITY ON THE WESTERN HALF OF THE SUBJECT PARCEL AS WELL AS THE EXTENSION OF BRONSON LAKE DRIVE. THE PARCEL IS LOCATED WITHIN THE RIDGE PLANNED DEVELOPMENT (RIDGE PD). THE OVERALL PARENT PARCEL ENCOMPASSES APPROXIMATELY 30.49 ACRES, OF WHICH APPROXIMATELY 14.37 ACRES ARE ALLOCATED FOR THE PROPOSED APARTMENT DEVELOPMENT.

AS PART OF THIS PROJECT, BRONSON LAKE DRIVE WILL BE EXTENDED FROM ITS PREVIOUSLY CONSTRUCTED TERMINUS AND CONNECT TO OCOEE APOPKA ROAD. THE ROADWAY EXTENSION WILL INCLUDE ALL ASSOCIATED IMPROVEMENTS INCLUDING ROADWAY CONSTRUCTION, SIDEWALKS, LANDSCAPING, AND STORMWATER DRAINAGE INFRASTRUCTURE. THE PROPOSED ROADWAY DRAINAGE SYSTEM WILL CONNECT INTO AND FUNCTION AS PART OF THE EXISTING BRONSON LAKE DRIVE DRAINAGE SYSTEM.

THE PROPOSED MULTI-FAMILY DEVELOPMENT WILL CONSIST OF 11 APARTMENT BUILDINGS (363 MULTI-FAMILY DWELLING UNITS) AND A CLUBHOUSE BUILDING, ALONG WITH ASSOCIATED SITE IMPROVEMENTS INCLUDING INTERNAL ACCESS DRIVES, PARKING AREAS, SIDEWALKS, LANDSCAPING AND SUPPORTING INFRASTRUCTURE NECESSARY TO SERVE THE RESIDENTIAL COMMUNITY.

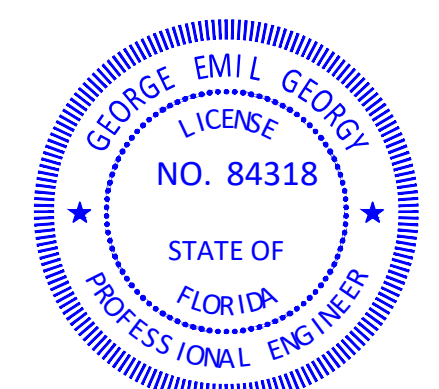
THE REMAINDER OF PARCEL 3 IS REFERRED TO AS PARCEL 3 COMMERCIAL AND WILL BE DEVELOPED AND PERMITTED UNDER A SEPARATE MAJOR DEVELOPMENT PLAN (MDP).

THE PROPOSED 363 DU MULTI-FAMILY DEVELOPMENT ON THE WESTERN PORTION OF PARCEL 3 IS CONSISTENT THE RIDGE PD MASTER PLAN AND ORDINANCE No. 2938 FOR THE PD REZONING. THE PROPOSED DEVELOPMENT DOES NOT ALTER THE INTENDED LAND USES AND ALLOCATED CAPACITIES ESTABLISHED IN THE APPROVED PD DEVELOPMENT PROGRAM FOR PARCEL 3.

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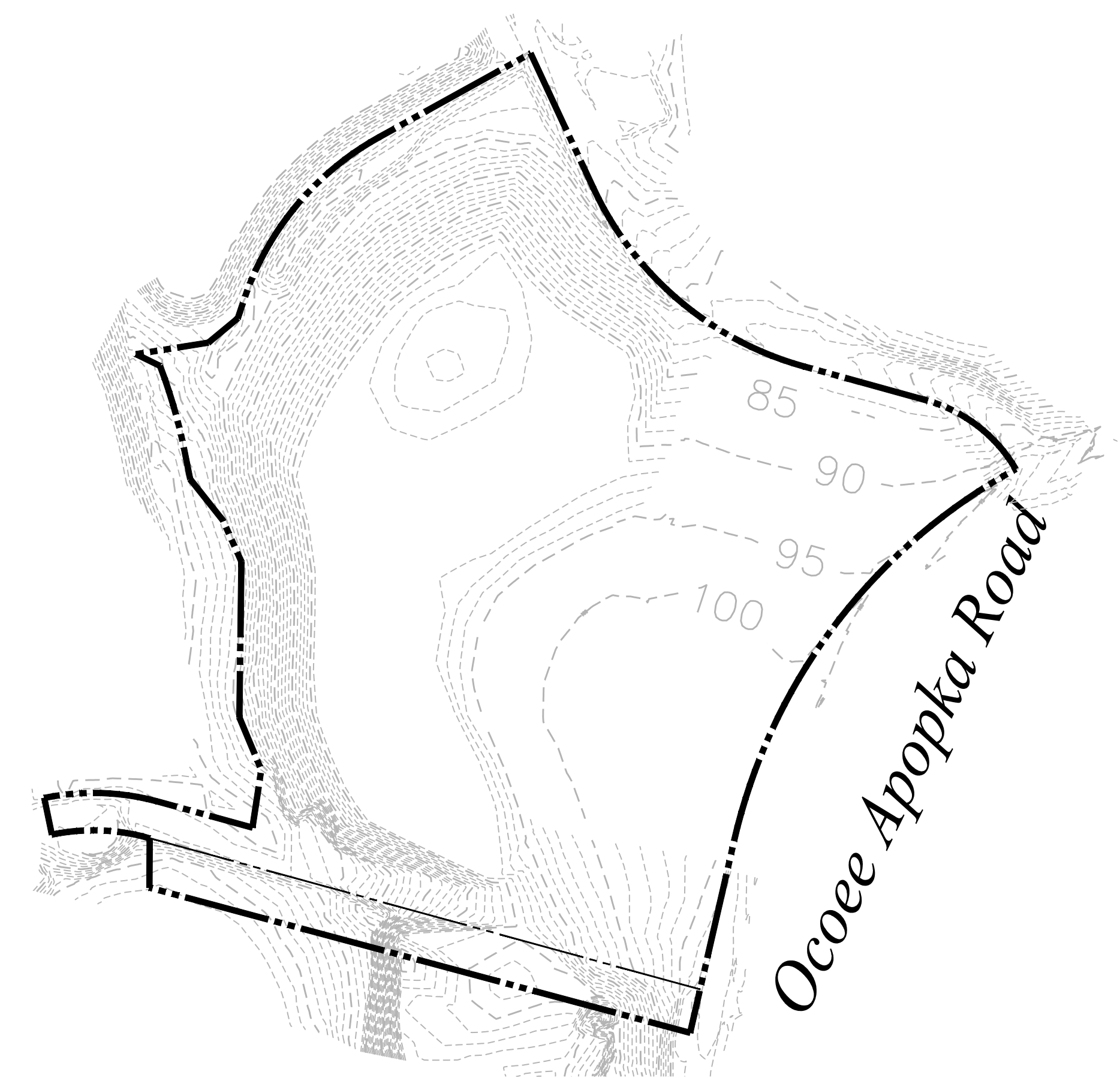
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George E. Georgy, P.E.  
 P.E. # 84318  
 DATE: May 02, 2026



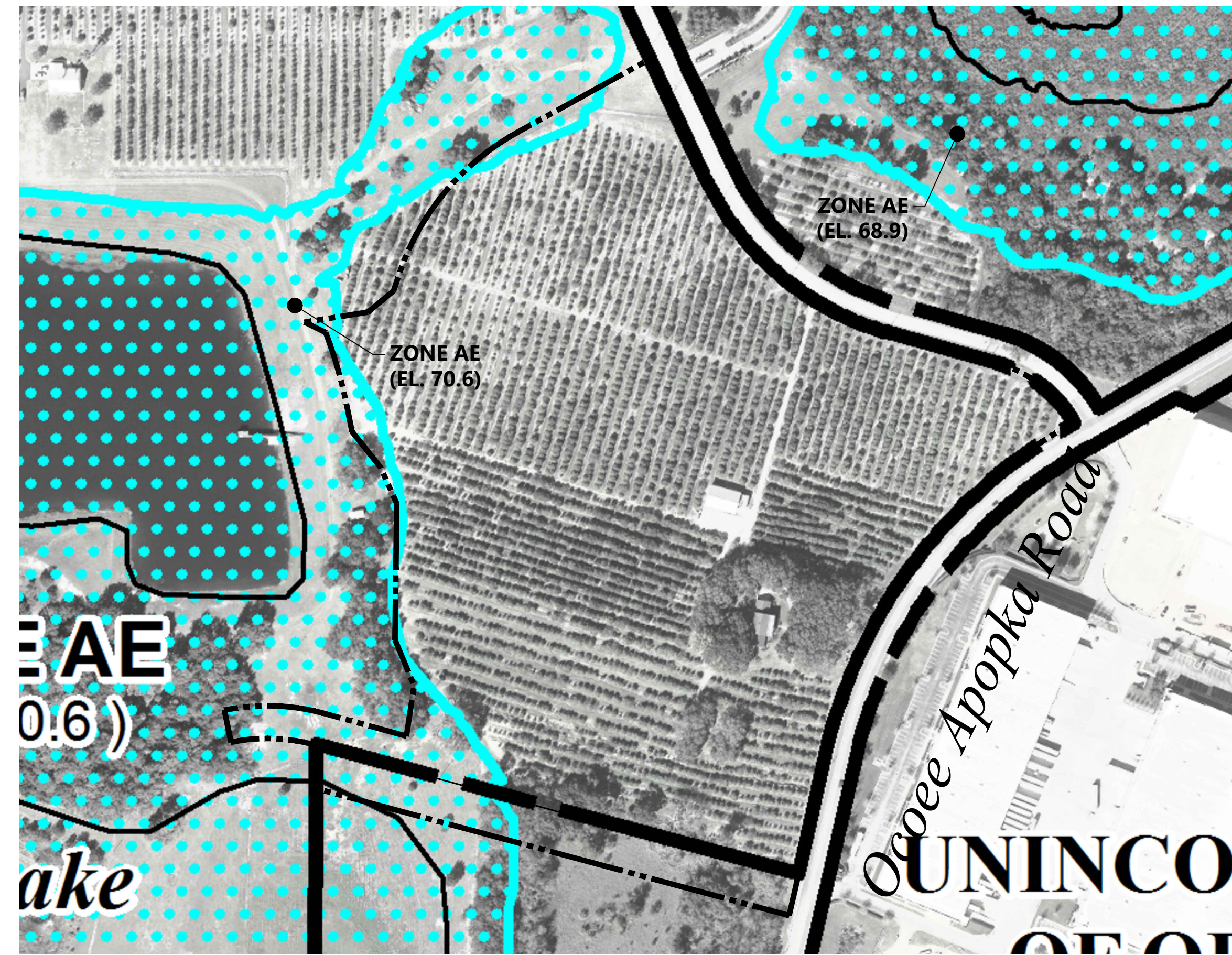
225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932



**TOPOGRAPHY MAP**  
(NAVD 88)

**LEGEND**  
 - - - - - PROJECT BOUNDARY  
 --- TOPOGRAPHIC CONTOUR

CONTOUR SOURCE:  
ON SITE: ALLEN & COMPANY, JAN. 2026  
OFF SITE: ORANGE COUNTY GIS, 2014

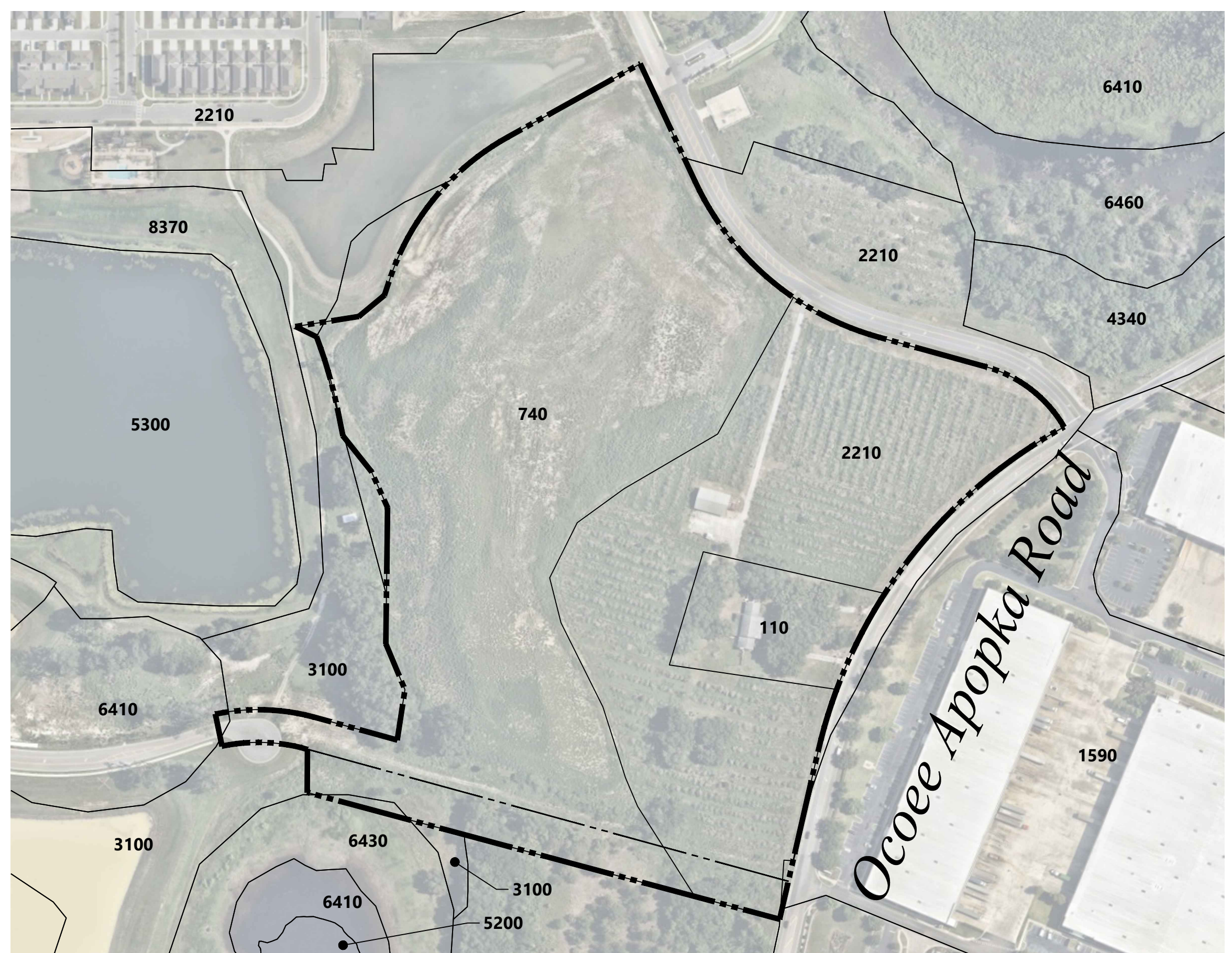


**FLOODPLAIN MAP**  
FEMA MAP SERVICE CENTER, FIRM PANEL  
12095C0120H, DATED SEPTEMBER 24, 2021

**LEGEND**  
 - - - - - PROJECT BOUNDARY  
 [Pattern] SPECIAL FLOOD HAZARD AREA

**FIRM PANEL LEGEND**  
 ZONE A NO BASE FLOOD ELEVATIONS DETERMINED  
 ZONE AE BASE FLOOD ELEVATIONS DETERMINED  
 SPECIAL FLOOD HAZARD AREAS SUBJECT TO  
 INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT  
 ZONE X AREAS DETERMINED TO BE OUTSIDE THE  
 0.2% ANNUAL CHANCE FLOODPLAIN

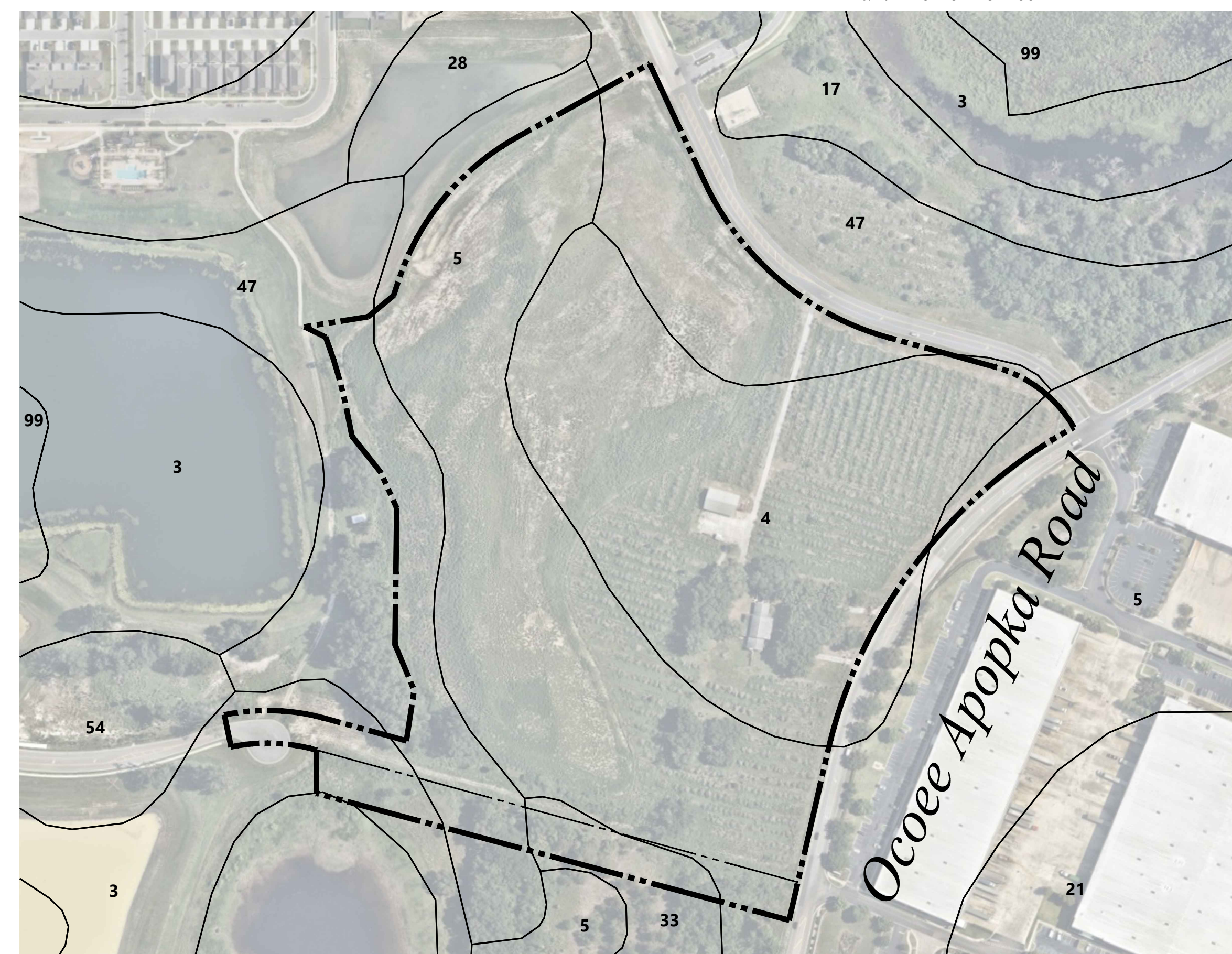
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**AERIAL & EXISTING LAND USE MAP**

**LEGEND**  
 - - - - - PROJECT BOUNDARY  
 --- FLUCFCS LIMITS

CODE	DESCRIPTION
740	RESIDENTIAL, LOW DENSITY
1590	DISTURBED LANDS
2210	INDUSTRIAL UNDER CONSTRUCTION
3100	CITRUS GROVES
3100	HERBACEOUS UPLAND NONFORESTED
4340	UPLAND MIXED CONIFEROUS/HARDWOOD
5200	LAKES
5300	RESERVOIRS - PITS, RETENTION PONDS, DAMS
6410	FRESHWATER MARSHES
6430	WET PRAIRIES
6460	MIXED SCRUB-SHRUB WETLAND
8370	SURFACE WATER COLLECTION BASINS

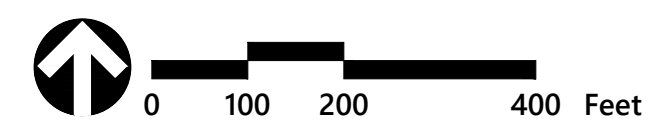


**SOILS MAP**

**LEGEND**  
 - - - - - PROJECT BOUNDARY  
 --- SOILS BOUNDARY

SOIL CODE	DESCRIPTION
3	BASINGER FINE SAND, FREQUENTLY PONDED, 0 TO 1 PERCENT SLOPES
4	CANDLER FINE SAND, 0 TO 5 PERCENT SLOPES
5	CANDLER FINE SAND, 5 TO 12 PERCENT SLOPES
17	FLORIDANA MUCKY FINE SAND, FREQUENTLY PONDED, 0 TO 1 PERCENT SLOPES
21	LAKE FINE SAND, 0 TO 5 PERCENT SLOPES
28	FLORAHOME FINE SAND, 0 TO 5 PERCENT PERCENT SLOPES
33	PITS
47	TAVARES-MILLHOPPER FINE SANDS, 0 TO 5 PERCENT SLOPES
54	ZOLFO FINE SAND, 0 TO 2 PERCENT SLOPES
99	WATER

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**The Ridge PD Parcel 3**

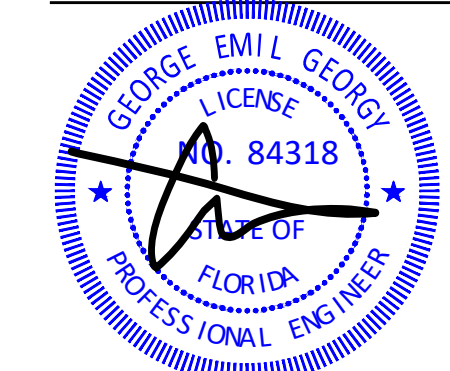
Apopka, Florida

No.	Revision	Date	Appr.
1	MDP DRC Comments	05/01/2026	

Designed by: C/JM Checked by: GEG  
 Issued for: Major Development Plan Approval Date: March 05, 2026

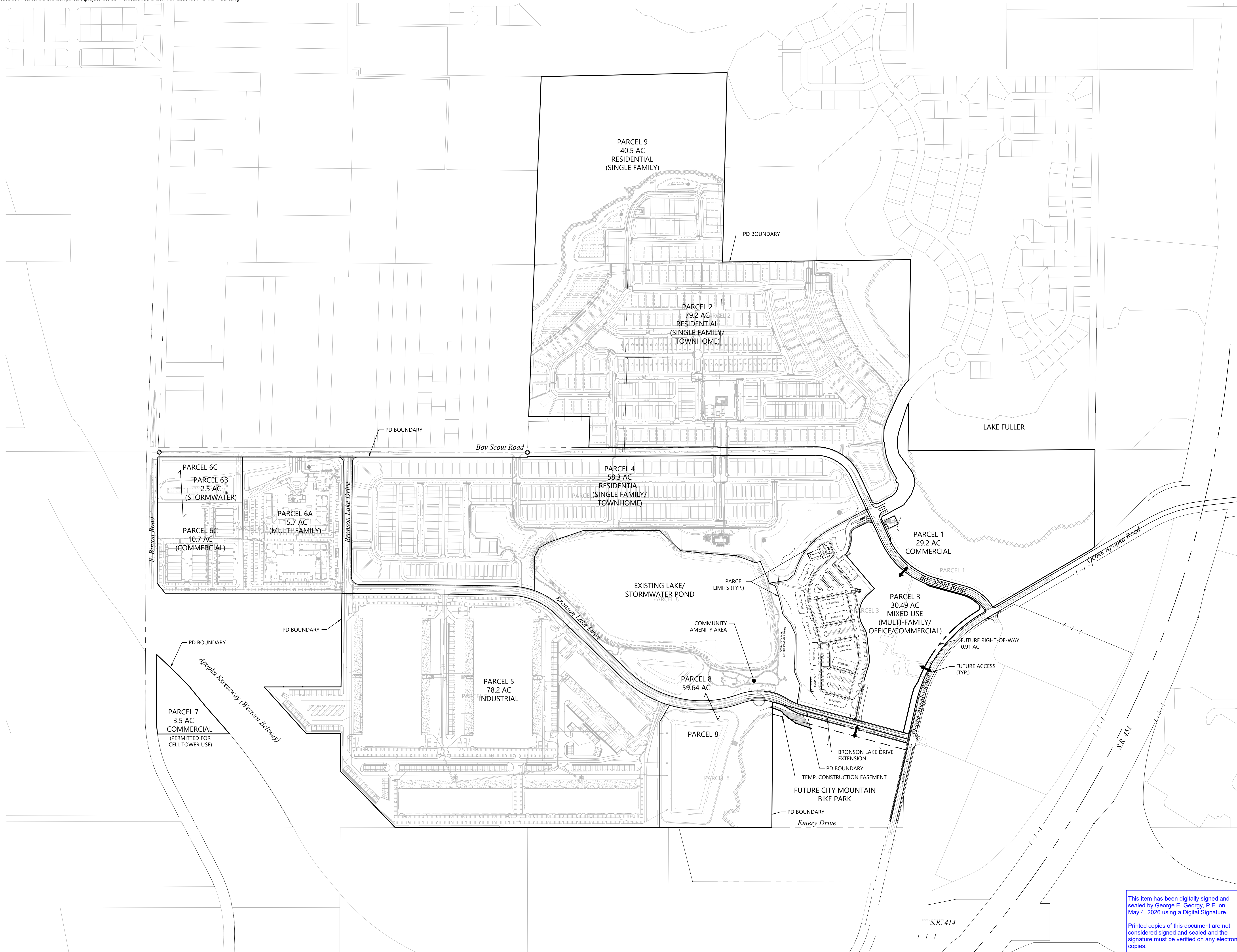
Not Approved for Construction  
 Existing Conditions Plan

Vertical Datum NAVD 1988

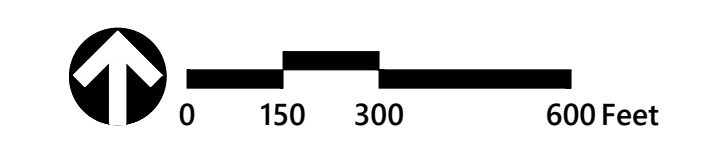


**C-1.1**  
 Sheet of

George E. Georgy, P.E.  
 P.E. # 84318  
 DATE: May 02, 2026  
 Project Number: 63534.011



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### The Ridge PD Parcel 3

Apopka, Florida

No.	Revision	Date	Appr'd.
1	MDP DRC Comments	05/01/2026	

Designed by: CJM Checked by: GEG

Issued for: Major Development March 05, 2026

Plan Approval Not Approved for Construction

Drawing Title: Overall PD Site Plan

Vertical Datum NAVD 1988 Drawing Number



**C-2.0**  
Sheet of

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George E. Georgy, P.E.  
P.E. # 84318  
DATE: May 02, 2026 Project Number: 63534.011

**GENERAL SITE DATA:**

**GENERAL:**

ZONING	PD
PROPOSED MULTIFAMILY UNITS	363 DU
1-BEDROOM	15 DU/BLDG
2-BEDROOM	18 DU/BLDG
NUMBER OF BUILDINGS	11
TOTAL PROJECT ACRES	30.49 Ac.
MULTIFAMILY ACRES	14.37 Ac.
FUTURE DEVELOPMENT (COMMERCIAL) ACRES	14.27 Ac.
BRONSON LAKE DRIVE	0.91 Ac.
FUTURE OCOEE APOPKA ROAD ROW	0.94 Ac.
TOTAL NET DEVELOPABLE ACRES	28.64 Ac.
NET DENSITY (RESIDENTIAL)	25.26 DU/AC.

DEVELOPMENT PLAN CHART		
PARCEL ID NUMBERS	17-21-28-7345-03-000	
FUTURE LAND USE	MU MIXED USE	
ZONING	PD	
ADJACENT FUTURE LAND USE	NORTH (CITY): COMM - COMMERCIAL, RL - RESIDENTIAL LOW EAST (CITY): IND - INDUSTRIAL SOUTH (CITY): R - RURAL WEST (CITY): MIXED USE	
ADJACENT ZONING	NORTH (CITY): PD EAST (CITY): I-L - LIGHT INDUSTRIAL SOUTH (CITY): A-1 - CITRUS RURAL WEST (CITY): PD	
BUILDING HEIGHT - MULTIFAMILY (PER PD):	PROPOSED: 3 STORIES	MAX: 5 STORIES/65'
MIN BLDG SETBACKS - MULTIFAMILY (PER PD):		
FRONT PRIMARY STRUCTURE	15'	
SIDE	10'	
CORNER PRIMARY	20'	
REAR PRIMARY	25'	
BUILDING SEPARATION	20'	
BUILDING HEIGHT - COMMERCIAL (PER PD):	PROPOSED: N/A	MAX: 50'
MIN BLDG SETBACKS - COMMERCIAL (PER PD):		
FRONT PRIMARY STRUCTURE	15'	
SIDE	10'	
CORNER PRIMARY	20'	
REAR PRIMARY	10'/30' (ADJACENT TO RESIDENTIAL)	
PARKING SPACES - MULTIFAMILY	PROVIDED: 507 (14 ACCESSIBLE)	
TOTAL OPEN SPACE - MULTIFAMILY	PROPOSED: 6.12 AC	REQ'D: 0.00 AC (per MDP)
TREE MITIGATION (SPECIMEN) - MULTIFAMILY	PROPOSED: 0.00 INCHES	REQ'D: 0.00 IN (per MDP)
WAIVER REQUEST	YES:	NO: X
VARIANCE REQUEST	YES:	NO: X

Green Building Standards - Parcel 6		
Item	Points	Notes
Minimum Points Required	4	4.0 points required for Residential Development greater than 30 units.
Use central air conditioners that are Energy Star qualified	0.5	
Create a soil management plan for development site that promotes stormwater infiltration through improved organic matter content, reduced compaction levels, and increased infiltration capacity	0.5	The entire site is designed to drain to retention pond that will fully recover through infiltration.
Use vegetation or vegetated structures to shade HVAC units.	0.25	2 shrubs per A/C unit will be shown on the final landscape plans.
Provide a minimum of two electric vehicle (EV) level 2 charging stations that are made available in a parking structure or off-street parking lot to those using the building	0.5	
Elevate new and/or existing structures more than 3 feet above base flood elevation (BFE)	2	0.50 per foot above BFE (assume 4 ft conservative)
Install operable windows to allow for natural ventilation in the event of power failures	0.25	
Total Recommended Potential Points	4.0	

**PHASING:**

THIS PROJECT WILL BE DEVELOPED IN ONE (1) PHASE

**MISCELLANEOUS:**

POTABLE WATER SERVICE:	CITY OF APOPKA
WASTEWATER, RECLAIMED SERVICE:	CITY OF APOPKA
ELECTRIC SERVICE:	DUKE ENERGY
FIRE PROTECTION:	CITY OF APOPKA
AVERAGE DAILY TRAFFIC PER ITE 210 (10TH EDITION):	2,694

**SIGNAGE:**

SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 5.10.9 OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.

**LIGHTING:**

EXTERIOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 5.6 OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.

**GARBAGE PICKUP:**

- 1) ONSITE COMPACTOR PROVIDED WITH PRIVATE PICKUP.
- 2) ANY MISCELLANEOUS GARBAGE, YARD WASTE, CONSTRUCTION DEBRIS, DEMOLITION DEBRIS, FERTILIZERS, HERBICIDES, INSECTICIDES, ETC., SHALL BE DISPOSED OF OFF-SITE ACCORDING TO THE SOLID WASTE AND HAZARDOUS WASTE REGULATIONS. USE CAUTION IF ANY HAZARDOUS WASTE IS PRESENT. CALL THE ORANGE COUNTY SOLID WASTE HOTLINE AT 407-836-6601 FOR INFORMATION.

**FIRE:**

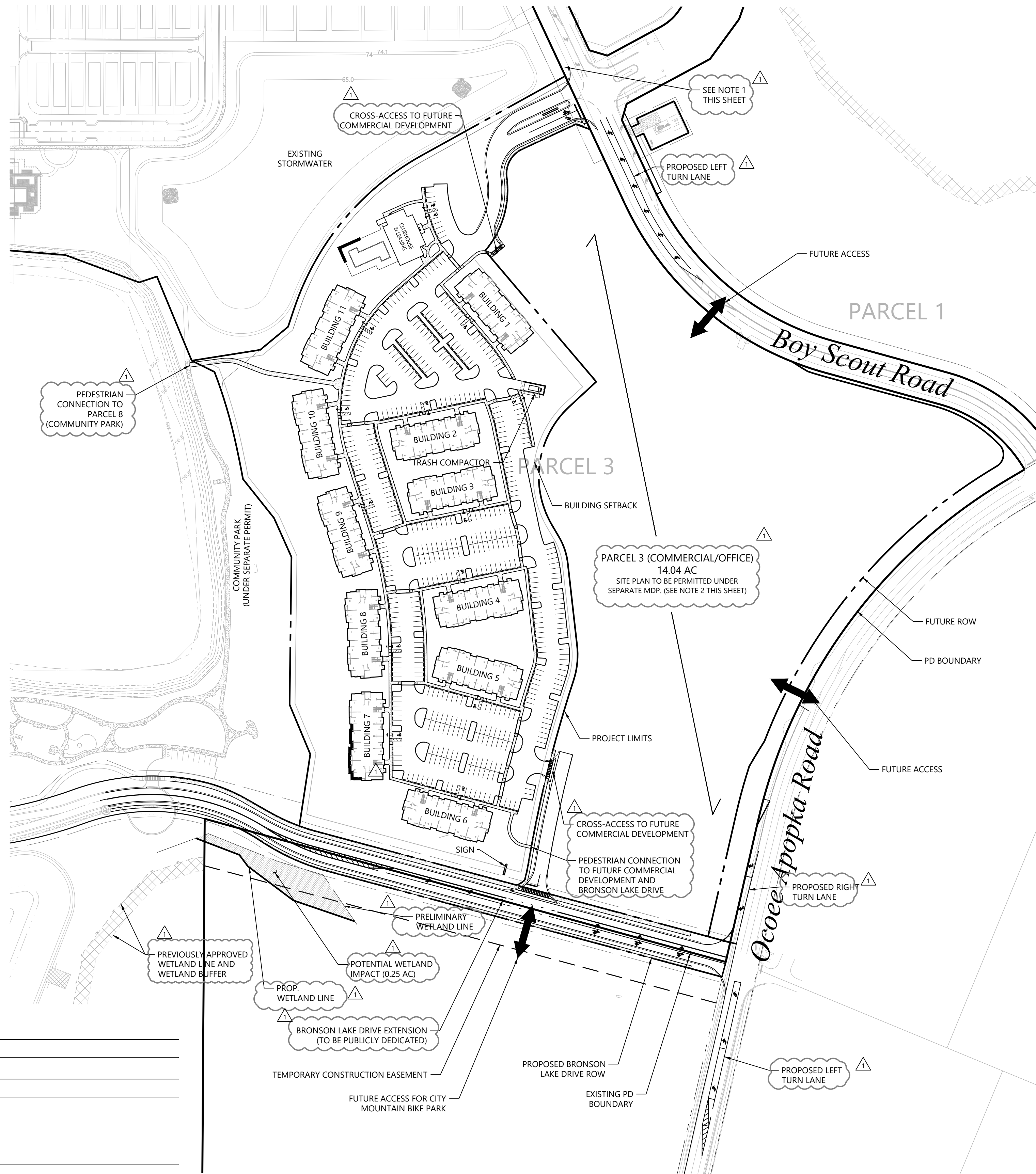
1. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE DESIGN AND CALCULATIONS MEET THE REQUIREMENTS IN THE CITY OF APOPKA CODE OF ORDINANCES AND THE FLORIDA FIRE PREVENTION CODE 5th EDITION (2012).
2. FIRE ACCESS SHALL BE FROM THE FRONT OF THE PROPOSED DWELLING UNITS. ACCESS SHALL BE IN ACCORDANCE WITH CHAPTER 18 NFPA 1 & 101, 2021 EDITION, FFPC 5TH EDITION (2020).
3. ANY COMMERCIAL STRUCTURE OR RESIDENTIAL BUILDING OF THREE OR MORE STORIES MAY BE REQUIRED TO HAVE AN AUTOMATIC FIRE SPRINKLER PROTECTION DEPENDING UPON THE BUILDING CONSTRUCTION TYPE, OCCUPANCY CLASSIFICATION, AND ADDITIONAL BUILDING OR FIRE CODE REQUIREMENTS.

**ARCHITECTURAL:**

ARCHITECTURAL DESIGN SHALL MEET THE INTENT OF THE CITY OF APOPKA'S DEVELOPMENT DESIGN GUIDELINES.

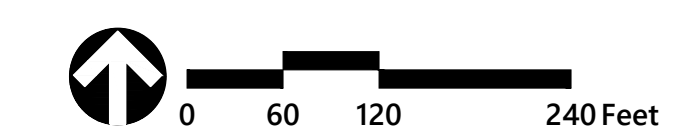
**LANDSCAPE:**

1. LANDSCAPING AND BUFFER STANDARDS SHALL BE IN ACCORDANCE WITH THE PD WHERE APPLICABLE AND WITH TABLE 5.2.5.B.3.D-1: BUFFER/ARD APPLICATION OF THE CITY OF APOPKA LAND DEVELOPMENT CODE. INTERIOR LANDSCAPE BUFFERS BETWEEN ADJUTING PROPERTY BOUNDARIES MAY HAVE A TEN (10) FOOT WIDE LANDSCAPE BUFFER. LANDSCAPING STANDARDS FOR RESIDENTIAL DEVELOPMENT SHALL ADHERE TO SECTION 5.2.2(B) OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.



- NOTES:**
1. SUBJECT TO DETERMINATION OF THE POSTED SPEED LIMIT ON BOY SCOUT ROAD, A RIGHT-TURN LANE MAY BE REQUIRED PRIOR TO CONSTRUCTION SITE PLAN (CSP) APPROVAL IF SPEED LIMIT EQUALS OR EXCEEDS 35 MPH.
  2. REMAINDER OF PARCEL 3 TO BE PERMITTED UNDER SEPARATE MAJOR DEVELOPMENT PLAN (MDP). REMAINING CAPACITY FOR THE COMMERCIAL/OFFICE DEVELOPMENT WITHIN PARCEL 3 TO BE DETERMINED IN ACCORDANCE WITH THE RIDGE PD MASTER PLAN. THE TOTAL DEVELOPMENT CAPACITY FOR THE OVERALL PARCEL SHALL NOT EXCEED THE PD DEVELOPMENT PROGRAM FOR PARCEL 3.

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**The Ridge PD Parcel 3**

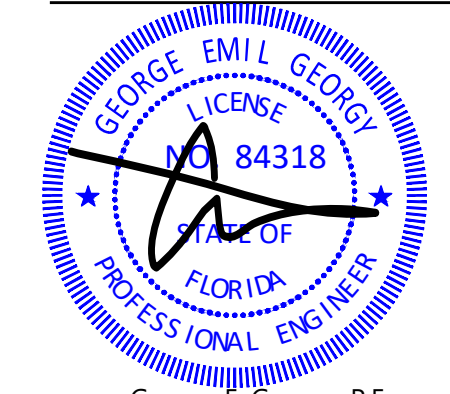
Apopka, Florida

No.	Revision	Date	Appr.
1	MDP DRC Comments	05/01/2026	

Designed by: CJM Checked by: GEG  
Issued for: Major Development Plan Approval Date: March 05, 2026

Not Approved for Construction  
Drawing Title: Master Site Plan & Site Data

Vertical Datum NAVD 1988



**C-2.1**  
Sheet of

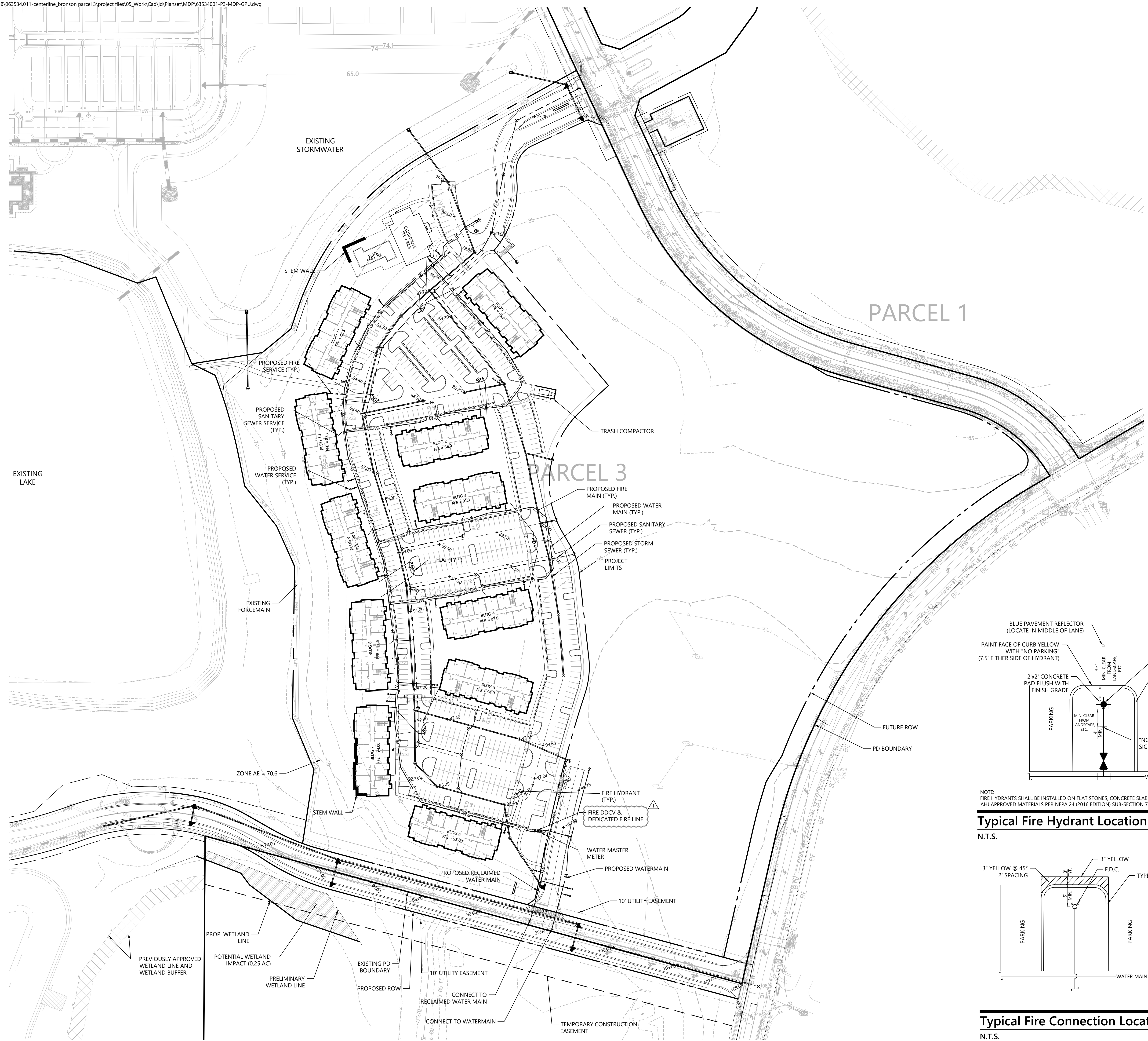
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**OWNERSHIP/MAINTENANCE:**

ROADWAYS	PRIVATE:	TO BE OWNED AND MAINTAINED BY PROPERTY OWNER
LAKE BRONSON DRIVE	PUBLIC:	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA
UTILITY EASEMENTS	PUBLIC:	TO BE DEDICATED TO THE CITY OF APOPKA
SANITARY SEWER, RECLAIMED WATER & POTABLE WATER SYSTEM	PRIVATE:	TO BE OWNED AND MAINTAINED BY PROPERTY OWNER
STORM SEWER SYSTEM	PRIVATE:	TO BE OWNED AND MAINTAINED BY PROPERTY OWNER
PARK TRACTS/OPEN SPACE/LANDSCAPE TRACTS	PRIVATE:	TO BE OWNED AND MAINTAINED BY PROPERTY OWNER



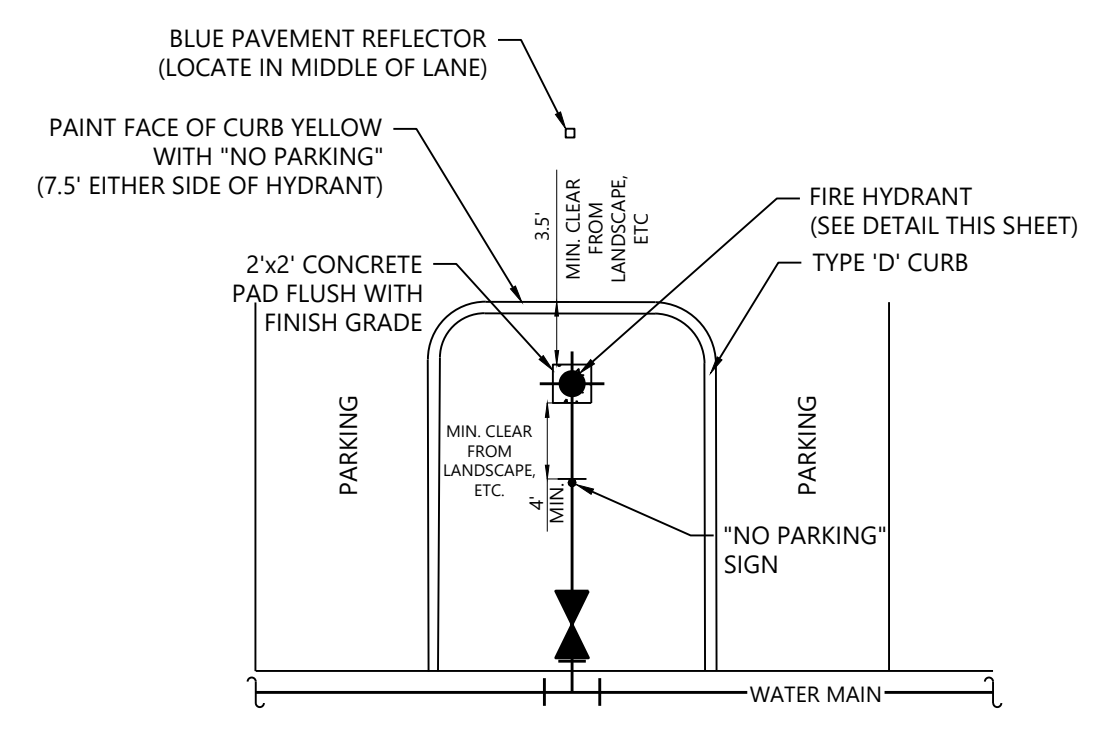
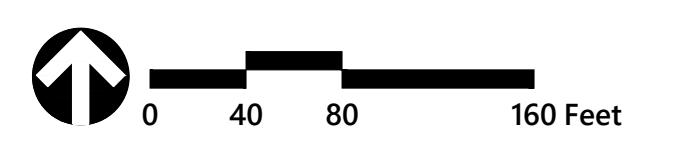
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Suite 300  
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Certificate of Authorization  
Number FL #3932



Legend	
---	PD BOUNDARY
—●—	PROPOSED STORM DRAIN, CURB INLET, MANHOLE
—●—	PROPOSED SANITARY SEWER & MANHOLE
—●—	PROPOSED WATERMAIN & GATE VALVE
—●—	PROPOSED FIRE HYDRANT ASSEMBLY
—●—	PROPOSED RECLAIMED WATER & GATE VALVE
—●—	PROPOSED DEDICATED FIRELINE
—●—	FIRE DEPARTMENT CONNECTION (FDC)

- FIRE NOTES:**
1. FIRE SPRINKLER AND FIRE ALARM ARE REQUIRED.
  2. KNOX BOX WILL BE REQUIRED PER BUILDING.
  3. HYDRANTS ARE REQUIRED WITHIN 25-FT OF FIRE DEPARTMENT CONNECTIONS (FDC).
  4. FIRE DEPARTMENT CONNECTIONS (FDC) ARE REQUIRED TO BE REMOTE FROM BUILDINGS.
  5. NO GATES PROPOSED FOR THIS MULTI-FAMILY DEVELOPMENT.
  6. NO ELEVATORS PROPOSED WITH THE PROPOSED APARTMENT BUILDINGS.

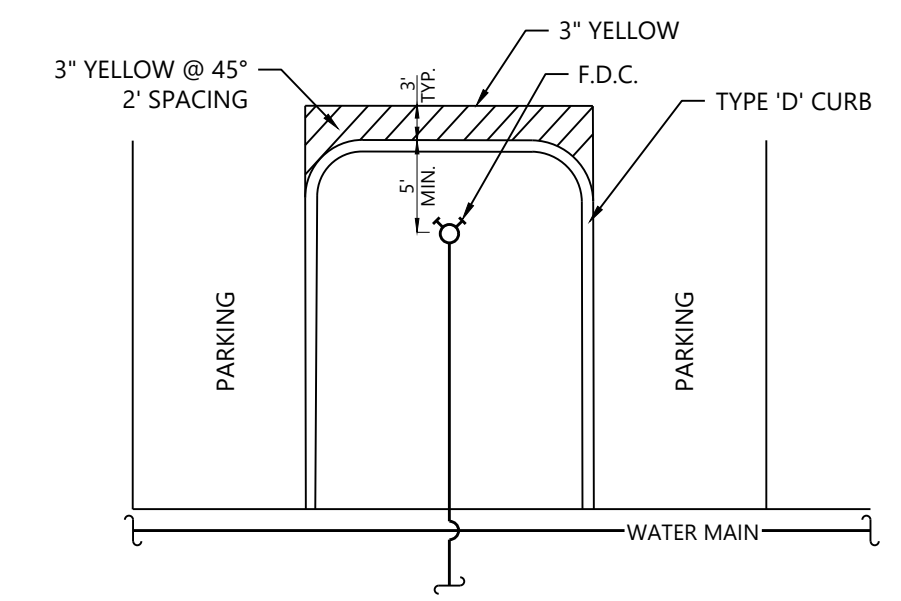
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NOTE: FIRE HYDRANTS SHALL BE INSTALLED ON FLAT STONES, CONCRETE SLABS OR OTHER AHI APPROVED MATERIALS PER NFPA 24 (2016 EDITION) SUB-SECTION 7.3.1.

**Typical Fire Hydrant Location Detail**

N.T.S.



**Typical Fire Connection Location Detail**

N.T.S.

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**The Ridge PD Parcel 3**

Apopka, Florida

No.	Revision	Date	Appr.
1	MDP DRC Comments	05/01/2026	

Designed by: CJM  
Checked by: GEG  
Issued for: Major Development Plan Approval  
Date: March 05, 2026  
Not Approved for Construction  
Drawing Title: Grading, Drainage & Utilities

Vertical Datum NAVD 1988

**C-3.0**

George E. Georgy, P.E.  
P.E. # 84318  
DATE: May 02, 2026  
Project Number: 63534.011  
Sheet of



225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932

- LEGEND:**
- 1 ASPHALT
  - 2 BASE
  - 3 SUBGRADE
  - 4 6" (IN.) STABILIZED SUBGRADE IN CURB AREA TO EXTEND 12" (IN.) EACH SIDE TO 50 FBV
  - 5 TYPE 'F' CONCRETE CURB
  - 6 TYPE 'F' CONCRETE CURB-MODIFIED (SPILL-OUT)
  - 7 TYPE 'D' MONOLITHIC CONC. CURB
  - 8 4" (IN.) CONCRETE SIDEWALK (3000 P.S.I.)
  - 9 4" (IN.) MONOLITHIC CONCRETE SIDEWALK (3000 P.S.I.)
  - 10 WHEEL STOP
- \* FINAL PAVEMENT SECTIONS WILL BE DETERMINED AT TIME OF CONSTRUCTION PLAN SUBMITTAL.

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Apopka, Florida

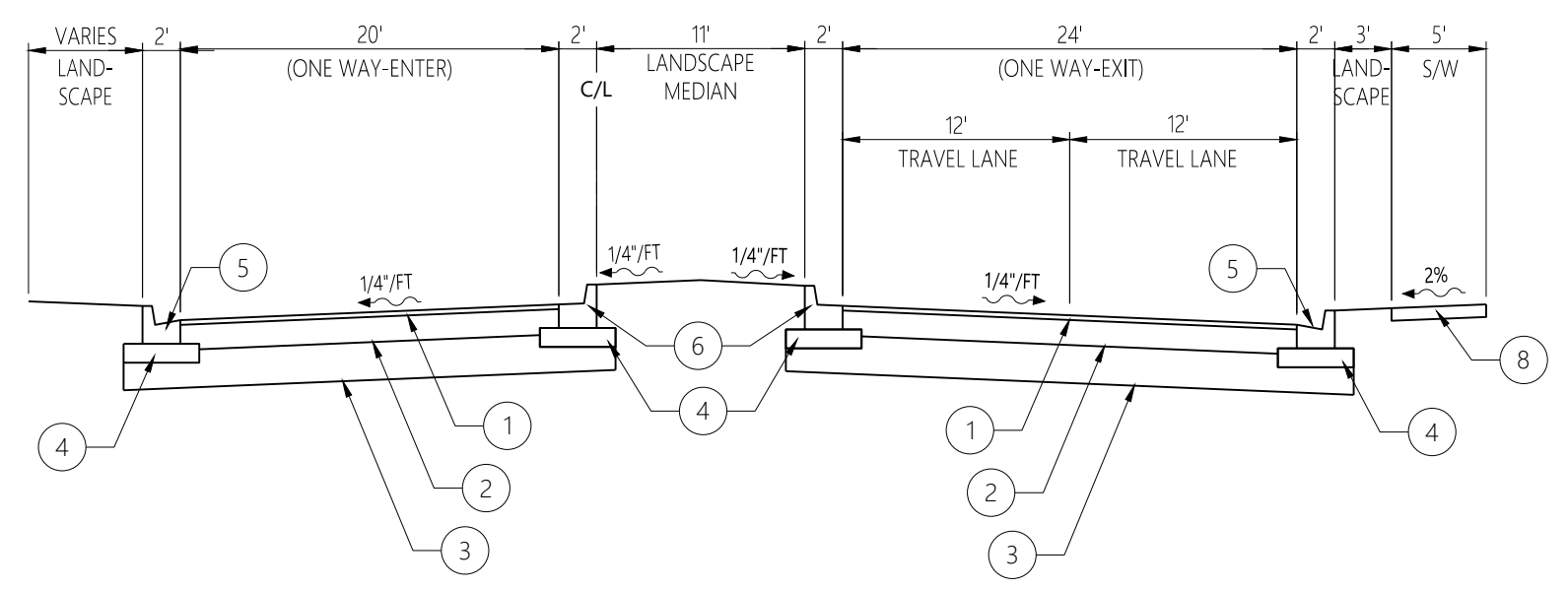
No.	Revision	Date	Appvd.
1	MDP DRC Comments	05/01/2026	

Designed by: C/JM  
Checked by: GEG  
Issued for: Major Development  
Date: March 05, 2026  
Plan Approval  
Not Approved for Construction  
Drawing Title: Typical Sections & Details

Vertical Datum NAVD 1988

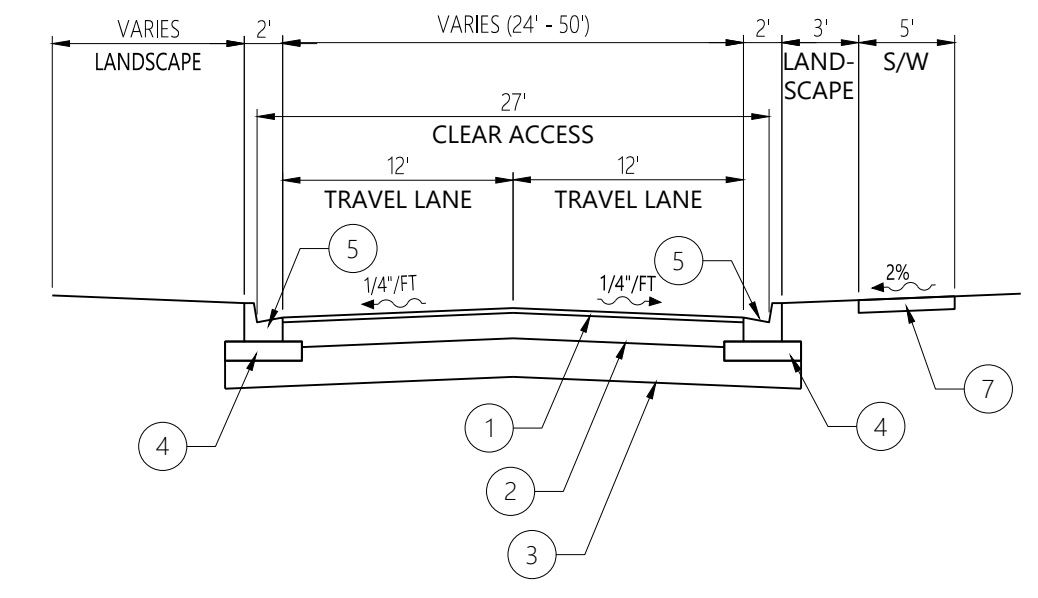
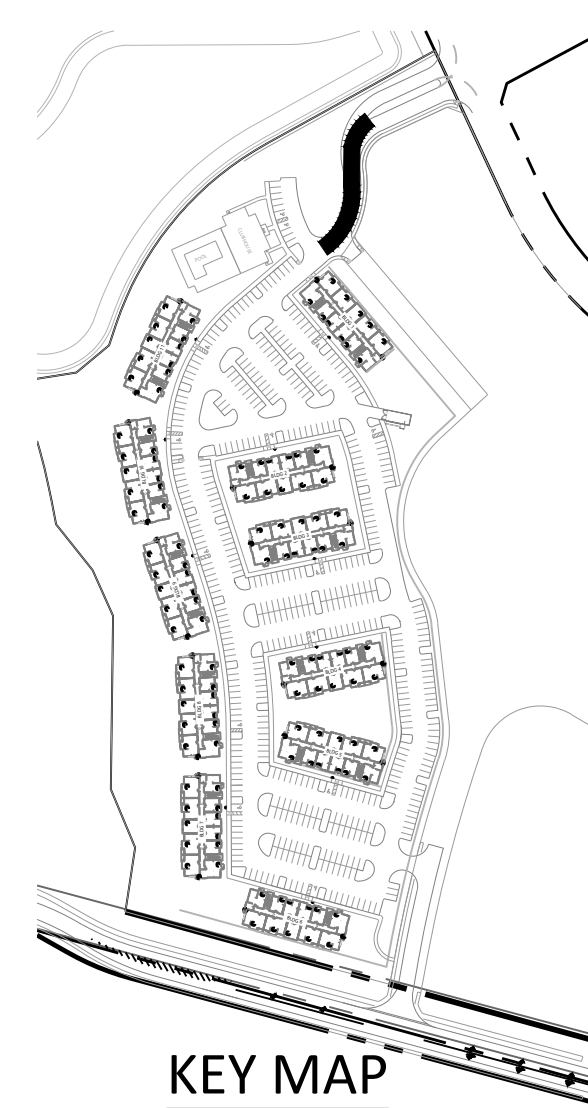
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Project Number: 63534.011  
DATE: May 02, 2026



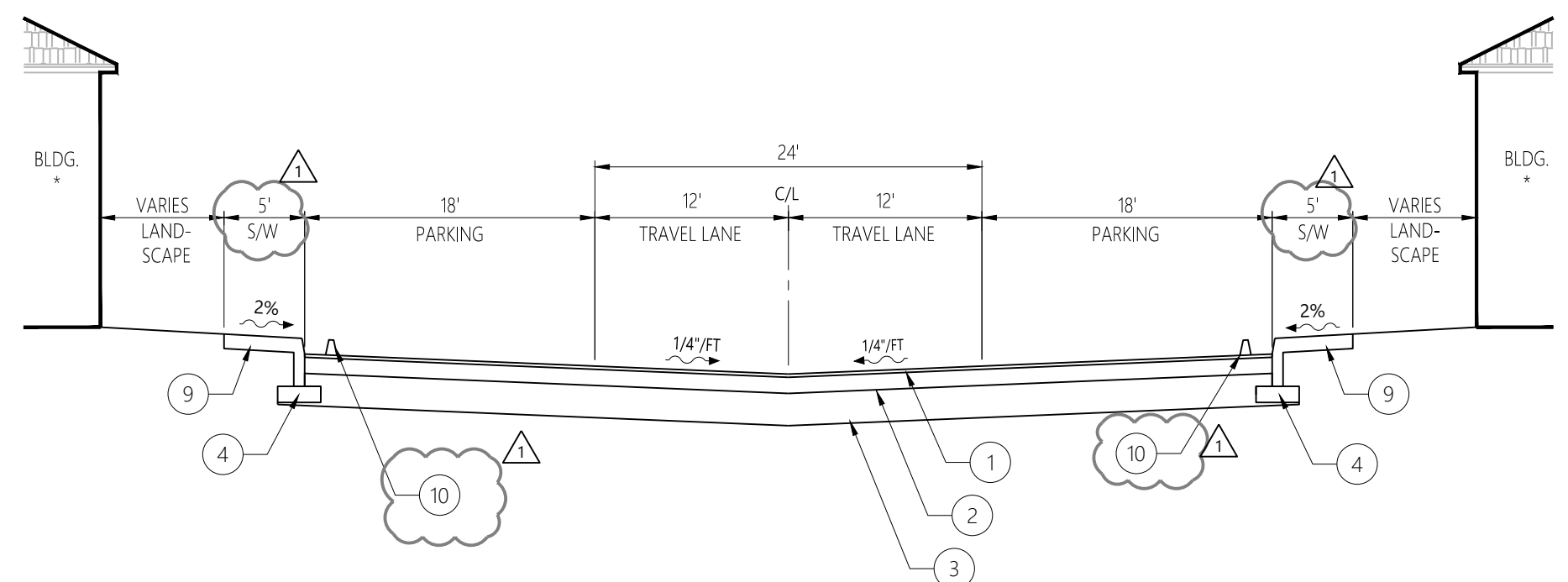
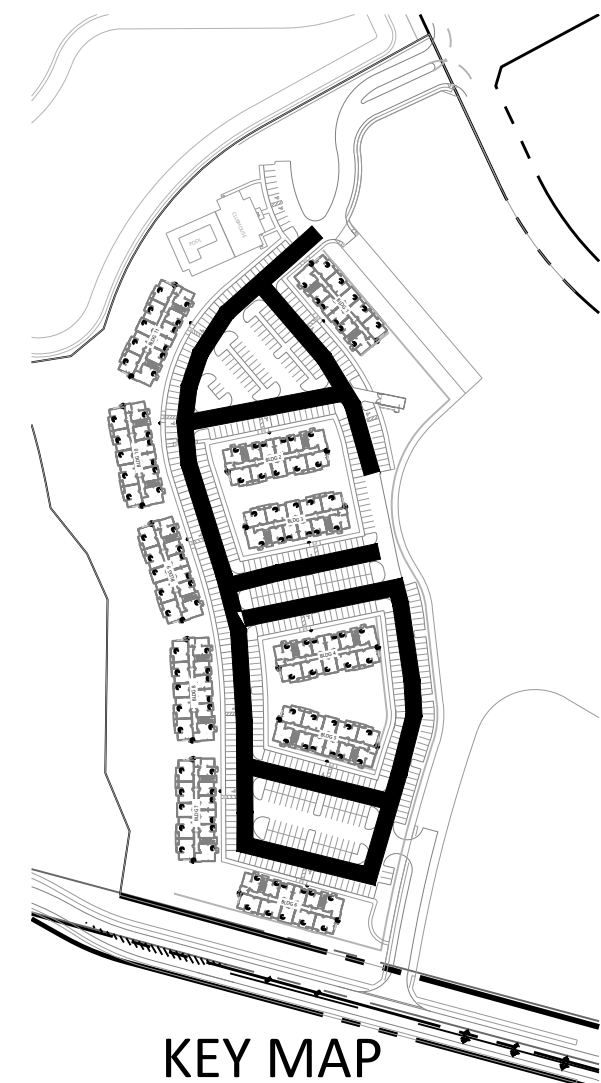
**A - Typical Entrance Road Section**

N.T.S.



**B - Typical Gated Entry Section**

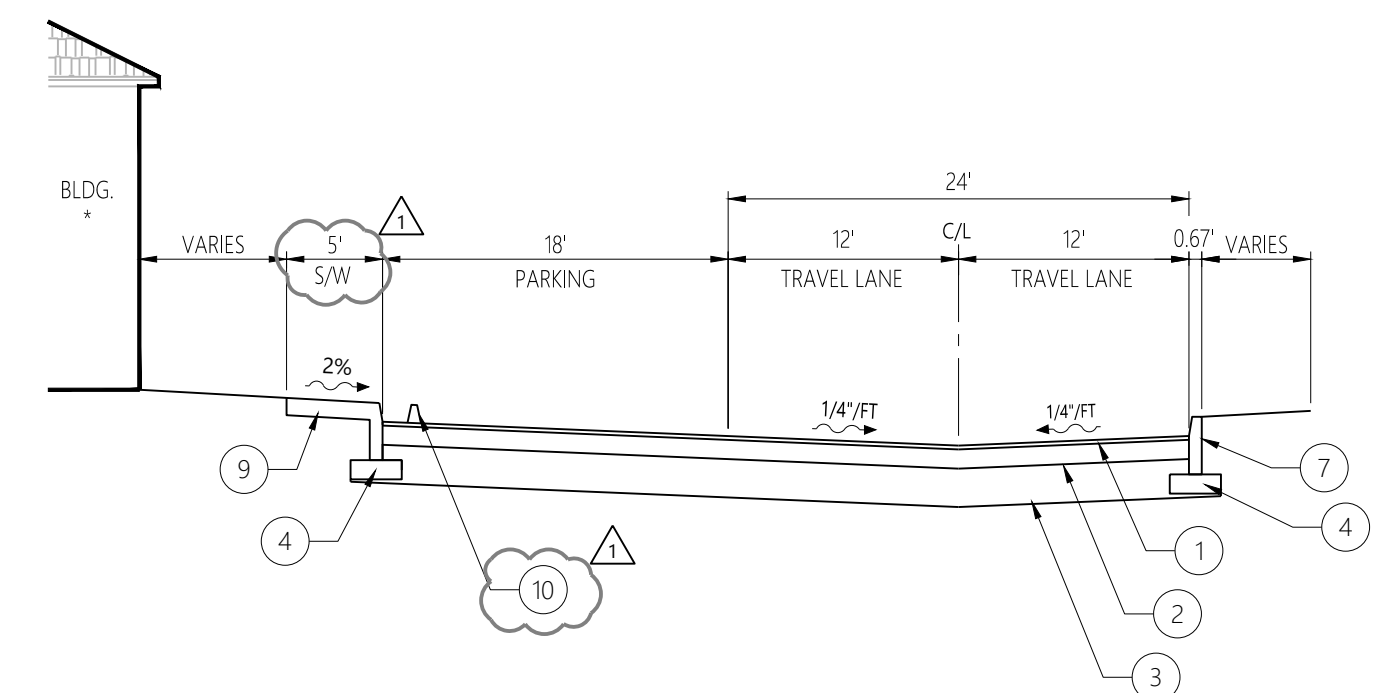
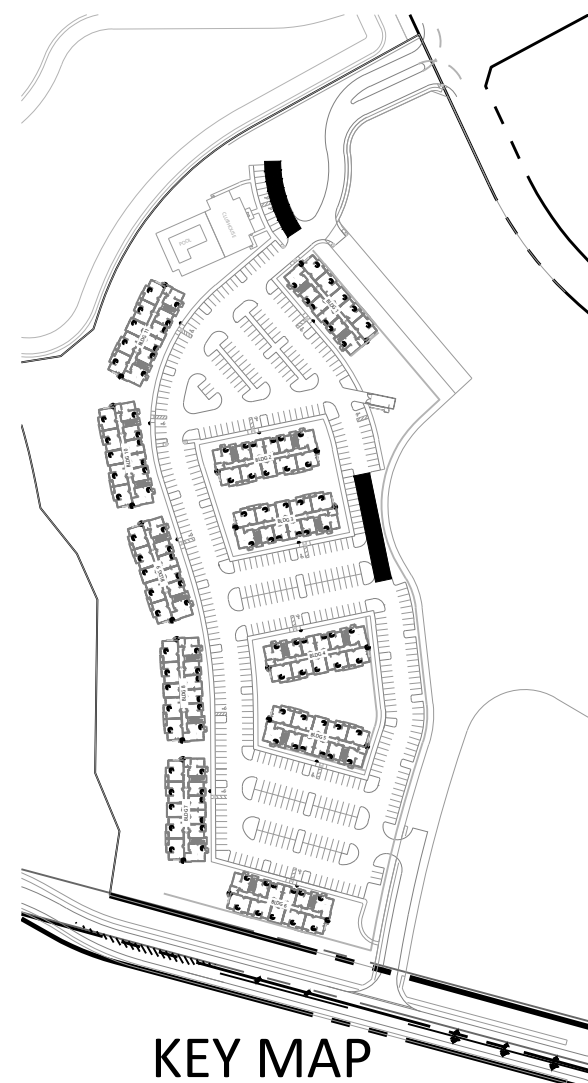
N.T.S.



**C - Typical Pavement Section**

N.T.S.

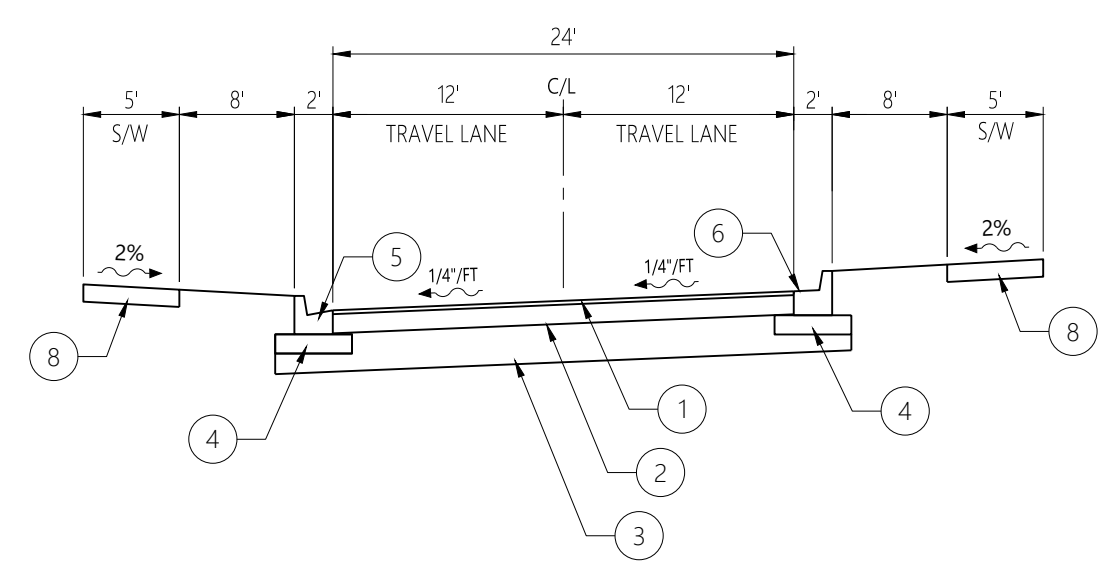
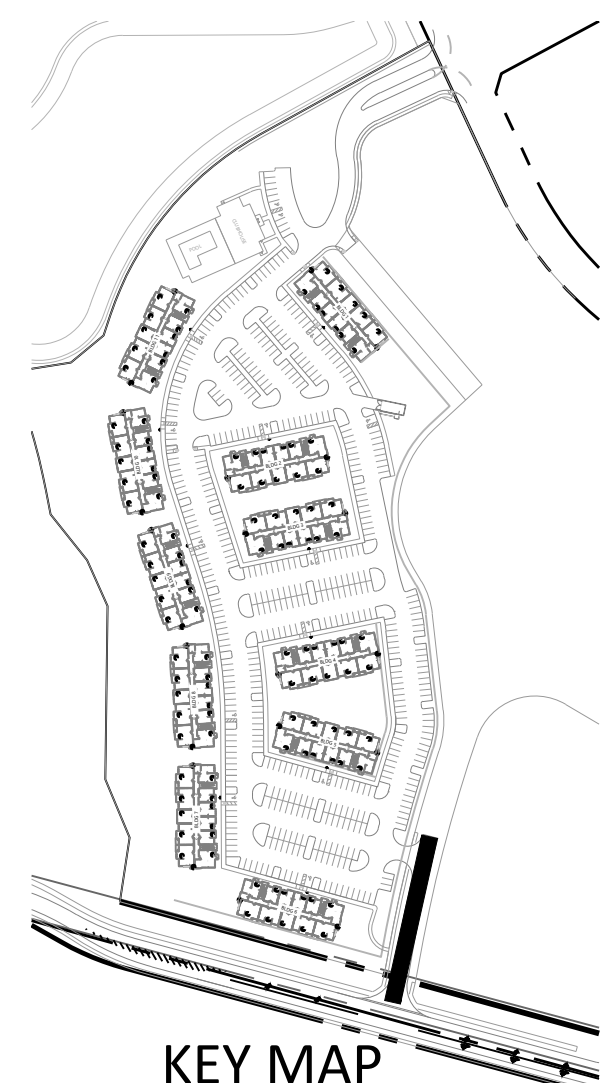
\* SIDEWALK AND BUILDING OR LANDSCAPE. SEE PLANS FOR LOCATIONS.



**D - Typical Pavement Section**

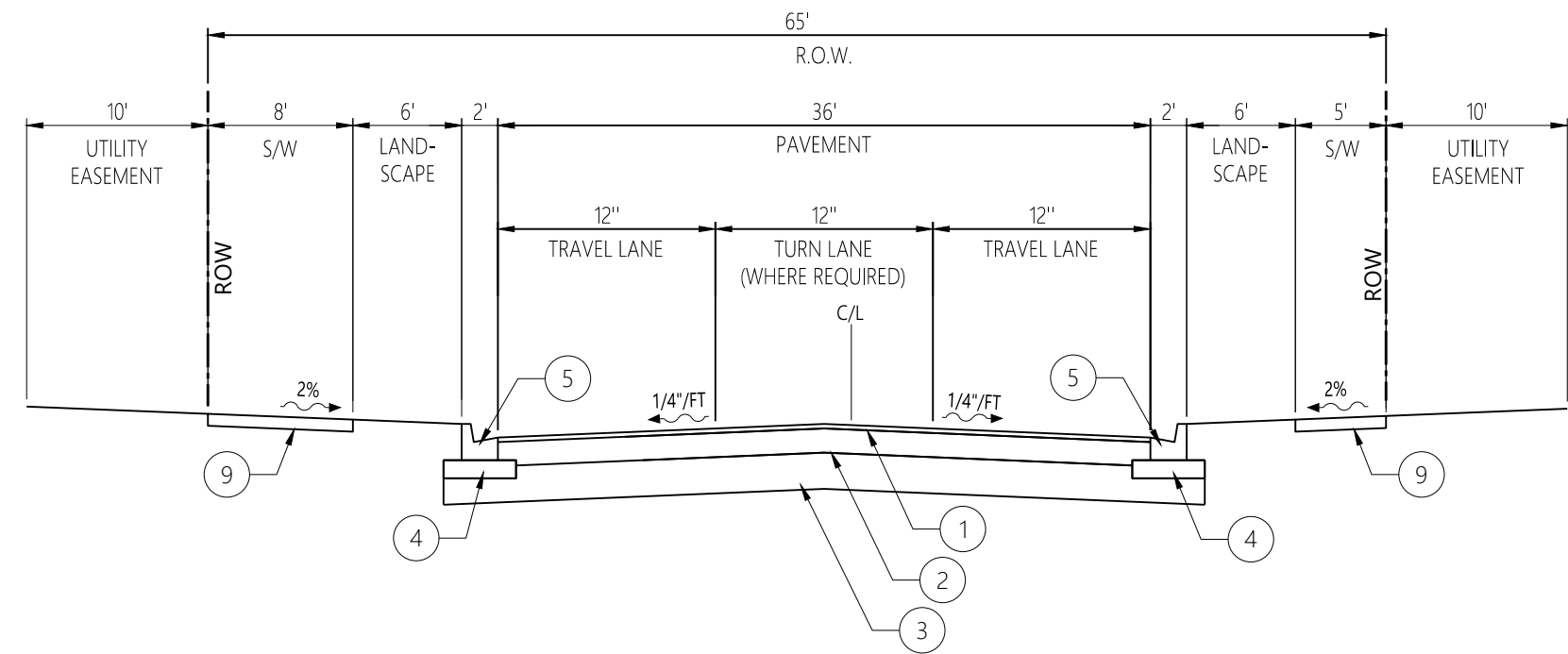
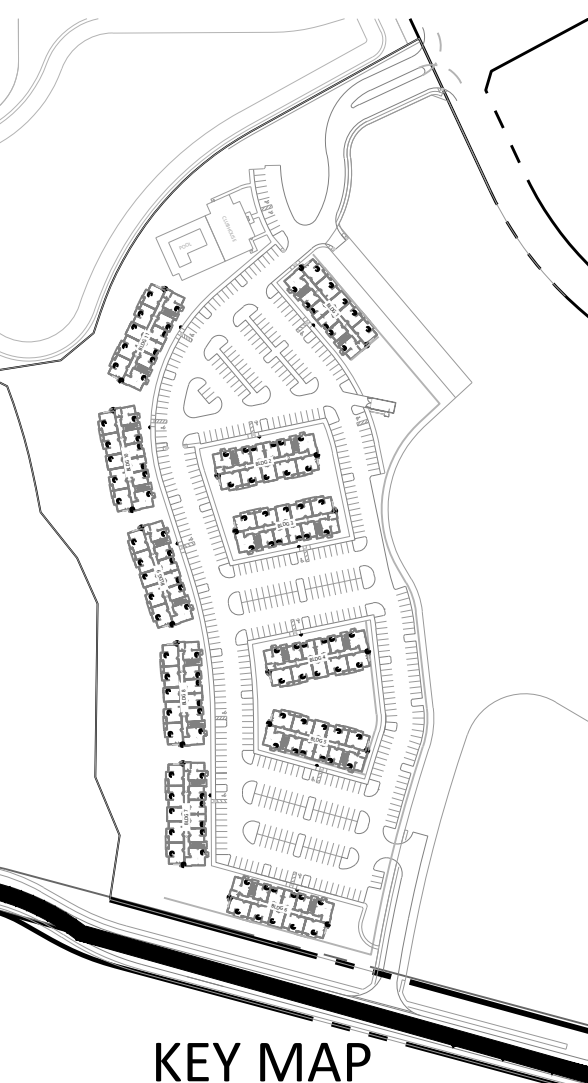
N.T.S.

\* SIDEWALK AND BUILDING OR LANDSCAPE. SEE PLANS FOR LOCATIONS.



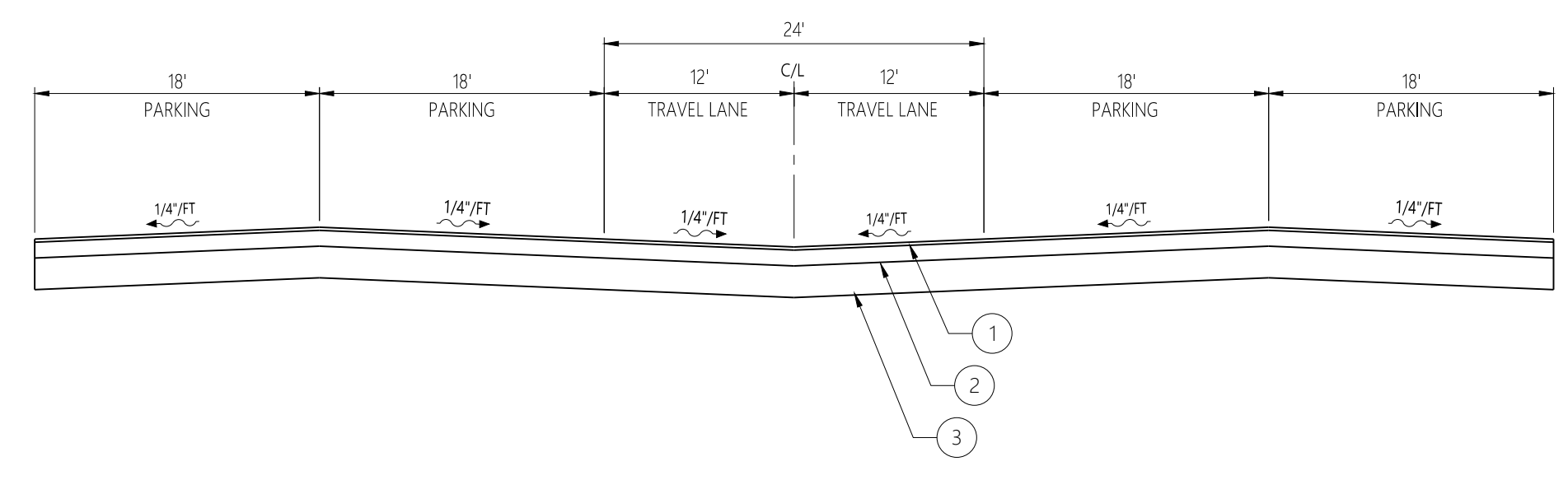
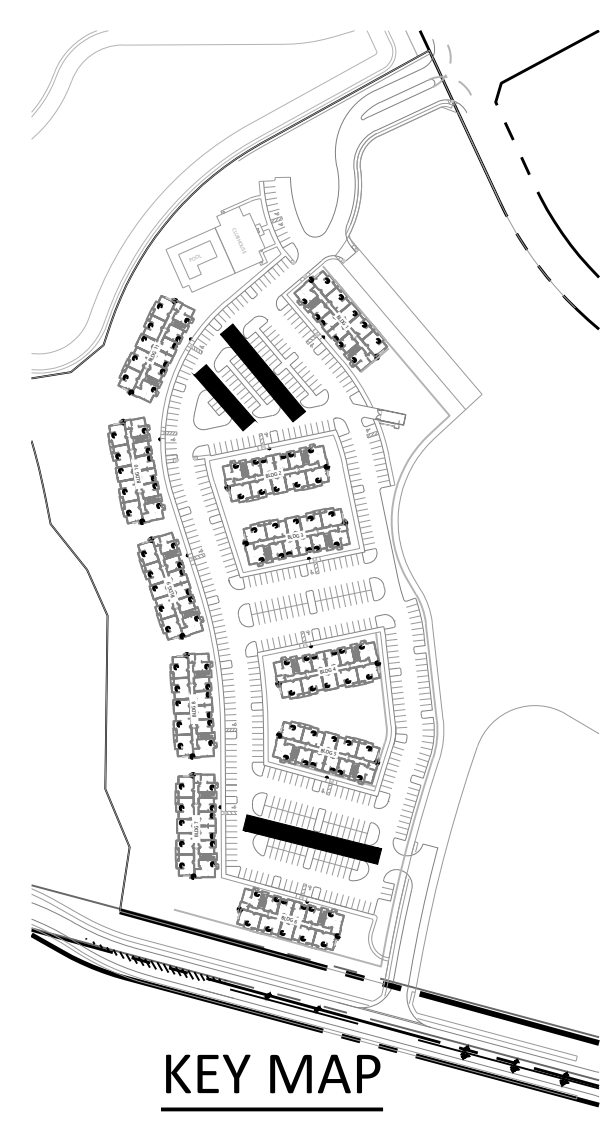
**E - Typical Pavement Section**

N.T.S.



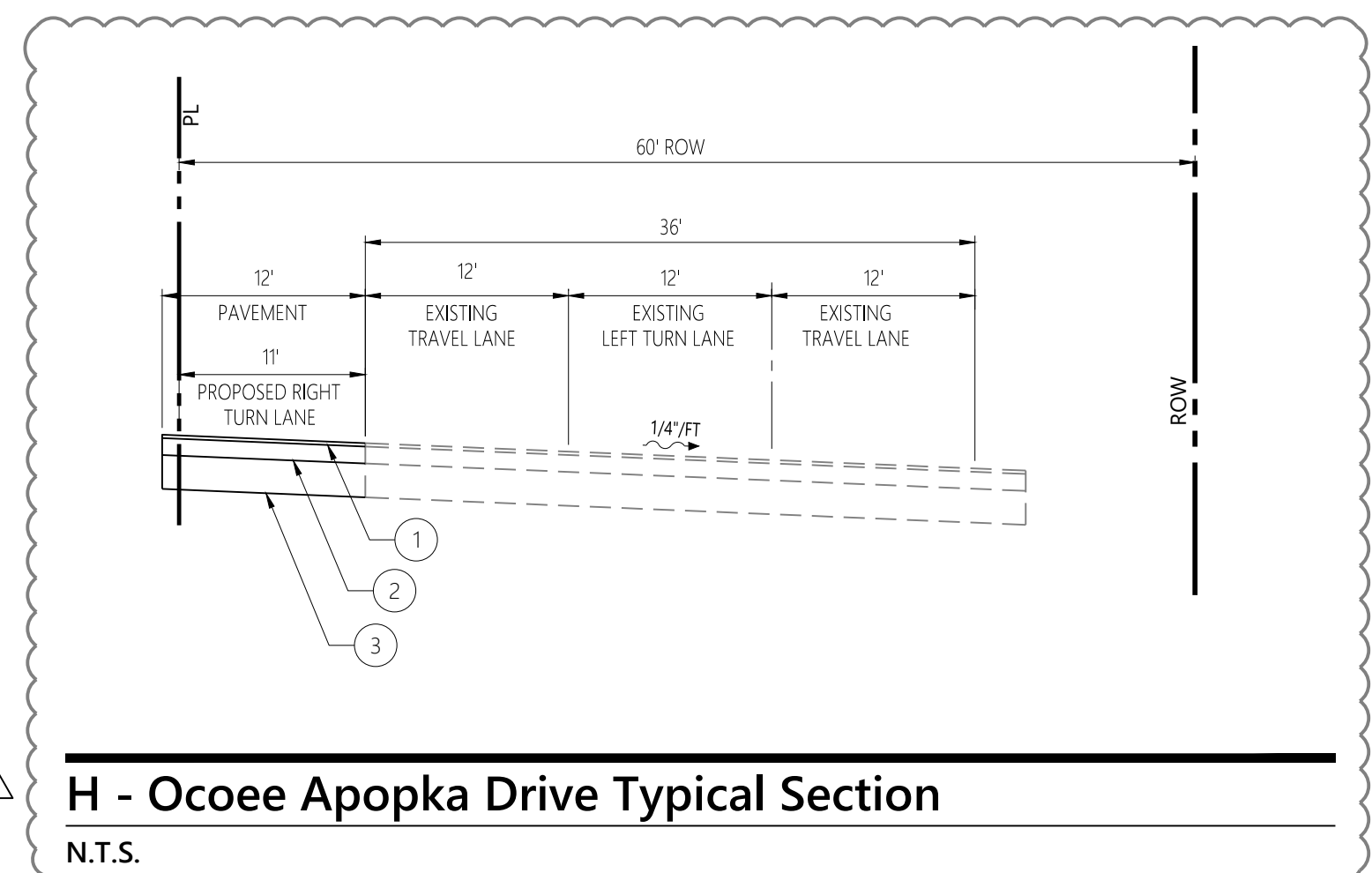
**F - Bronson Lake Drive Typical Section**

N.T.S.



**G - Typical Pavement Section**

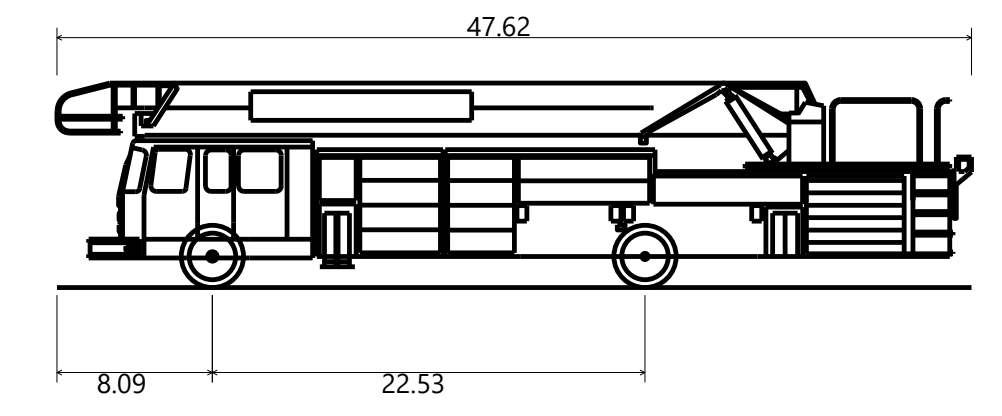
N.T.S.



**H - Ocoee Apopka Drive Typical Section**

N.T.S.

This item has been digitally signed and sealed by George E. Georgy, P.E. on May 4, 2026 using a Digital Signature.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



Platform	
Overall Length	47.620ft
Overall Width	9.250ft
Overall Body Height	10.650ft
Min Body Ground Clearance	1.081ft
Track Width	9.250ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	41.750ft

**PRELIMINARY - NOT FOR CONSTRUCTION**  
THIS PRELIMINARY DEVELOPMENT PLAN IS SIGNED AND SEALED AS REQUIRED BY CITY OF APOPKA CODE SECTION 12.02.04.B. THESE PLANS ARE NOT FINAL CONSTRUCTION DOCUMENTS AND ARE NOT INTENDED FOR PERMIT, CONSTRUCTION, OR BIDDING PURPOSES.

### The Ridge PD Parcel 3

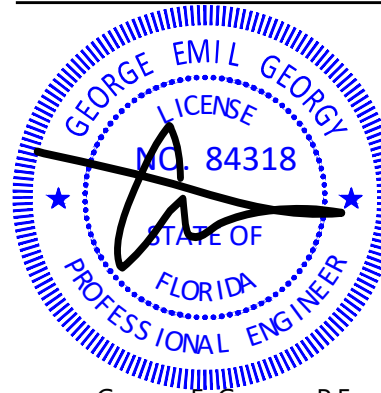
Apopka, Florida

No.	Revision	Date	Appr'd
1	MDP DRC Comments	05/01/2026	

Designed by: C/JM      Checked by: GEG  
Issued for:      Date:     

**Major Development Plan Approval**      March 05, 2026  
**Not Approved for Construction**  
Drawing Title: **Fire Access Plan**

Vertical Datum NAVD 1988      Drawing Number



C-5.0

Sheet      of

George E. Georgy, P.E.  
P.E. # 84318  
Project Number: **63534.011**  
DATE: May 02, 2026

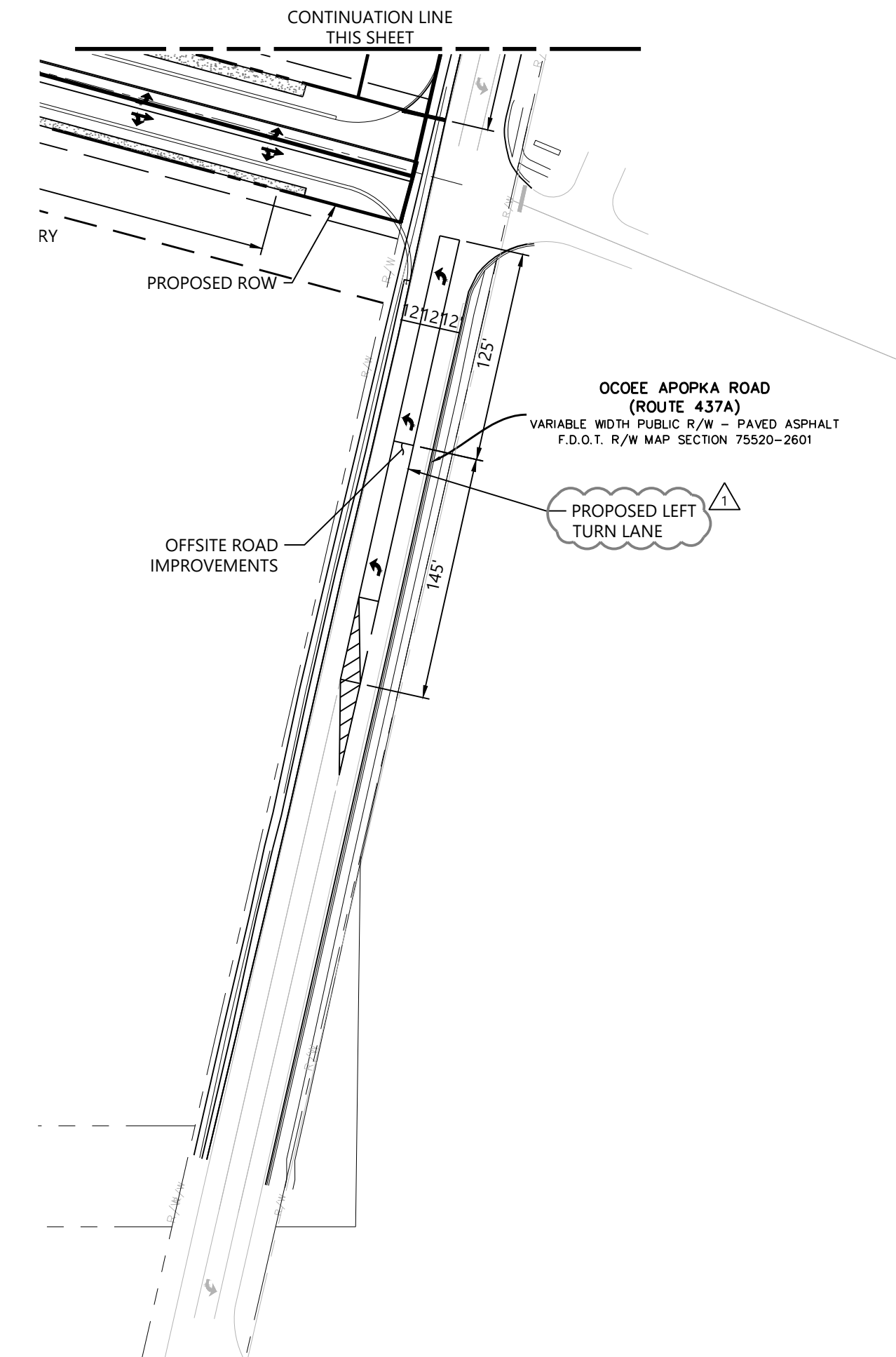
This item has been digitally signed and sealed by George E. Georgy, P.E. on May 4, 2026 using a Digital Signature.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

OWNER: CITY OF APOPKA  
PARCEL IDENTIFICATION: 17-21-28-0000-00-009

OWNER: CITY OF APOPKA  
PARCEL IDENTIFICATION: 17-21-28-0000-00-009



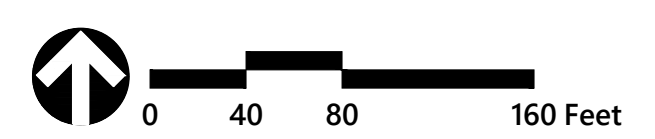
225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932



**LEGEND**

	PD BOUNDARY
	PARKING COUNTS

**PRELIMINARY - NOT FOR CONSTRUCTION**  
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### The Ridge PD Parcel 3

Apopka, Florida

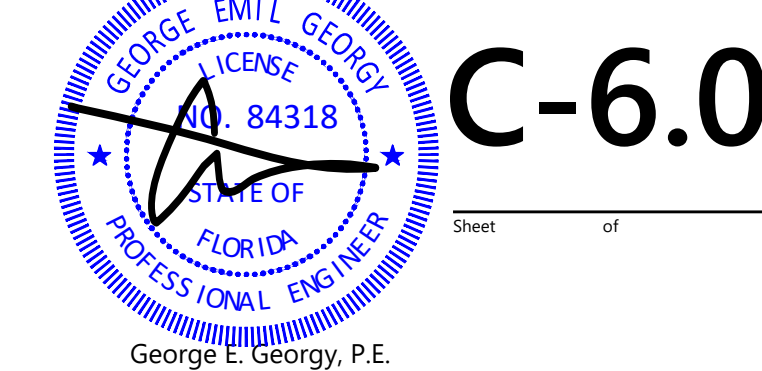
No.	Revision	Date	Appr.
1	MDP DRC Comments	05/01/2026	

Designed by: C/JM      Checked by: GEG

Issued for: Major Development Plan Approval      Date: March 05, 2026

Not Approved for Construction  
Overall Layout & Materials Plan

Vertical Datum NAVD 1988  
Drawing Number: \_\_\_\_\_



**C-6.0**  
Sheet \_\_\_\_\_ of \_\_\_\_\_

This item has been digitally signed and sealed by George E. Georgy, P.E. on May 4, 2026 using a Digital Signature.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Project Number: 63534.011  
DATE: May 02, 2026

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**ORDINANCE NO. 2938**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING ORDINANCE NO. 2858, WHICH IS KNOWN AS "THE RIDGE" PLANNED DEVELOPMENT (PD), GENERALLY LOCATED NORTH AND SOUTH OF BOY SCOUT ROAD, WEST OF SR 451, NORTH OF SR 414 AND WEST OF SR 429, COMPRISING 407.8 ACRES MORE OR LESS, OWNED BY TROY S. BRONSON FAMILY LP, BRONSON TROY S LIFE ESTATE, APOPKA CENTERLINE DEVELOPMENT, LLC, KS APOPKA CENTERLINE DEVELOPMENT, LLC, DRP FL, LLC, AG EHC II (LEN) MULTISTATE 1, LLC, AND RIDGE 429 OWNER, LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

**WHEREAS**, to manage growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

**WHEREAS**, Vanasse Hangen Brustlin, Inc. has requested to amend Ordinance No. 2858; and

**WHEREAS**, the proposed Planned Development (PD) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**SECTION I:** That the zoning classification of the following described property be designated as Planned Development (PD), as defined in the Apopka Land Development Code, and with the following development standards and provisions, and subject to the following zoning provisions:

- A. Development of the property shall occur consistent with the Master Plan/Major Development Plan set forth in Exhibit "B". Where any development standard conflicts between the Master Plan/Major Development Plan and the Land Development Code, the Master Plan/Major Development Plan shall preside. Any proposed revision to the Master Plan/Major Development Plan shall be evaluated and processed pursuant to the Land Development Code
- B. A PD Agreement prepared in accordance with LDC Section 3.7.2.F.2 shall be approved by the City Council.
- C. The uses permitted and prohibited within the PD District are those noted on the Master Plan and PD Agreement.
- D. If a Plat associated with the PD district has not been approved by the City within three

years after approval of these Master Plan/Major Development Plan provisions, the approval of the Master Plan/Major Development Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Minor or Major Development Plan;
2. Allow the PD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

**SECTION II:** That the zoning classification of the following described Property, attached hereto as Exhibit A and incorporated herein, being situated in the City of Apopka, Florida, is hereby PD as defined in the Apopka Land Development Code.

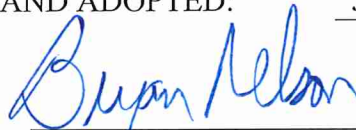
**SECTION III: AUTHORITY OF COMMUNITY DEVELOPMENT DIRECTOR.** That the Community Development Director, or the Director’s designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

**SECTION IV: SEVERABILITY.** That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

**SECTION V:** That this Ordinance shall take effect upon the effective date of Ordinance No. 2938.

READ FIRST TIME: July 6, 2022

READ SECOND TIME  
AND ADOPTED: July 27, 2022



\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST:



\_\_\_\_\_  
Susan Bone, City Clerk

EXHIBIT "A" LEGAL DESCRIPTION

1  
2 N1/2 OF SW1/4 LYING WLY OF BOY SCOUT RD & SE1/4 OF SW1/4 LYING WLY OF  
3 BOY SCOUT RD (LESS THAT PT LYING SOUTHEAST OF OCOEE-APOPKA RD  
4 CR437A) & THAT PT OF W1/2 OF SE1/4 LYING SWLY OF BOY SCOUT RD & NWLY OF  
5 OCOEE APOPKA RD ALL IN SEC 17-21-28 (LESS 24.70 AC DESC AS BEG 144 FT W OF  
6 1/4 SEC POST ON S SEC LINE 15 FT W OF CTR OF R/W TH RUN W 17 CHS & 82 LKS  
7 (1176.12 FT) N 15 CHS & 10 LKS (996.60 FT) S 75 DEG E 21 CHS & 55 LKS (1386 FT) TO  
8 A PT 15 FT W OF CTR OF R/W TH SLY ALONG R/W TO POB & LESS BEG 42.50 FT E OF  
9 E LINE OF NW 1/4 OF SW1/4 ON S R/W BOY SCOUT RD TH RUN W 294.30 FT S 722 FT  
10 S 83 DEG E 296.12 FT N 758.35 FT TO POB) & (LESS PT OF SE1/4 & SW1/4 OF SEC 17-  
11 21-28 DESC AS COMM S1/4 COR OF SAID SEC 17-21-28 TH N07-19-56E TO A PT ON  
12 WLY R/W OF OCOEE APOPKA RD FOR POB TH RUN NELY ALONG SAID NLY R/W  
13 ALONG A CURVE CONCAVE SELY W/ RAD OF 948 FT & CHORD BEARING OF N26-  
14 13-56E THROUGH CENT ANG OF 11-35-09 FOR 191.70 FT TH N75-44-09W 278 FT S57-  
15 12-05W 100.86 FT S10-59-06W 134.01 FT S79-38-16E 300.05 FT TO POB) & (LESS COMM  
16 AT NE COR OF SE1/4 OF SEC 10-21-28 TH S0-0-38E 33 FT TO POB TH N89-43-16E  
17 1345.54 FT TH N0-22-8E 3 FT TH N89-43-16E 691.45 FT TO THE POINT OF CURVATURE  
18 OF A CURVE CONCAVE SWLY W/ RADIUS OF 282.1 FT CENTRAL ANGLE OF 65-18-17  
19 CHORD BRG AND DISTANCE OF S57-37-34E 304.41 FT TH SELY ALONG CURVE AN  
20 ARC LENGTH OF 321.53 FT TO NON-TANGENT POINT TH S24-58-39E 241.59 FT TH  
21 S61-2-34W 300.88 FT TO POINT OF CURVATURE OF A CURVE CONCAVE SELY W/  
22 RADIUS OF 505 FT CENTRAL ANGLE OF 42-32-33 CHORD BRG AND DISTANCE OF  
23 S39-46-17W 366.41 FT TH SWLY ALONG CURVE 374.97 FT TO POINT OF TANGENCY  
24 TH S18-30-4W 34.88 FT TH S50-22-51W 66.34 FT TH S80-59-34W 127.19 FT TH N22-27-  
25 50W 167.34 FT TH S71-32-9W 34.37 FT TH N69-38-20W 144.79 FT TH N85-25-10W 268.38  
26 FT TH N83-27-57W 130.71 FT TH N45-36-26W 203.03 FT TH N89-53-27W 536.22 FT TH  
27 S71-9-55W 261.11 FT TH S60-11-31W 79.12 FT TH S28-41-4W 73.35 FT TH S0-3-18W  
28 238.05 FT TO A NON-TANGENT POINT OF A CURVE CONCAVE SWLY W/ RADIUS OF  
29 544.5 FT CENTRAL ANGLE OF 18-33-50 CHORD BRG AND DISTANCE OF N79-40-53W  
30 175.65 FT TH NWLY ALONG CURVE 176.42 FT TO POINT OF TANGENCY TH N88-57-  
31 48W 403.65 FT TO POINT OF CURVATURE OF A CURVE CONCAVE SLY W/ RADIUS  
32 OF 30065 FT CENTRAL ANGLE OF 1-1-4 CHORD BRG OF N89-28-20W 533.99 FT TH  
33 NWLY TH NWLY ALONG CURVE 534 FT TO POINT OF TANGENCY TH N89-58-51W  
34 158.91 FT TO POINT OF CURVATURE OF A CURVE CONCAVE NELY W/ RADIUS OF  
35 25 FT CENTRAL ANGLE OF 90-32-40 CHORD BRG AND DISTANCE OF N44-42-31W  
36 35.52 FT TH NWLY ALONG CURVE 39.51 FT TO POINT OF TANGENCY TH N0-33-49E  
37 875.71 FT TH S89-58-43E 1237.18 FT TO POB PER DOC 20210770391) & (LESS BEG AT  
38 SE COR OF SEC 18-21-28 TH S89-54-44W 936.11 FT TH N43-34-16W 104.56 FT TO THE  
39 POINT OF CURVATURE OF A CURVE CONCAVE SWLY W/ RADIUS OF 14808 FT  
40 CENTRAL ANGLE OF 1-44-52 CHORD BRG AND DISTANCE OF N44-26-42W 451.72 FT  
41 TH NWLY ALONG CURVE 451.74 FT TO NON-TANGENT POINT TH N0-34-36E 265.35  
42 FT TH S89-57-37W 241.66 FT TH N42-1-40W 447.1 FT TH N89-59-5E 544.34 FT TH N0-34-  
43 36E 659.61 FT TH S89-58-51E 249.44 FT TO POINT OF CURVATURE OF A CURVE  
44 CONCAVE SLY W/ RADIUS OF 30000 FT CENTRAL ANGLE OF 1-1-4 CHORD BRG  
45 AND DISTANCE OF S89-28-20E 532.84 FT TH ELY ALONG CURVE 532.85 FT TO POINT

**ORDINANCE NO. 2938**

**PAGE 5**

1 OF TANGENCY TH S88-57-48E 403.65 FT TO THE POINT OF CURVATURE OF A  
2 CURVE CONCAVE SWLY W/ RADIUS OF 479.5 FT CENTRAL ANGLE OF 42-36-6  
3 CHORD BRG AND DISTANCE OF S67-39-45E 348.37 FT TH SELY ALONG CURVE  
4 356.53 FT TO POINT OF TANGENCY TH S46-21-42E 656.86 FT TO POINT OF  
5 CURVATURE OF A CURVE CONCAVE NELY W/ RADIUS OF 817.5 FT CENTRAL  
6 ANGLE OF 27-12-51 CHORD BRG AND DISTANCE OF S59-58-7E 384.65 FT TH SELY  
7 ALONG CURVE 388.29 FT TO NON-TANGENT POINT TH S30-35-/8W 135.56 FT TH S0-  
8 0-19W 746.69 FT TH N89-59-43W 935.59 FT TO POB PER DOC 20210774114)

9 AND

10 SW1/4 OF SW1/4 & W 400 FT OF BEG 144 FT W OF SE COR OF SW1/4 OF SEC 17-21-28  
11 RUN W TO SW COR OF SE1/4 OF SW1/4 OF SEC N 996.6 FT S 75 DEG E 1419 FT TO PT  
12 15 FT W OF ROAD SWLY TO BEG & E1/2 OF SE1/4 OF SE1/4 OF SEC 18-21-28 & (LESS  
13 BEG AT SE COR OF SEC 18-21-28 TH S89-54-44W 936.11 FT TH N43-34-16W 104.56 FT  
14 TO THE POINT OF CURVATURE OF A CURVE CONCAVE SWLY W/ RADIUS OF 14808  
15 FT CENTRAL ANGLE OF 1-44-52 CHORD BRG AND DISTANCE OF N44-26-42W 451.72  
16 FT TH NWLY ALONG CURVE 451.74 FT TO NON-TANGENT POINT TH N0-34-36E  
17 265.35 FT TH S89-57-37W 241.66 FT TH N42-1-40W 447.1 FT TH N89-59-5E 544.34 FT TH  
18 N0-34-36E 659.61 FT TH S89-58-51E 249.44 FT TO POINT OF CURVATURE OF A CURVE  
19 CONCAVE SLY W/ RADIUS OF 30000 FT CENTRAL ANGLE OF 1-1-4 CHORD BRG  
20 AND DISTANCE OF S89-28-20E 532.84 FT TH ELY ALONG CURVE 532.85 FT TO POINT  
21 OF TANGENCY TH S88-57-48E 403.65 FT TO THE POINT OF CURVATURE OF A  
22 CURVE CONCAVE SWLY W/ RADIUS OF 479.5 FT CENTRAL ANGLE OF 42-36-6  
23 CHORD BRG AND DISTANCE OF S67-39-45E 348.37 FT TH SELY ALONG CURVE  
24 356.53 FT TO POINT OF TANGENCY TH S46-21-42E 656.86 FT TO POINT OF  
25 CURVATURE OF A CURVE CONCAVE NELY W/ RADIUS OF 817.5 FT CENTRAL  
26 ANGLE OF 27-12-51 CHORD BRG AND DISTANCE OF S59-58-7E 384.65 FT TH SELY  
27 ALONG CURVE 388.29 FT TO NON-TANGENT POINT TH S30-35-/8W 135.56 FT TH S0-  
28 0-19W 746.69 FT TH N89-59-43W 935.59 FT TO POB PER DOC 20210774114)

29 AND

30 NE 1/4 OF SW1/4 LYING NELY OF BOY SCOUT RD & NW1/4 OF SE1/4 LYING NELY OF  
31 BOY SCOUT RD & NWLY OF OCOEE APOPKA RD LYING ELY & SELY OF  
32 FOLLOWING DESC COMM SW COR OF NW 1/4 OF SEC 17-21-28 RUN N 89 DEG E  
33 ALONG S LINE OF NW 1/4 2530.84 FT TO POB TH RUN NELY ALONG CURVE  
34 CONCAVE ELY 54.21 FT N 30 DEG W 13.58 FT N 1 DEG E 88.67 FT N 17 DEG E 70.98 FT  
35 N 24 DEG E 163.85 FT TO POC RUN NELY ALONG CURVE CONCAVE SELY 157.91 FT  
36 S 00 DEG W 162.97 FT TO PT ON CURVE TH RUN SWLY ALONG CURVE CONCAVE  
37 TO SE 50.4 FT S 17 DEG W 149.75 FT TO POC TH RUN SLY ALONG CURVE CONCAVE  
38 ELY 177.18 FT S 36 DEG E 153.53 FT SLY ALONG CURVE 94.19 FT S 19 DEG W 74.95 FT  
39 S 36 DEG W 90.6 FT S 61 DEG W 173.78 FT S 16 DEG W 30.94 FT TO PT ON THE NELY  
40 R/W LINE OF BOY SCOUT RD N 24 DEG W ALONG SAID R/W 141.31 FT S 73 DEG E  
41 34.6 FT N 61 DEG E 111.6 FT TO POC TH RUN ALONG CURVE CONCAVE NWLY 114.05  
42 FT N 65 DEG W 11.39 FT N 19 DEG W 16.4 FT N 15 DEG E 12.59 FT N 61 DEG E 2 FT N

**ORDINANCE NO. 2938**

**PAGE 6**

1 28 DEG W 76.12 FT TO POC TH RUN NWLY & NELY ALONG CURVE CONCAVE ELY  
2 135.77 FT TO POB

3 AND

4

5 SE 1/4 OF SW 1/4 LYING SOUTHEAST OF OCOEE APOPKA RD CR 437A 5650/1021.

6 AND

7 COMM AT NE COR OF NW1/4 OF SW1/4 OF SEC 17-21-28 TH S0-22-9W 726.09 FT TO  
8 POB TH S85-25-10E 42.62 FT TH S0-22-7W 58.65 FT TH N83-14-8W 296.12 FT TH N0-  
9 22-7E 51.51 FT TH S83-27-57E 122.2 FT TH S85-25-10E 130.64 FT TO POB.

10 AND

11 W1/2 OF SW1/4 OF NW1/4 (LESS W 433 FT OF S 220 FT) & BEG SW COR OF S1/2 OF  
12 E1/2 OF SW1/4 OF NW1/4 RUN N 668.54 FT E 15 FT S 10 FT W 3 FT S TO PT E OF BEG W  
13 TO POB (LESS S 30 FT FOR RD) IN SEC 17-21-28

14 AND

15 N1/2 OF E1/2 OF SW1/4 OF NW1/4 OF SEC 17-21-28

16 AND

17 THE SE1/4 OF NW1/4 & THE E 25 FT OF S 340 FT OF SW1/4 OF NW1/4 (LESS RD R/W  
18 ON SOUTH) & (LESS THAT PART LYING WITHIN DESC IN OR 7337/4340 & LESS  
19 THAT PART LYING E OF SAID DESC) & THE NE1/4 OF SW1/4 LYING NELY OF BOY  
20 SCOUT RD & PORTION LYING NWLY OF FOLLOWING DESCRIBED LINE COMM SW  
21 COR OF NW 1/4 RUN N 89 DEG E 2530.84 FT TH RUN SELY ALONG CURVE CONCAVE  
22 NELY 135.77 FT S 28 DEG E 78.12 FT TH SELY & SWLY ALONG CURVE CONCAVE  
23 NW 149.23 FT S 61 DEG W 111.6 FT N 73 DEG W 34.6 FT TO TERMINATION ALL IN  
24 SEC 17-21-28

25 AND.

26 PT OF SE1/4 & SW1/4 OF SEC 17-21-28 DESC AS COMM S1/4 COR OF SAID SEC 17-21-  
27 28 TH N07-19-56E TO A PT ON WLY R/W OF OCOEE APOPKA RD FOR POB TH RUN  
28 NELY ALONG SAID NLY R/W ALONG A CURVE CONCAVE SELY W/ RAD OF 948 FT  
29 & CHORD BEARING OF N26-13-56E THROUGH CENT ANG OF 11-35-09 FOR 191.70 FT  
30 TH N75-44-09W 278 FT S57-12-05W 100.86 FT S10-59-06W 134.01 FT S79-38-16E 300.05  
31 FT TO POB

32 AND

33 BEG AT INTERSECTION OF S LINE OF BOY SCOUT RD W/ A LINE 42.5 FT EAST OF  
34 EAST LINE OF NW1/4 OF SW1/4 OF SEC 17-21-28 TH S89-43-32W 294.3 TH S0-22-48W  
35 722 FT TH S83-13-27E 296.12 FT TH N0-22-48E 758.35 FT TO POB (LESS COMM AT NE  
36 COR OF NW1/4 OF SW1/4 OF SEC 17-21-28 TH S0-22-9W 726.09 FT TO POB TH S85-25-  
37 10E 42.62 FT TH S0-22-7W 58.65 FT TH N83-14-8W 296.12 FT TH N0-22-7E 51.51 FT TH  
38 S83-27-57E 122.2 FT TH S85-25-10E 130.64 FT TO POB)

1 AND  
2 NE1/4 OF SE1/4 (LESS N 33 FT FOR RD) & BEG 330 FT N OF SW COR OF NW1/4 OF  
3 SE1/4 SEC RUN N 330 FT E 1320 FT S 330 FT W 1320 FT TO POB LESS R/W PER DB  
4 770/209 IN SEC 18-21-28 (LESS SW COR TAKEN FOR R/W PER 9046/4349) & (LESS  
5 COMM AT NE COR OF SE1/4 OF SEC 10-21-28 TH S0-0-38E 33 FT TO POB TH N89-43-  
6 16E 1345.54 FT TH N0-22-8E 3 FT TH N89-43-16E 691.45 FT TO THE POINT OF  
7 CURVATURE OF A CURVE CONCAVE SWLY W/ RADIUS OF 282.1 FT CENTRAL  
8 ANGLE OF 65-18-17 CHORD BRG AND DISTANCE OF S57-37-34E 304.41 FT TH SELY  
9 ALONG CURVE AN ARC LENGTH OF 321.53 FT TO NON-TANGENT POINT TH S24-58-  
10 39E 241.59 FT TH S61-2-34W 300.88 FT TO POINT OF CURVATURE OF A CURVE  
11 CONCAVE SELY W/ RADIUS OF 505 FT CENTRAL ANGLE OF 42-32-33 CHORD BRG  
12 AND DISTANCE OF S39-46-17W 366.41 FT TH SWLY ALONG CURVE 374.97 FT TO  
13 POINT OF TANGENCY TH S18-30-4W 34.88 FT TH S50-22-51W 66.34 FT TH S80-59-34W  
14 127.19 FT TH N22-27-50W 167.34 FT TH S71-32-9W 34.37 FT TH N69-38-20W 144.79 FT  
15 TH N85-25-10W 268.38 FT TH N83-27-57W 130.71 FT TH N45-36-26W 203.03 FT TH N89-  
16 53-27W 536.22 FT TH S71-9-55W 261.11 FT TH S60-11-31W 79.12 FT TH S28-41-4W 73.35  
17 FT TH S0-3-18W 238.05 FT TO A NON-TANGENT POINT OF A CURVE CONCAVE  
18 SWLY W/ RADIUS OF 544.5 FT CENTRAL ANGLE OF 18-33-50 CHORD BRG AND  
19 DISTANCE OF N79-40-53W 175.65 FT TH NWLY ALONG CURVE 176.42 FT TO POINT  
20 OF TANGENCY TH N88-57-48W 403.65 FT TO POINT OF CURVATURE OF A CURVE  
21 CONCAVE SLY W/ RADIUS OF 30065 FT CENTRAL ANGLE OF 1-1-4 CHORD BRG OF  
22 N89-28-20W 533.99 FT TH NWLY TH NWLY ALONG CURVE 534 FT TO POINT OF  
23 TANGENCY TH N89-58-51W 158.91 FT TO POINT OF CURVATURE OF A CURVE  
24 CONCAVE NELY W/ RADIUS OF 25 FT CENTRAL ANGLE OF 90-32-40 CHORD BRG  
25 AND DISTANCE OF N44-42-31W 35.52 FT TH NWLY ALONG CURVE 39.51 FT TO  
26 POINT OF TANGENCY TH N0-33-49E 875.71 FT TH S89-58-43E 1237.18 FT TO POB PER  
27 DOC 20210770391) & (LESS BEG AT SE COR OF SEC 18-21-28 TH S89-54-44W 936.11 FT  
28 TH N43-34-16W 104.56 FT TO THE POINT OF CURVATURE OF A CURVE CONCAVE  
29 SWLY W/ RADIUS OF 14808 FT CENTRAL ANGLE OF 1-44-52 CHORD BRG AND  
30 DISTANCE OF N44-26-42W 451.72 FT TH NWLY ALONG CURVE 451.74 FT TO NON-  
31 TANGENT POINT TH N0-34-36E 265.35 FT TH S89-57-37W 241.66 FT TH N42-1-40W  
32 447.1 FT TH N89-59-5E 544.34 FT TH N0-34-36E 659.61 FT TH S89-58-51E 249.44 FT TO  
33 POINT OF CURVATURE OF A CURVE CONCAVE SLY W/ RADIUS OF 30000 FT  
34 CENTRAL ANGLE OF 1-1-4 CHORD BRG AND DISTANCE OF S89-28-20E 532.84 FT TH  
35 ELY ALONG CURVE 532.85 FT TO POINT OF TANGENCY TH S88-57-48E 403.65 FT TO  
36 THE POINT OF CURVATURE OF A CURVE CONCAVE SWLY W/ RADIUS OF 479.5 FT  
37 CENTRAL ANGLE OF 42-36-6 CHORD BRG AND DISTANCE OF S67-39-45E 348.37 FT  
38 TH SELY ALONG CURVE 356.53 FT TO POINT OF TANGENCY TH S46-21-42E 656.86  
39 FT TO POINT OF CURVATURE OF A CURVE CONCAVE NELY W/ RADIUS OF 817.5 FT  
40 CENTRAL ANGLE OF 27-12-51 CHORD BRG AND DISTANCE OF S59-58-7E 384.65 FT  
41 TH SELY ALONG CURVE 388.29 FT TO NON-TANGENT POINT TH S30-35-/8W 135.56  
42 FT TH S0-0-19W 746.69 FT TH N89-59-43W 935.59 FT TO POB PER DOC 20210774114)

43 AND  
44 N1/2 OF NW 1/4 OF SE 1/4 (LESS N 33 FT FOR R/W) & TH PORTION OF N 1/2 N1/2 OF

**ORDINANCE NO. 2938**

**PAGE 8**

1 GOV LOT 2 SEC 18-21-28 LYING E OF BINION RD A/K/A CR 437 (LESS N 330 FT) IN  
2 SEC 18-21-28

3 AND

4 BEG AT SE COR OF SEC 18-21-28 TH S89-54-44W 936.11 FT TH N43-34-16W 104.56 FT  
5 TO THE POINT OF CURVATURE OF A CURVE CONCAVE SWLY W/ RADIUS OF 14808  
6 FT CENTRAL ANGLE OF 1-44-52 CHORD BRG AND DISTANCE OF N44-26-42W 451.72  
7 FT TH NWLY ALONG CURVE 451.74 FT TO NON-TANGENT POINT TH N0-34-36E  
8 265.35 FT TH S89-57-37W 241.66 FT TH N42-1-40W 447.1 FT TH N89-59-5E 544.34 FT TH  
9 N0-34-36E 659.61 FT TH S89-58-51E 249.44 FT TO POINT OF CURVATURE OF A CURVE  
10 CONCAVE SLY W/ RADIUS OF 30000 FT CENTRAL ANGLE OF 1-1-4 CHORD BRG  
11 AND DISTANCE OF S89-28-20E 532.84 FT TH ELY ALONG CURVE 532.85 FT TO POINT  
12 OF TANGENCY TH S88-57-48E 403.65 FT TO THE POINT OF CURVATURE OF A  
13 CURVE CONCAVE SWLY W/ RADIUS OF 479.5 FT CENTRAL ANGLE OF 42-36-6  
14 CHORD BRG AND DISTANCE OF S67-39-45E 348.37 FT TH SELY ALONG CURVE  
15 356.53 FT TO POINT OF TANGENCY TH S46-21-42E 656.86 FT TO POINT OF  
16 CURVATURE OF A CURVE CONCAVE NELY W/ RADIUS OF 817.5 FT CENTRAL  
17 ANGLE OF 27-12-51 CHORD BRG AND DISTANCE OF S59-58-7E 384.65 FT TH SELY  
18 ALONG CURVE 388.29 FT TO NON-TANGENT POINT TH S30-35-/8W 135.56 FT TH S0-  
19 0-19W 746.69 FT TH N89-59-43W 935.59 FT TO POB

20 AND

21 DOC 20220056728 - ERROR IN LEGAL - S1/4 OF NW1/4 OF SE1/4 & N1/4 OF SW1/4 OF  
22 SE1/4 (LESS R/W ON W) SEE 5225/3866 COMM SW COR OF SE1/4 OF SEC 18-21-28 TH  
23 N01-08-13E 1661.23 FT N89-58-37E 3.79 FT S00-13-55W 434.61 FOR POB TH S46-26-53E  
24 217.98 FT S43-22-53E 109.16 FT S89-56-56W 233.89 FT N00-13-55E 229.74 FT TO POB

25 AND

26 COMM SW COR OF SE1/4 OF SEC 18-21-28 TH N01-08-13E 1661.23 FT N89-58-37E 3.79  
27 FT E R/W LINE OF CR437 S00-13-55W 664.35 FOR POB TH N89-56-56E 233.89 FT S39-14-  
28 46E 184.80 FT S41-31-16E 150 FT S89-56-05W 510.20 FT TO A POINT ON A NON-TAN  
29 CURVE NELY 115.30 FT ALONG THE ARC OF A CURVE CONCAVE SWLY W/RAD  
30 915.37 CENT ANG 07-13-10 TH N00-13-55E 217.14 TO POB

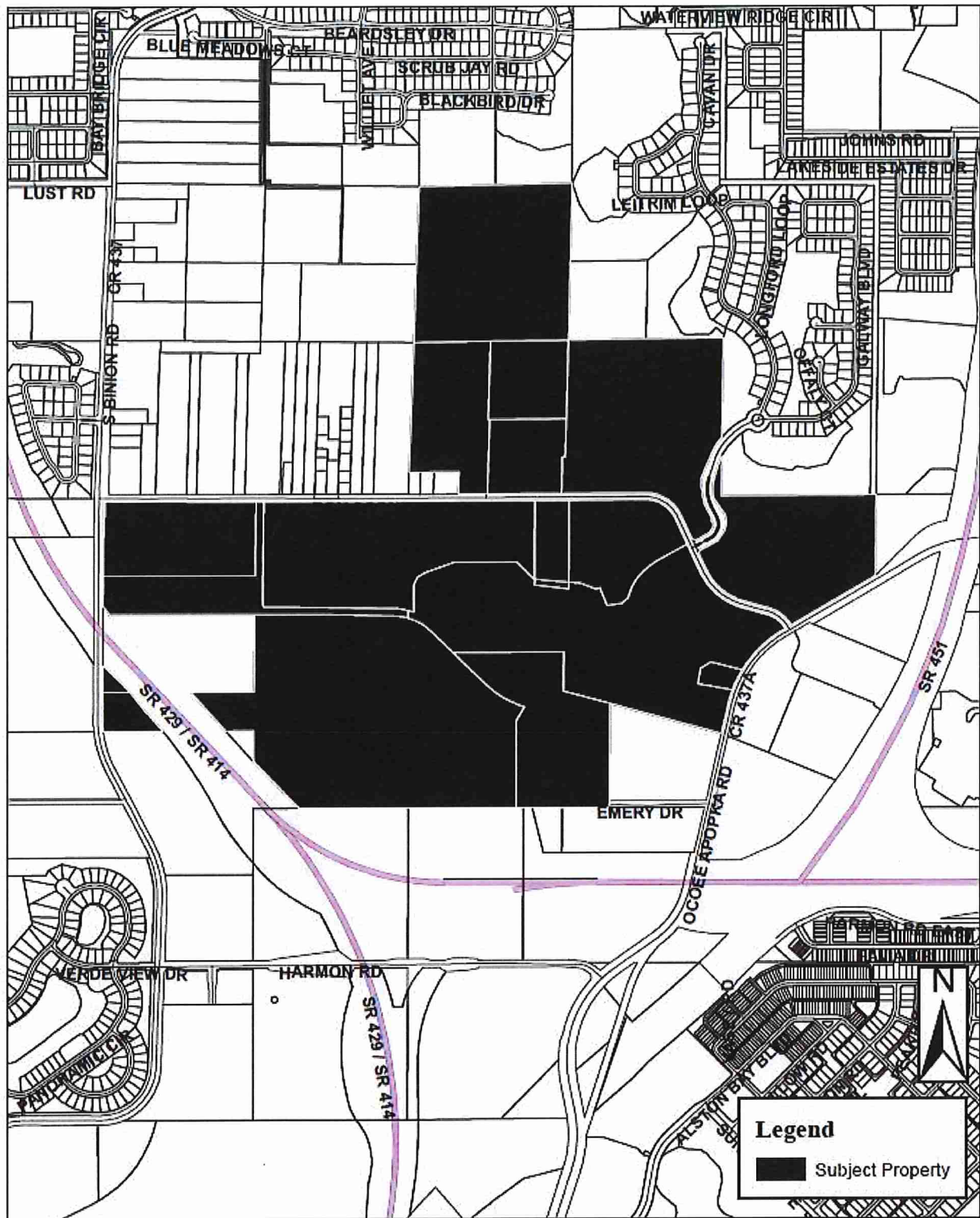
31 AND

32 PORTION OF N 330 FT OF GOV LOT 2 LYING EAST OF EAST R/W LINE OF BINION RD  
33 IN SEC 18-21-28

34 Parcel Identification Numbers: 17-21-28-0000-00-007, 17-21-28-0000-00-008, 17-21-28-0000-  
35 00-012, 17-21-28-0000-00-013, 17-21-28-0000-00-015, 17-21-28-0000-00-017, 17-21-28-0000-  
36 00-018, 17-21-28-0000-00-023, 17-21-28-0000-00-028, 17-21-28-0000-00-030, 18-21-28-0000-  
37 00-013, 18-21-28-0000-00-014, 18-21-28-0000-00-032, 18-21-28-0000-00-047, 18-21-28-0000-  
38 00-073, 18-21-28-0000-00-102

39 Total acreage: 407.8 +/- acres

Exhibit "B"



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**ORDINANCE NO. 2858**

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**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM RSF-1A (RESIDENTIAL SINGLE-FAMILY ESTATE), C-C (COMMUNITY COMMERCIAL) AND MU-ES-GT (MIXED-USE-EAST-SHORE-GATEWAY) DISTRICT TO PD (PLANNED DEVELOPMENT), FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH AND SOUTH OF BOY SCOUT ROAD, WEST OF SR 451 AND EAST OF BINION ROAD, OWNED BY TROY S. BRONSON FAMILY LP, JOHN AND DONNA MARIE KIRKLAND, BINION PARTNERS, LLC, AND APOPKA CENTERLINE DEVELOPMENT, LLC; COMPRISING 366.6 ACRES; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

27  
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29

**WHEREAS**, to manage growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

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**WHEREAS**, VHB c/o John Prowell has requested a change in zoning on said property as identified in Section II of this ordinance; and

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**WHEREAS**, the proposed Planned Development (PD) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

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**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

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**SECTION I:** That the zoning classification of the following described property be designated as Planned Development (PD), as defined in the Apopka Land Development Code, and with the following development standards and provisions, and subject to the following zoning provisions:

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- A. Development of the property shall occur consistent with the Master Plan set forth in Exhibit "B". Where any development standard conflicts between the Master Plan and the Land Development Code, the Master Plan shall preside. Any proposed revision to the Master Plan shall be evaluated and processed pursuant to the Land Development Code
  - B. A PD Agreement prepared in accordance with LDC Section 3.7.2.F.2 shall be approved by the City Council.
  - C. The uses permitted and prohibited within the PD District are those noted on the Master Plan and PD Agreement.
  - D. If a Plat associated with the PD district has not been approved by the City within three years after approval of these Master Plan, the approval of the Master Plan provisions will

48 expire. At such time, the City Council may:

- 49
- 50 1. Permit a single six-month extension for submittal of the required Minor or Major
- 51 Development Plan;
- 52
- 53 2. Allow the PD zoning designation to remain on the property pending resubmittal of
- 54 new Master Plan provisions and any conditions of approval; or
- 55
- 56 3. Rezone the property to an appropriate zoning classification.
- 57

58 **SECTION II:** That the zoning classification of the following described Property, attached  
59 hereto as Exhibit A and incorporated herein, being situated in the City of Apopka, Florida, is  
60 hereby PD as defined in the Apopka Land Development Code.

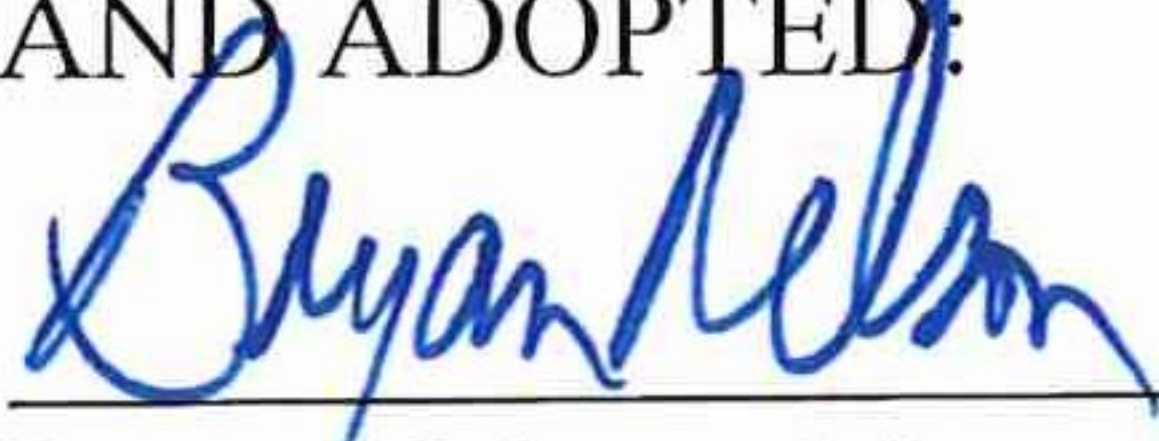
61  
62 **SECTION III: AUTHORITY OF COMMUNITY DEVELOPMENT DIRECTOR.** That  
63 the Community Development Director, or the Director’s designee, is hereby authorized to amend,  
64 alter, and implement the official zoning maps of the City of Apopka, Florida, to include said  
65 designation.

66  
67 **SECTION IV: SEVERABILITY.** That if any section or portion of a section or subsection  
68 of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to  
69 invalidate or impair the validity, force or effect of any other section or portion of section or  
70 subsection or part of this ordinance.

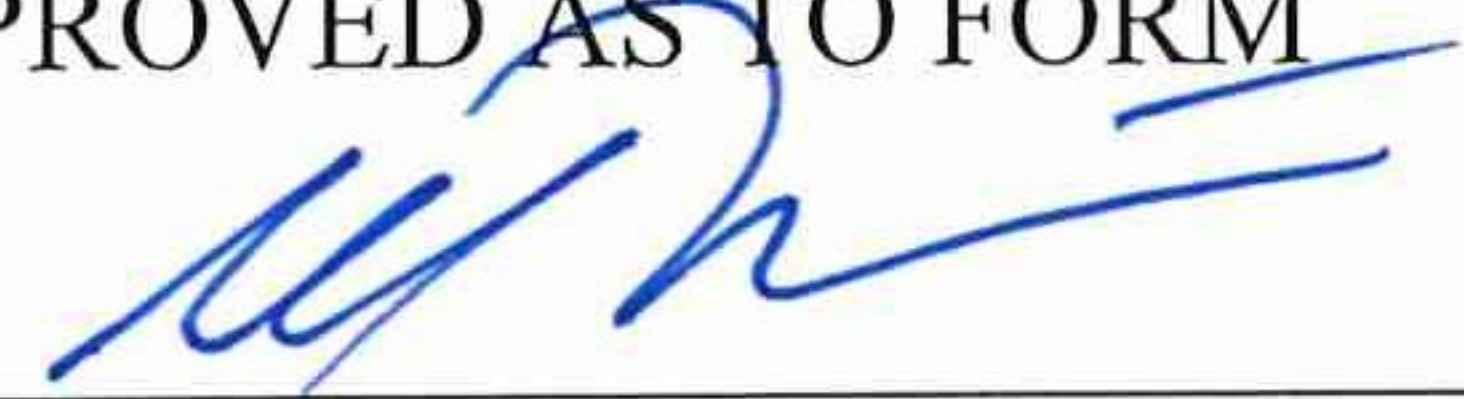
71  
72 **SECTION V:** That this Ordinance shall take effect adoption.

READ FIRST TIME: July 7, 2021

READ SECOND TIME  
AND ADOPTED: July 21, 2021

  
\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST:  
  
\_\_\_\_\_  
Susan M. Bone, City Clerk

APPROVED AS TO FORM  
  
\_\_\_\_\_  
Michael A. Rodríguez, City Attorney

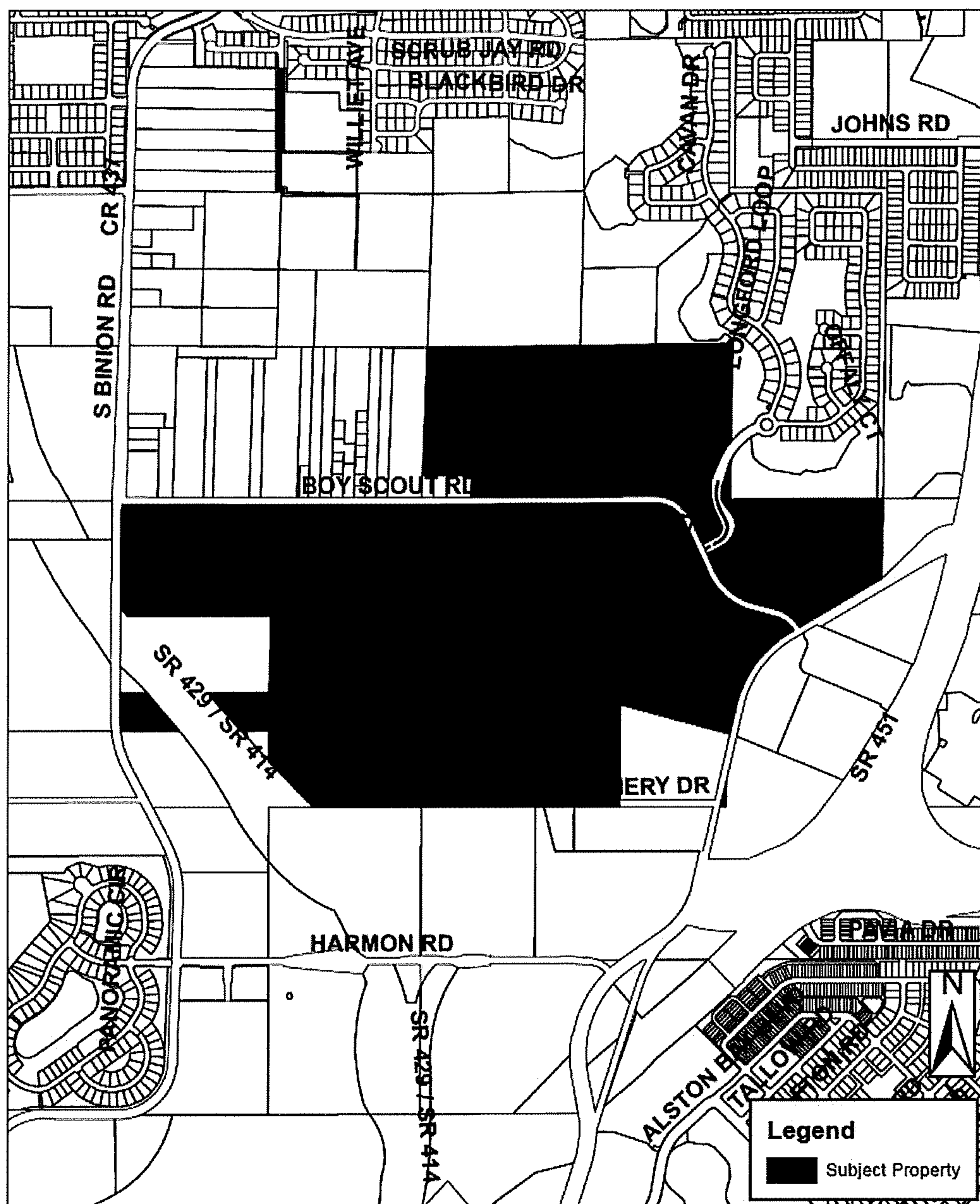
DULY ADVERTISED FOR PUBLIC HEARING: May 21, 2021 and May 28, 2021

EXHIBIT "A"

Change of Zoning – The Ridge  
366.6 +/- Acres  
From RSF-1A, C-C and MU-ES-GT  
To: PD

Parcel ID #s: 17-21-28-0000-00-013, 28-21-18-0000-00-032, 28-21-17-0000-00-007,  
28-21-17-0000-00-015, 28-21-17-0000-00-008, 28-21-17-0000-00-028, 28-21-17-0000-00-030,  
28-21-18-0000-00-014, 28-21-17-0000-00-017, 28-21-17-0000-00-006, 28-21-17-0000-00-018,  
28-21-17-0000-00-023, 28-21-17-0000-00-012, and 28-21-18-0000-00-007

Vicinity



# Planned Development Master Plan

Issued for PD Zoning Approval  
 Date Issued July 21, 2021  
 Latest Issue April 18, 2022

## The Ridge PD

City of Apopka, Florida

Parcel IDs:

17-21-28-0000-00-003, 17-21-28-0000-00-006,  
 17-21-28-0000-00-007, 17-21-28-0000-00-008,  
 17-21-28-0000-00-012, 17-21-28-0000-00-013,  
 17-21-28-0000-00-015, 17-21-28-0000-00-017,  
 17-21-28-0000-00-018, 17-21-28-0000-00-023,  
 17-21-28-0000-00-028, 17-21-28-0000-00-030,  
 18-21-28-0000-00-013, 18-21-28-0000-00-014,  
 18-21-28-0000-00-032, 18-21-28-0000-00-047,  
 18-21-28-0000-00-073, 18-21-28-0000-00-102



225 E. Robinson Street  
 Suite 300  
 Orlando, FL 32801  
 407.839.4006  
 Certificate of Authorization  
 Number FL #3932

### Owner

KS Apopka Centerline Development LLC  
 15481 SW 12th Street  
 Suite 309  
 Sunrise, Florida 33326

Apopka Centerline Development LLC  
 15481 SW 12th Street  
 Suite 309  
 Sunrise, Florida 33326

### Applicant

Apopka Centerline Development LLC  
 15481 SW 12th Street  
 Suite 309  
 Sunrise, Florida 33326

### Sheet Index

No.	Drawing Title	Latest Issue
C-1 - C-3	Existing Conditions	March 8, 2022
C-4	Master Site Plan	April 18, 2022
C-5	Typical Sections	April 18, 2022
C-6	Site Data & Details	April 18, 2022
C-7	Drainage & Utilities Plan	April 18, 2022
C-8	Phasing Plan	March 8, 2022

### Reference Drawings

No.	Drawing Title	Latest Issue
Shts. 1-11	ALTA/NSPS Land Title Boundary, Topographic & Tree Survey	February 2, 2021

**Community Planner & Civil Engineer**  
 VHB  
 225 E. Robinson Street  
 Suite 300  
 Orlando, Florida 32801  
 P 407-839-4006 - 407-839-4008

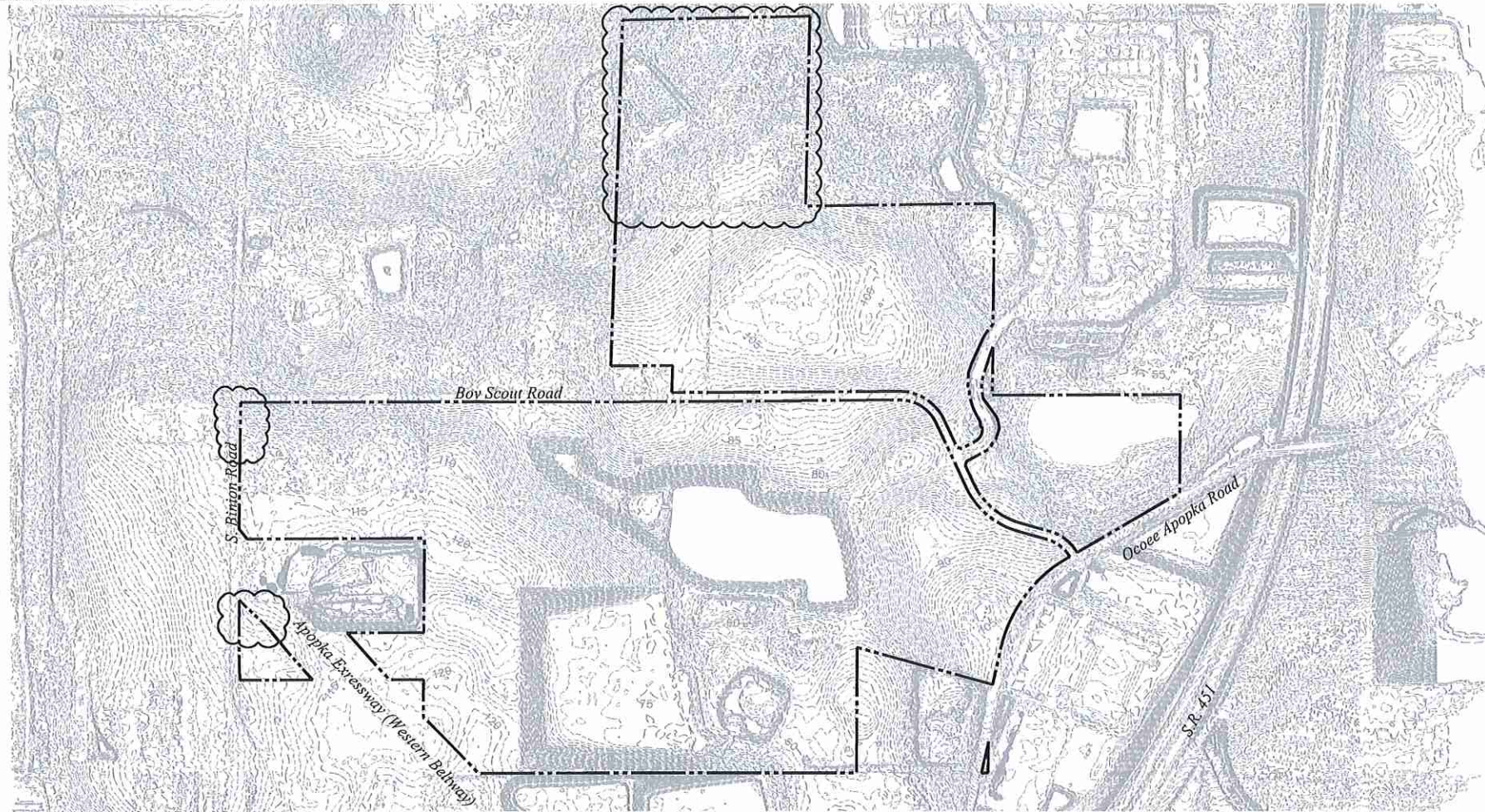
**Geotech**  
 DEVO Engineering  
 5500 Alhambra Drive  
 Orlando, Florida 32808  
 P 407-290-2371

**Environmental**  
 Bio-Tech Consulting Inc.  
 3025 E. South Street  
 Orlando, Florida 32803  
 P 407-894-5969 - 407-894-5970

**Land Use Attorney**  
 Gray Robinson P.A.  
 301 E. Pine Street  
 Suite 1400  
 Orlando, Florida 32801  
 P 407-843-8880

**Surveyor**  
 VHB  
 225 E. Robinson Street  
 Suite 300  
 Orlando, Florida 32801  
 P 407-839-4006 - 407-839-4008

**Allen & Company**  
 16 E. Plant Street  
 Winter Garden, Florida 34787  
 P 407-654-5355



**TOPOGRAPHY MAP**  
(NAVD 88)

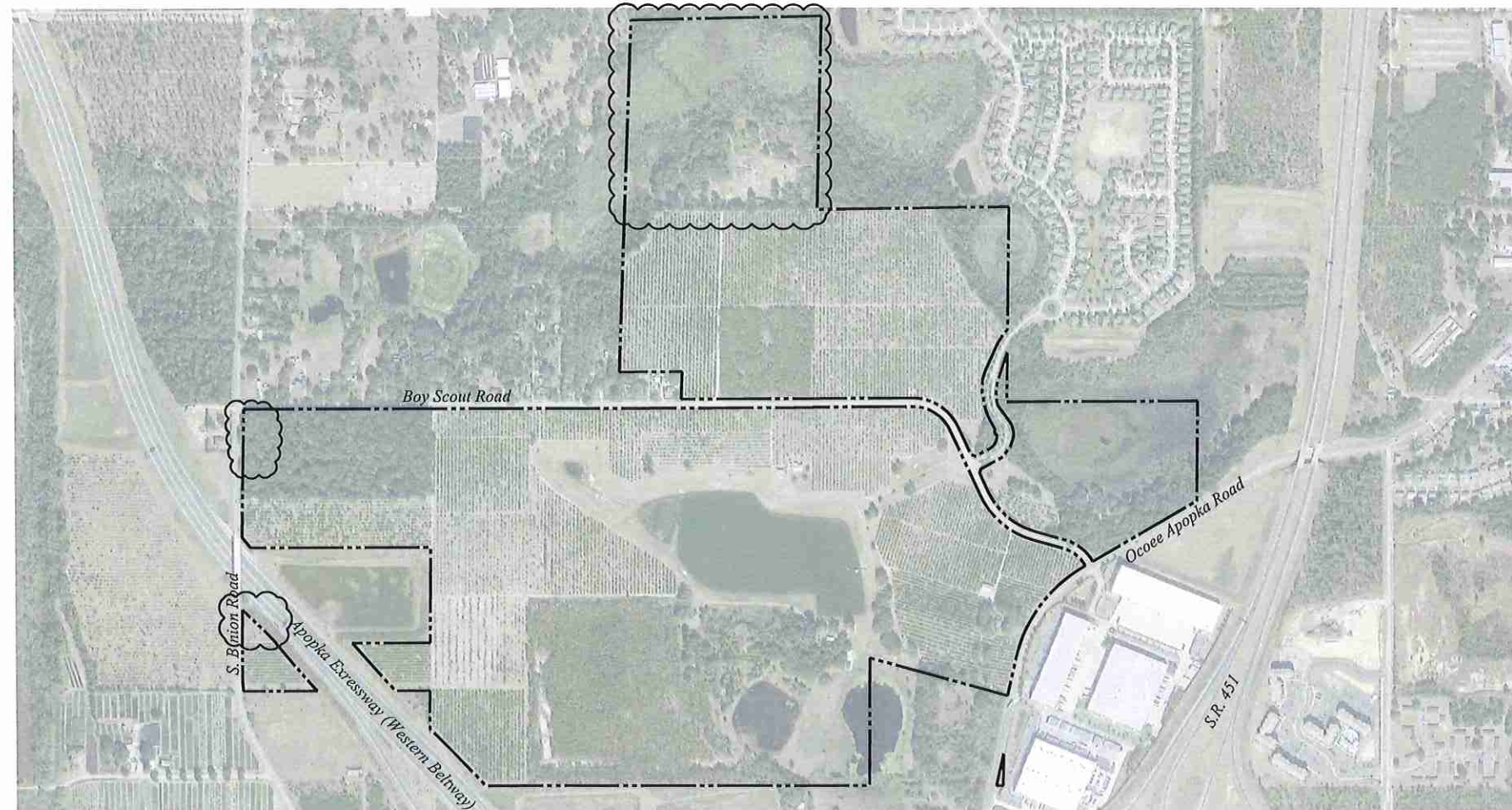
CONTOUR SOURCE: ORANGE COUNTY GIS, 2014

**LEGEND**

- PROJECT BOUNDARY
- - - TOPOGRAPHIC CONTOUR



225 E. Robinson Street  
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Number FL #3932



**AERIAL MAP**

AERIAL SOURCE: ORANGE COUNTY, 2018

**LEGEND**

- PROJECT BOUNDARY



**The Ridge PD**

Apopka, Florida

No.	Revision	Date	App'd.
1	Revised per City comment	02/15/2021	
2	Revised per City comment	03/08/2021	
3	Revised per DMC Comments Dated March 8, 2021	04/26/2021	
4	PD Amendment	03/08/2022	

Designed by: EH  
Checked by: EH  
Issued for: EH  
Date: March 8, 2022

Vertical Datum NAVD 1988

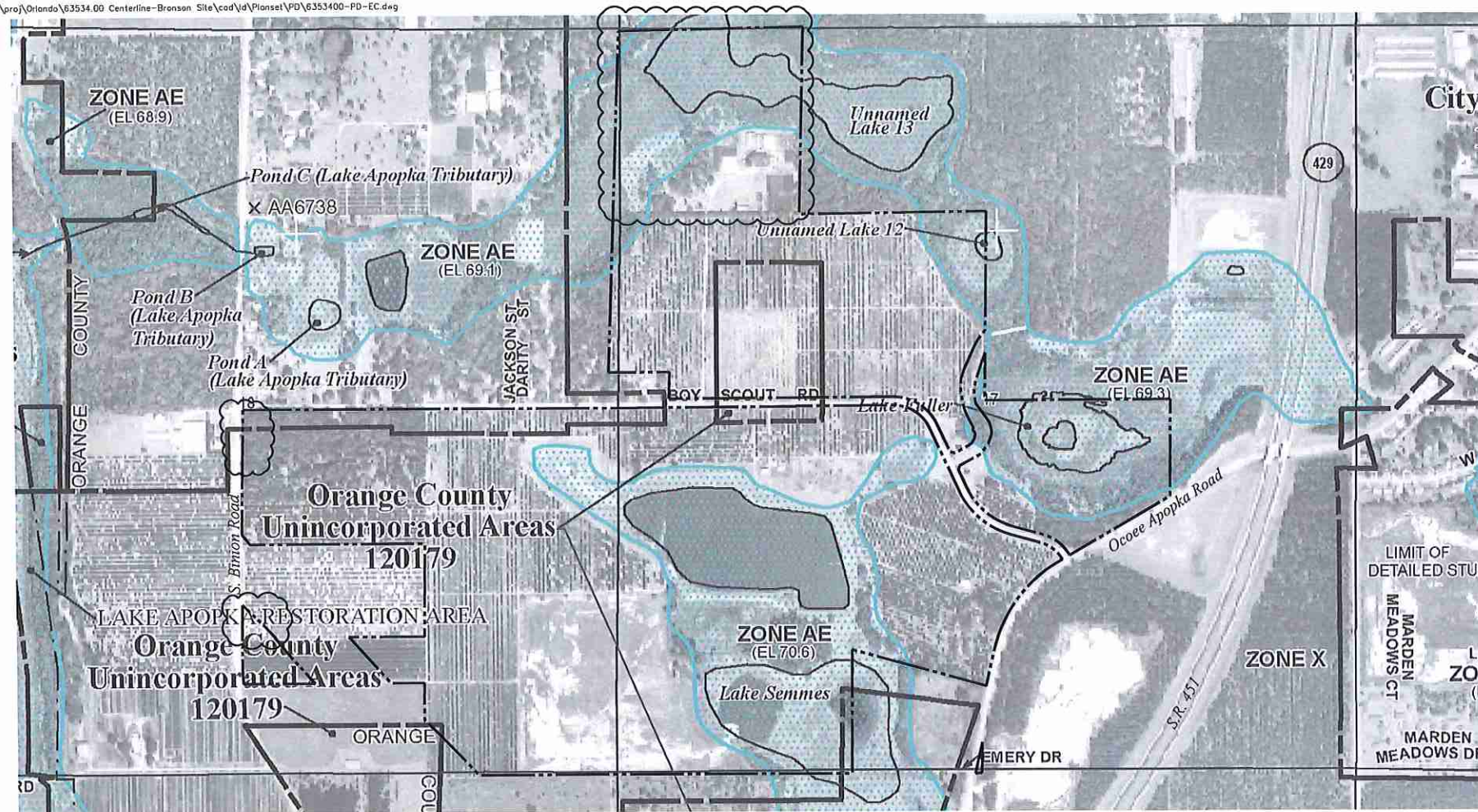
Drawing Title: Existing Conditions

Drawing Number

**C-1**

Sheet of

Project Number: 63534.00  
DATE: Mar. 08, 2022



**FLOODPLAIN MAP**

FEMA MAP SERVICE CENTER, FIRM PANEL 12095C0120F,  
 DATED SEPTEMBER 25, 2009

**LEGEND**

- PROJECT BOUNDARY
- SPECIAL FLOOD HAZARD AREA

**FIRM PANEL LEGEND**

- ZONE A NO BASE FLOOD ELEVATIONS DETERMINED
- ZONE AE BASE FLOOD ELEVATIONS DETERMINED  
 SPECIAL FLOOD HAZARD AREAS SUBJECT TO  
 INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT
- ZONE X AREAS DETERMINED TO BE OUTSIDE THE  
 0.2% ANNUAL CHANCE FLOODPLAIN



225 E. Robinson Street  
 Suite 300  
 Orlando, FL 32801  
 407.839.4006  
 Certificate of Authorization  
 Number FL #3932



**SOILS MAP**

SOILS SOURCE: USDA, NRCS

**LEGEND**

- PROJECT BOUNDARY
- SOILS BOUNDARY

SOIL CODE	DESCRIPTION
3	BASINGER FINE SAND, DEPRESSIONAL
4	CANDLER FINE SAND, 0 TO 5 PERCENT SLOPES
5	CANDLER FINE SAND, 5 TO 12 PERCENT SLOPES
6	CANDLER-APOPKA FINE SAND, 5 TO 12 PERCENT SLOPES
17	FLORIDANA MUCKY FINE SAND, DEPRESSIONAL
21	LAKE FINE SAND, 0 TO 5 PERCENT SLOPES
28	FLORAHOME FINE SAND, 1 TO 5 PERCENT SLOPES
33	PITS
42	SANIBEL MUCK
46	TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES
47	TAVARES-MILLHOPPER FINE SAND, 0 TO 5 PERCENT SLOPES
54	ZOLFO FINE SAND
99	WATER



**The Ridge PD**

Apopka, Florida

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1	Revised per City comment	02/15/2021	
2	Revised per City comment	03/05/2021	
3	Revised per DRC Comments Dated March 8, 2021	04/26/2021	
4	PD Amendment	03/09/2022	

Designed by: EH  
 Checked by: EH  
 Issued for: EH  
 Date: March 8, 2022

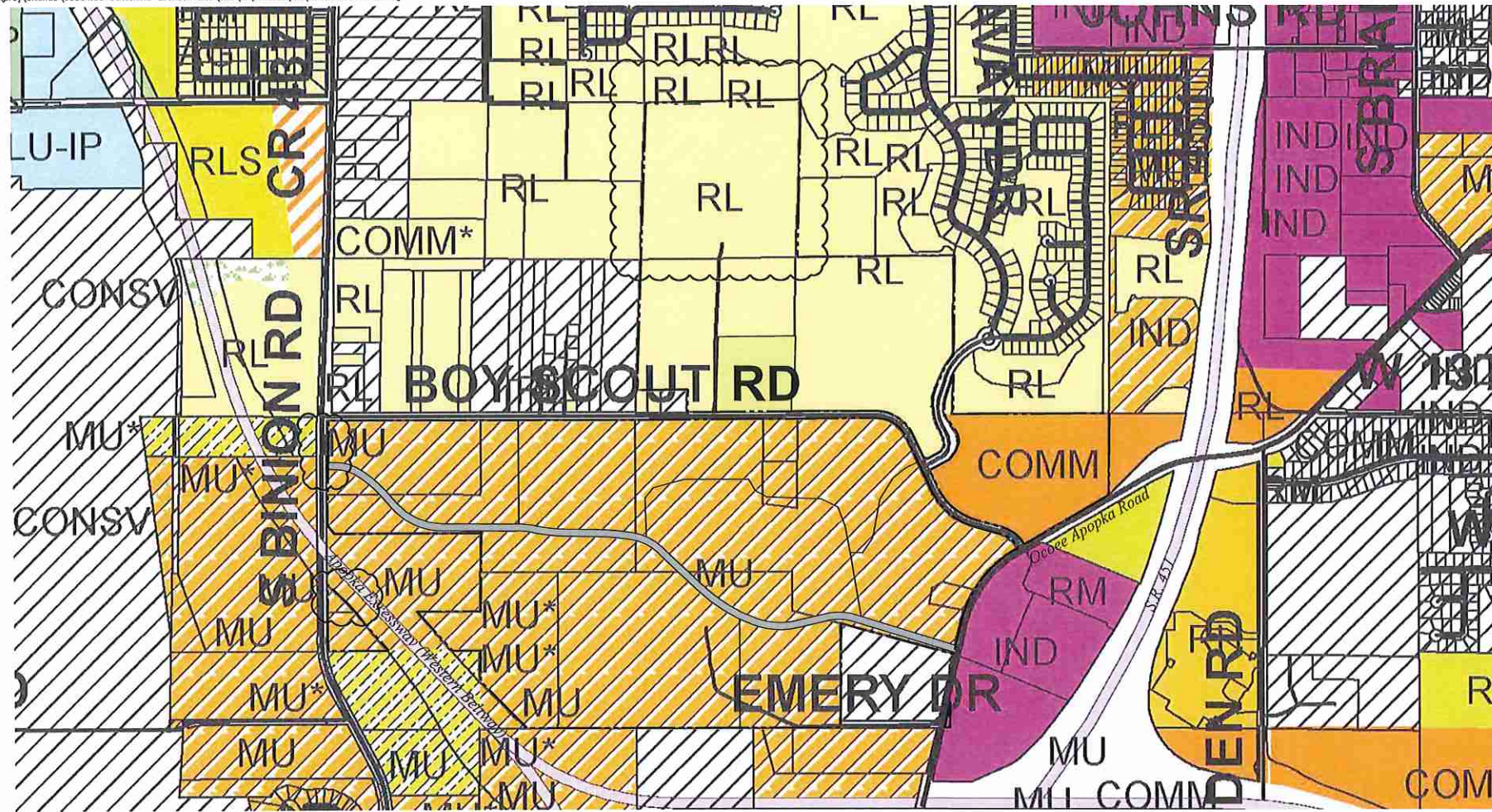
Vertical Datum NAVD 1988

Existing Conditions

Drawing Number

**C-2**

Sheet of

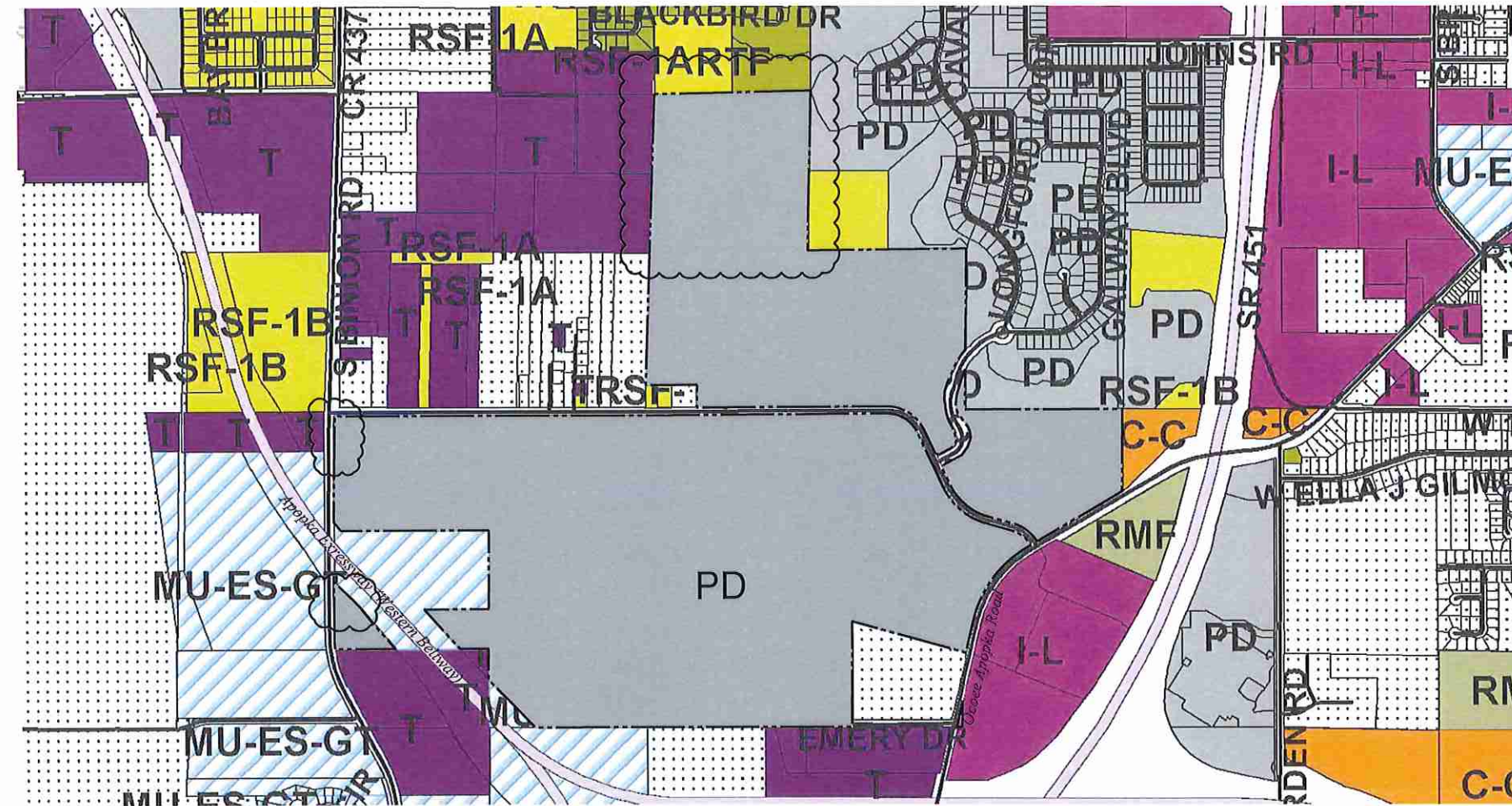


**PROPOSED FUTURE LAND USE MAP**

MAP SOURCE: CITY OF APOPKA, FL

**LEGEND**  
 - - - - - PROJECT BOUNDARY

- Legend**
- Parcels**
- CITY\_CODE**
- APK
  - ORG
  - KPI Radius
  - Wekiva River Protection Area
- Street Line**
- SUBTYPE**
- Interstate
  - Local
  - Major
  - Other
  - Proposed
  - Railroad
  - Secondary
  - Toll
  - Trails
- Future Land Use**
- LAND\_USE**
- AG
  - AG-E
  - AG-HOME
  - COMM
  - COMM\*
  - CONSV
  - FLU-IP
  - IND
  - IND\*
  - INST\_PU
  - MU
  - MU\*
  - OFF
  - PR
  - RE
  - RH
  - RL
  - RLS
  - RM
  - RML
  - RS
  - RVLS



**PROPOSED ZONING MAP**

MAP SOURCE: CITY OF APOPKA, FL

**LEGEND**  
 - - - - - PROJECT BOUNDARY

- Legend**
- Street Line**
- SUBTYPE**
- Interstate
  - Local
  - Major
  - Other
  - Proposed
  - Secondary
  - Toll
  - Trails
  - Railroad
- PARCELS**
- CITY\_CODE**
- APK
  - ORG
- Zoning**
- Zoning**
- AG
  - AIR
  - C-C
  - C-N
  - C-R
  - I-H
  - I-L
  - INST
  - MHP
  - MU-D
  - MU-ES-GT
  - MU-INT
  - MU-MED
  - MU-N
  - MU-VC
  - O
  - PD
  - PR
  - RCE
  - RMF
  - RSF-1A
  - RSF-1B
  - RTF
  - T



**The Ridge PD**

Apopka, Florida

No.	Revision	Date	App'd.
1	Revised per City comment	02/15/2021	
2	Revised per City comment	03/08/2021	
3	Revised per DPC Comments Dated March 8, 2021	04/26/2021	
4	PD Amendment	03/08/2022	

Designed by: EH  
 Checked by: EH  
 Issue for: March 8, 2022

Vertical Datum NAVD 1988  
 Drawing title: Existing Conditions

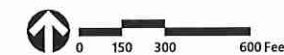
Drawing Number: **C-3**  
 Sheet of:  
 Project Number: 63534.00  
 DATE: Mar. 08, 2022



225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932

**LEGEND**

- PROJECT BOUNDARY
- PARCEL LIMITS
- WETLAND
- WETLAND IMPACTS
- UPLAND BUFFER
- PROPOSED OPEN SPACE
- FUTURE ROW & STORMWATER FOR REALIGNMENT OF BOY SCOUT ROAD
- PROPOSED ACCESS POINT
- PROPOSED TRAIL
- OFFSITE WETLAND BOUNDARY



### The Ridge PD

Apopka, Florida

No.	Revision	Date	App'd.
1	Revised per City comment	02/15/2021	
2	Revised per City comment	03/08/2021	
3	Revised per DRC Comments Dated March 8, 2021	04/26/2021	
4	PD Amendment	03/08/2022	

Designed by: EH  
Checked by: EH  
Issued for: EH  
Date: March 8, 2022

Vertical Datum NAVD 1988  
Drawing Title: Master Site Plan

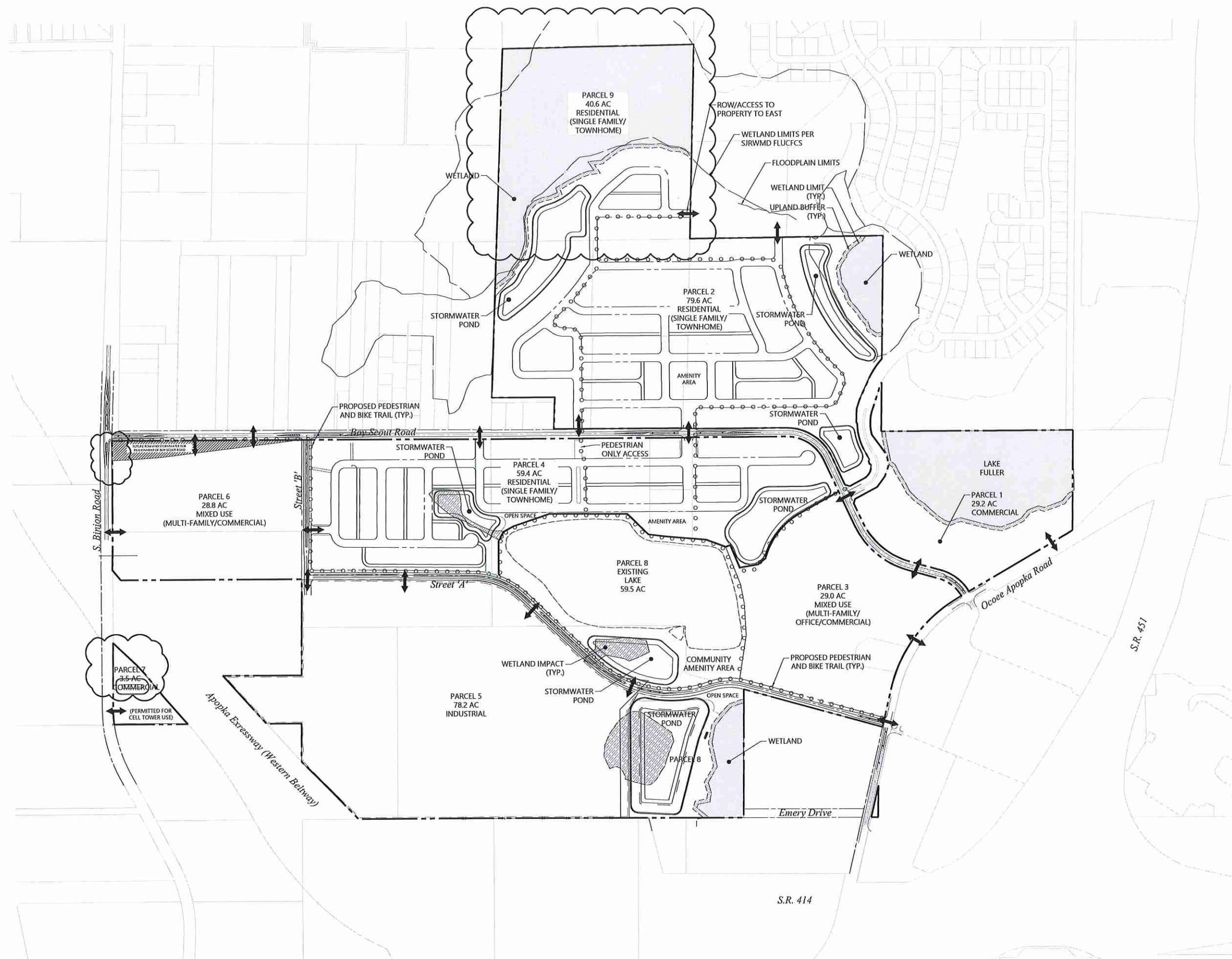
Drawing Number

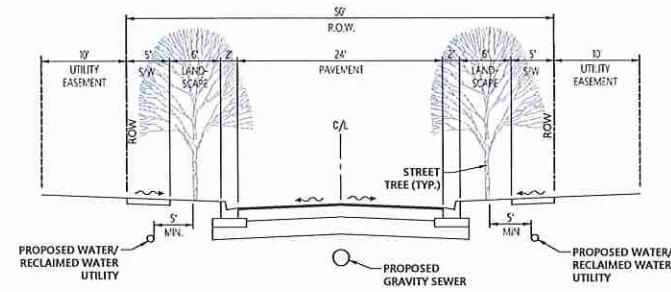
**C-4**

Sheet of

DATE: Jul. 13, 2022  
Project Number: 63534.00

Saved Tuesday, April 19, 2022 5:03:56 PM GZHENG Plotted Wednesday, July 13, 2022 3:56:20 PM Grace Zheng

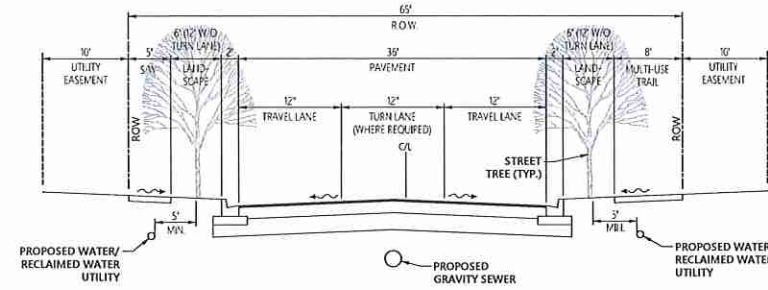




FOR RESIDENTIAL DEVELOPMENT.  
INCLUDES SIGNAGE TO ALLOW PARKING ON ONE SIDE OF ROAD ONLY.

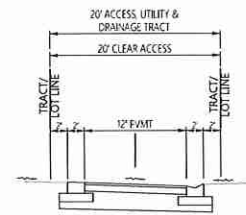
**Typical Road Section - (50' ROW)**

N.T.S.



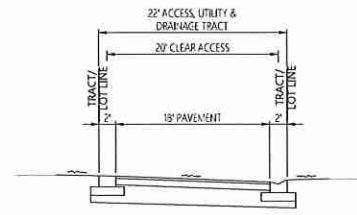
**Typical Road Section - Street 'A' (65' ROW)**

N.T.S.



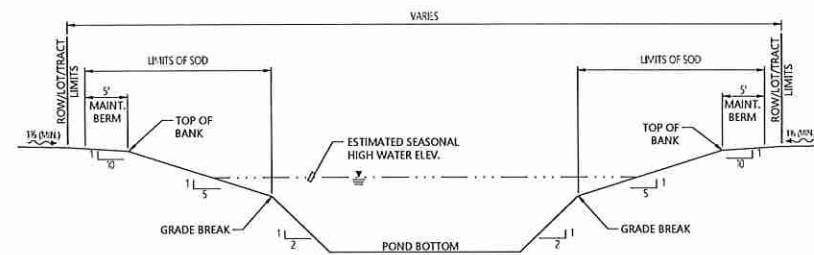
**Typical Alley Road Section - One Way**

N.T.S.



**Typical Alley Road Section - Two Way**

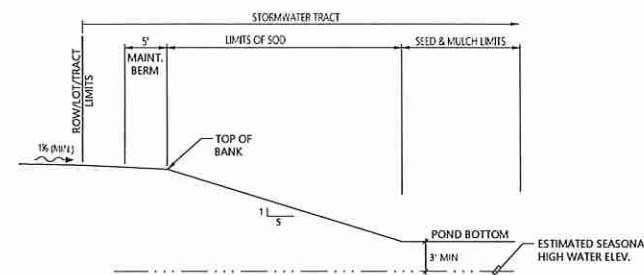
N.T.S.



POND SLOPES & MAINTENANCE BERMS SHALL BE IN ACCORDANCE  
WITH CITY OF APOPKA LDC SECTION 6.025.00 D.1.A

**Typical Wet Pond Section**

N.T.S.



POND SLOPES & MAINTENANCE BERMS SHALL BE IN ACCORDANCE  
WITH CITY OF APOPKA LDC SECTION 6.025.00 D.1.A

**Typical Dry Pond Section**

N.T.S.

**The Ridge PD**

**Apopka, Florida**

No.	Revision	Date	App'd
1	Revised per City comment	02/15/2021	
2	Revised per City comment	03/08/2021	
3	Revised per DRC Comments Dated March 8, 2021	04/26/2021	
4	PD Amendment	03/08/2022	

Designed by: EH  
Checked by: EH  
Issued for: Dns  
Date: March 8, 2022

Vertical Datum NAVD 1988  
Drawing Title

**Typical Sections**

Drawing Number

**C-5**

Sheet of

DATE: Mar. 02, 2022  
Project Number: 63534.00

**Planned Development Zoning District Standards**

The purpose of this PD is to provide flexibility in the development of a mixed-use project with residential, commercial, office and light industrial uses. The project is designed to respect the natural features of the land and is compatible with the character of the established surrounding neighborhoods.

Development within this PD shall be subject to the development standards outlined herein; however, if not addressed in this PD document, subject to the provisions of the City of Apopka Land Development Code.

**SITE DATA**

Future Land Use: Low Density Residential, Mixed Use  
 Existing Zoning: RSF-1A, MU-ES-GT  
 Proposed Zoning: (PD) Planned Development

**Adjacent Future Land Use**

North	South	East	West
Low Density Residential	Mixed Use	Industrial/Mixed Use	Mixed Use

**Adjacent Zoning**

North	South	East	West
RSF-1APD	T/MU-ES-GT	IL	MU-ES-GT

**OPEN SPACE**

LAND USE	PERCENTAGE REQUIRED
Residential	30%
Commercial/Mixed Use	20%
Industrial	20%

- Open space percentage requirements per Section 5.4, Table 5.4.4 Required Open Space Set-Asides of the City of Apopka LDC.
- Open space and recreation requirements shall be calculated on the overall PD area, and not on an individual parcel basis.
- Specific open space and recreation area calculations shall be provided on the minor or major development plans for each phase of development.

**DEVELOPMENT PROGRAM**

Parcel ID	Land Use	Gross Acres	Development Program
1	Commercial	23.2	100,000 sf
2	Residential	79.57	340 du
3	Multi-Family	18.0	374 du
	Office	7.0	75,000 sf
	Commercial	6.0	25,000 sf
4	Residential	59.40	303 du
5	Industrial	78.2	1,600,000 sf
6	Multi-Family	20.45	304 du
	Commercial	8.4	150,000 sf
7	Commercial	3.5	25,000 sf
8	Lake Recreation	49.5	44 du
9	Residential	40.6	44 du
<b>TOTAL</b>		<b>407.88</b>	

**Permitted Uses:** Permitted uses shall be those described in the RSF-1A, RSF-1B, C-C, IL and MU-ES-GT use chart in the City of Apopka Land Development Code and listed in the PD Agreement. Additionally, wireless communication towers shall be a permitted use on Parcel 7 only.

**Phasing:** The project will be developed in multiple phases. Each phase of development shall have sufficient infrastructure to stand alone. Please refer to sheet C-8 for specific phasing.

**RESIDENTIAL DEVELOPMENT STANDARDS**

**Single Family Residential**

	Front Loaded (55 feet and greater)	Rear Loaded (50 feet or less)
Min Lot Area	5,500 sf	3,500 sf
Min Lot Width	55'	32'
Min Living Area	1,600 sf	1,600 sf
Max Building Height	2-stories/35'	2-stories/35'
<b>Minimum Setbacks</b>		
Front Primary Structure	20'	15'
Front Porch	10'	10'
Front Entry Garage	25'	NA
Side	5'	5'
Corner Side	15'	15'
Rear Primary Structure	20'	20/3' (with detached garage)
Accessory Structures	5'	5'

**Townhomes**

Min Lot Area	1,600 sf
Min Lot Width	18'
Min Living Area	1,300 sf
Max Building Height	3-stories/40'
<b>Minimum Setbacks</b>	
Front Primary Structure	15'
Front Porch	10'
Side	0/7' (end units)
Corner Side	10'
Rear Primary Structure	20/3' (with detached garage)
Accessory Structures	5'
Minimum Building Separation	20'

**Multi-Family**

Min Living Area	500 sf
Max Building Height	5-stories/65'
<b>Minimum Setbacks</b>	
Front Primary Structure	15'
Side	10'
Corner Side	20'
Rear Primary Structure	25'
Minimum Building Separation	20'

**Multi-Family Detached**

Min Living Area	500 sf
Max Building Height	3-stories/40'
<b>Minimum Setbacks</b>	
Front Primary Structure	15'
Side	5'
Corner Side	10'
Rear Primary Structure	15'
Accessory Structure	5'
Minimum Building Separation	10'

**NON-RESIDENTIAL DEVELOPMENT STANDARDS**

Retail/Commercial/Office	
Max FAR	0.30
Max ISR	0.80
Max Building Height	50'
<b>Minimum Setbacks</b>	
Front Primary Structure	15'
Side	10'
Corner Side	20'
Rear Primary Structure	10/30' (adjacent to residential)

Industrial	
Max FAR	0.50
Max ISR	0.85
Max Building Height	50'
<b>Minimum Setbacks</b>	
Front Primary Structure	10'
Side	10'
Corner Side	15'
Rear Primary Structure	10/30' (adjacent to residential)

**Trip Equivalency Conversion Matrix (Based on Daily 2-Way Trip Generation) (1)**

Change From Land Use	Size	Change To Land Use:		ITE Land Use	
		Warehouse	Single Family	Daily 2-Way Trip Rate (t)	ITE Code
Warehouse	1,000 SF	0.1653 DU	0.0243 KSF	1.61 Trips per 1,000 SF	150
Single Family	1 DU	6.0497 KSF	0.1472 KSF	9.74 Trips per 1 DU	210
Retail	1,000 SF	11.1118 KSF	6.7937 DU	66.19 Trips per 1,000 SF	820

Example: To convert 100,000 SF of Warehouse space to equivalent Single Family or Retail.  
 To Single Family:  $100,000 / 1,000 \times 0.1653 = 16.53$  DU's. Use 16 DU's.  
 To Retail:  $100,000 / 1,000 \times 0.0243 = 2.43$  KSF. Use 2,430 SF.

To check if equivalent land use trip threshold is the same:  
 $100,000 \text{ SF Warehouse Space} = 100,000 / 1,000 \times 1.61 = 161 \text{ Daily 2-Way Trips}$ . Use 161.  
 $16 \text{ Single Family} = 16 \times 9.74 = 155.84 \text{ Daily 2-Way Trips}$ . Use 156.  
 $2,430 / 1,000 \times 66.19 = 160.84 \text{ Daily 2-Way Trips}$ . Use 161.

**Estimated Trip Generation Rates (2)**

Land Use	ITE Average Size	ITE Land Use Code (3)	Daily Trip Generation Rate
Warehouse	1,535,000 SF	150 / E	1.61
Single Family	225 DU	210 / E	9.74
Retail	74,035 SF	820 / E	66.19

(1) Conversion factors based upon PM Peak Hour 2-Way Trip Generation Rates from ITE 10th Edition Trip Generation Report.

(2) Trip Generation Rates from 10th Edition of ITE Trip Generation Report, 2012.

(3) ITE Land Use Code Number / E = Final Curve Equation

LUKE Transportation Engineering Consultants, Inc., 2020

(4) Retail trip conversion matrix shall be recalculated for specific retail uses to account for fitted curve equation.

**RECREATION AMENITIES - PARCEL 8**

Picnic covered and outdoor seating areas	Dock with viewing and fishing pier
Visitor parking lot	Dog park
Bike paths and racks	Playground area and lawns
Open air pavilion	Community garden
Viewing and resting benches along paths	Walking pedestrian paths

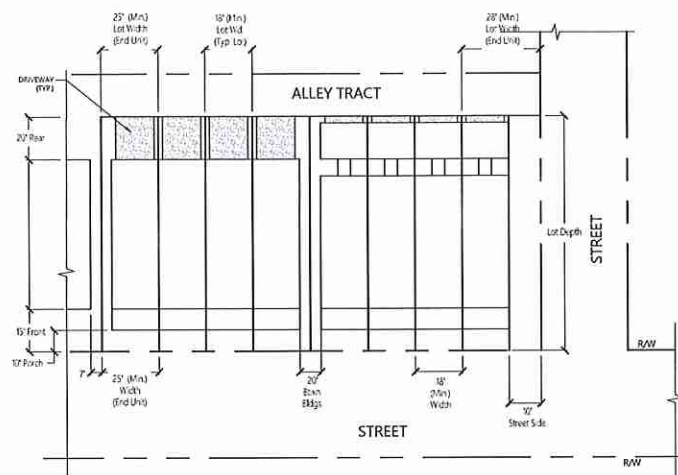
**WAVER REQUEST**

A waiver is requested from Section 3.7.2(1)(a) to allow for no more than 75% of the residential lots within Parcels 2 and 4 to be 50 feet in width or less, and the remaining residential lots Parcels 2, 4 and 9 be a mix of 55 and 60 feet in width (with a minimum of 12.5% of the total number of lots within each parcel be a minimum of 60 feet in width), in lieu of no more than 75% of the residential lots in a development or phase be 50 feet in width or less and the remaining lots shall be a minimum of 65 feet in width.

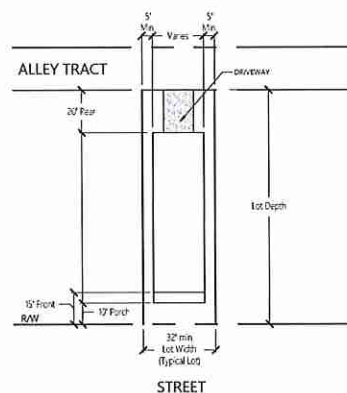
**Justification:** The proposed development is designed to be mixed use and pedestrian friendly. The additional lot width size will ensure compact neighborhood and is achieved and will allow for a variety of lot sizes to serve a range of economic levels needed for successful development.

**DEVELOPMENT NOTES**

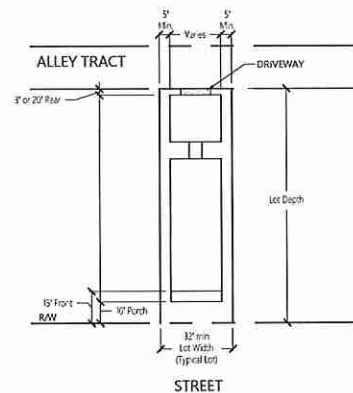
- All acreages are subject to change with final engineering and final plat review and approval.
- A Minor or Major Development Plan application shall be submitted for each phase of development. Each application shall address the requirements of the PD District Development Standards set forth in the City of Apopka Land Development Code Table 3.7.2.E.1, unless specifically addressed in this PD plan.
- Off street parking shall be provided in accordance with Table 5.1.6A: Minimum Number of Off-Street Vehicular Parking Spaces of the City of Apopka Land Development Code.
- Landscaping and buffer standards shall be in accordance with Table 5.2.5.B.3.D-1: Bufferyard Application of the City of Apopka Land Development Code. Interior landscape buffers between abutting property boundaries may have a ten (10) foot wide landscape buffer. Landscaping standards for residential development shall adhere to Section 5.2.2(B) of the City of Apopka Land Development Code.
- All stormwater ponds shown shall meet the City of Apopka Land Development Code requirements for slopes and depths requiring fencing.
- Exterior lighting shall comply with the requirements of Section 5.6 of the City of Apopka Land Development Code.
- Residential community signage shall comply with the requirements of Section 5.10.9 and non-residential standards shall comply with 5.10.7 of the City of Apopka's Land Development Code.
- Architectural design shall meet the intent of the City of Apopka's Development Design Guidelines.
- A concurrency application shall be submitted with each minor or major development plan for each phase of development.
- Densities and intensities within The Ridge PD may be exchanged based on the traffic equivalency matrix shown on the PD plan.
- In the event a cell tower is placed on Parcel 7, a fall zone radius will be provided adjacent to all residential, commercial and industrial structures located within the PD.
- All townhomes shall front a dedicated street.
- A Community Development District (CDD) will be established for ownership and maintenance of certain improvements within the development.
- Green building standards shall be provided per Section 5.11.4 of the City of Apopka Land Development Code. Specific standards will be provided during each minor or major development plan for each phase of development.
- Tree canopy retention standards shall be calculated on the overall PD area and not on an individual parcel basis. Tree canopy calculations shall be reviewed during the major development plan process. Tree canopy retention shall be maintained through each phase of development in accordance with Table 5.3.7.B.2.C in Section 5.3.7 of the City of Apopka's Land Development Code. Specific table calculations will be provided with each minor or major development plan.
- Fences and walls shall be permitted and adhere to the standards listed in Section 5.5 of the City of Apopka's Land Development Code.
- Neighborhood compatibility standards shall adhere to those listed in Section 5.8.3 of the City of Apopka Land Development Code.
- The access, mobility and circulation standards proposed shall adhere to those listed in Section 5.13.1.C of the City of Apopka Land Development Code.
- Street design and construction standards shall adhere to those listed in Section 5.13.2 of the City of Apopka Land Development Code.



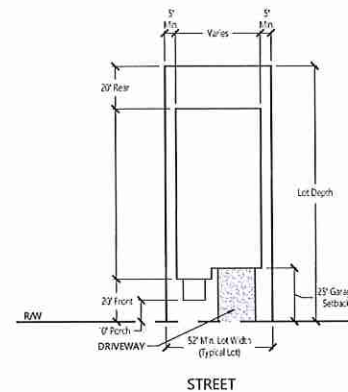
**Townhome (Rear Loaded)**  
Scale: 1"=40'



**Rear Loaded Single-Family Lot (50' and Less)**  
Scale: 1"=40'



**Rear Loaded w/ Detached Garage Single-Family Lot (50' and Less)**  
Scale: 1"=40'



**Front Loaded Single-Family Lot (55' and greater)**  
Scale: 1"=40'

**The Ridge PD**

Apopka, Florida

No.	Revision	Date	App'd.
1	Revised per City comment	02/15/2021	
2	Revised per City comment	03/08/2021	
3	Revised per DDC Comments Dated March 8, 2021	04/06/2021	
4	PD Amendment	03/08/2022	

Designed by: EH  
 Checked by: EH  
 Issued for: EH  
 Date: March 8, 2022

Vertical Datum NAVD 1988

**Site Data & Details**

Drawing Number

**C-6**

Sheet of

Project Number: 63534.00  
 DATE: Jul. 13, 2022



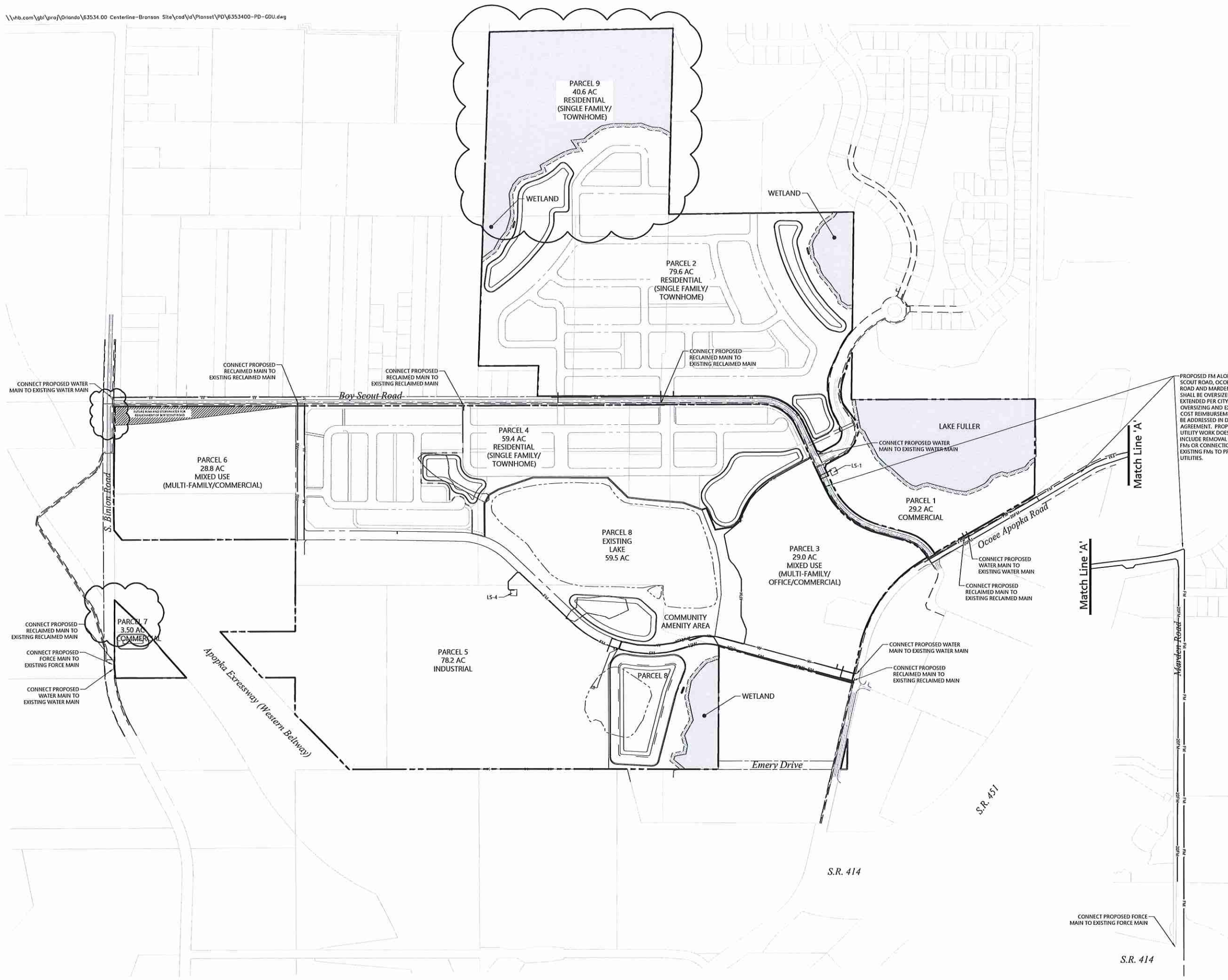
225 E. Robinson Street  
 Suite 300  
 Orlando, FL 32801  
 407.839.4006  
 Certificate of Authorization  
 Number FL #3932



225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932

**LEGEND**

	PROJECT BOUNDARY
	PARCEL LIMITS
	WETLAND
	UPLAND BUFFER
	EXISTING TOPOGRAPHIC CONTOUR



PROPOSED FM ALONG BOY SCOUT ROAD, OCOEE APOPKA ROAD AND MARDEN ROAD SHALL BE OVERSIZED AND EXTENDED PER CITY REQUEST. OVERSIZING AND EXTENSION COST REIMBURSEMENT SHALL BE ADDRESSED IN DEVELOPER'S AGREEMENT. PROPOSED UTILITY WORK DOES NOT INCLUDE REMOVAL OF EXISTING FMS OR CONNECTION OF EXISTING FMS TO PROPOSED UTILITIES.



**The Ridge PD**

Apopka, Florida

No.	Revision	Date	App'd.
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2	Revised per City comment	03/08/2021	
3	Revised per DRC Comments Dated March 8, 2021	04/26/2021	
4	PD Amendment	03/08/2022	

Designed by: EH Checked by: EH  
Issued for: \_\_\_\_\_ Date: March 8, 2022

Vertical Datum NAVD 1988  
Drawing title: **Drainage & Utilities Plan**

Drawing Number: **C-7**  
Sheet \_\_\_\_\_ of \_\_\_\_\_

Project Number: 63534.00  
DATE: Jul. 14, 2022

Saved Thursday, July 14, 2022 10:15:42 AM E:\HUGHES Plotted Thursday, July 14, 2022 10:18:10 AM Eric Hughes



225 E. Robinson Street  
Suite 300  
Orlando, FL 32801  
407.839.4006  
Certificate of Authorization  
Number FL #3932

PD PHASING NOTES:

PHASE 1 SHALL INCLUDE:

- DEVELOPMENT OF PARCELS 2, 4, 5 AND 8, INCLUDING NECESSARY ROADWAYS, UTILITIES AND DRAINAGE FACILITIES. THESE PARCELS ARE ALL CONSIDERED PHASE 1 BUT WILL BE PERMITTED SEPARATELY.
- STREET A (SPINE ROAD) CONSTRUCTION FROM BOY SCOUT ROAD CONNECTION TO EAST BOUNDARY OF PARCEL 8, INCLUDING TRAIL.
- WASTEWATER AND WATER UTILITY EXTENSIONS ALONG BOY SCOUT AND STREET A (SPINE ROAD) CORRIDORS TO OCOEE-APOPKA ROAD AND FURTHER TO CONNECTION POINT ALONG MARDEN ROAD.
- WATER AND RECLAIMED WATER CONNECTIONS ALONG BOY SCOUT ROAD AND BINION ROAD.
- PARCEL 8 AMENITY AREA, INCLUDE TRAIL CONNECTIONS THROUGH PARCEL 4 AND PARCEL 2.
- OFFSITE ROADWAY IMPROVEMENTS AS DETERMINED BY PD AGREEMENT.

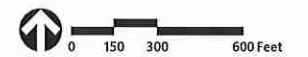
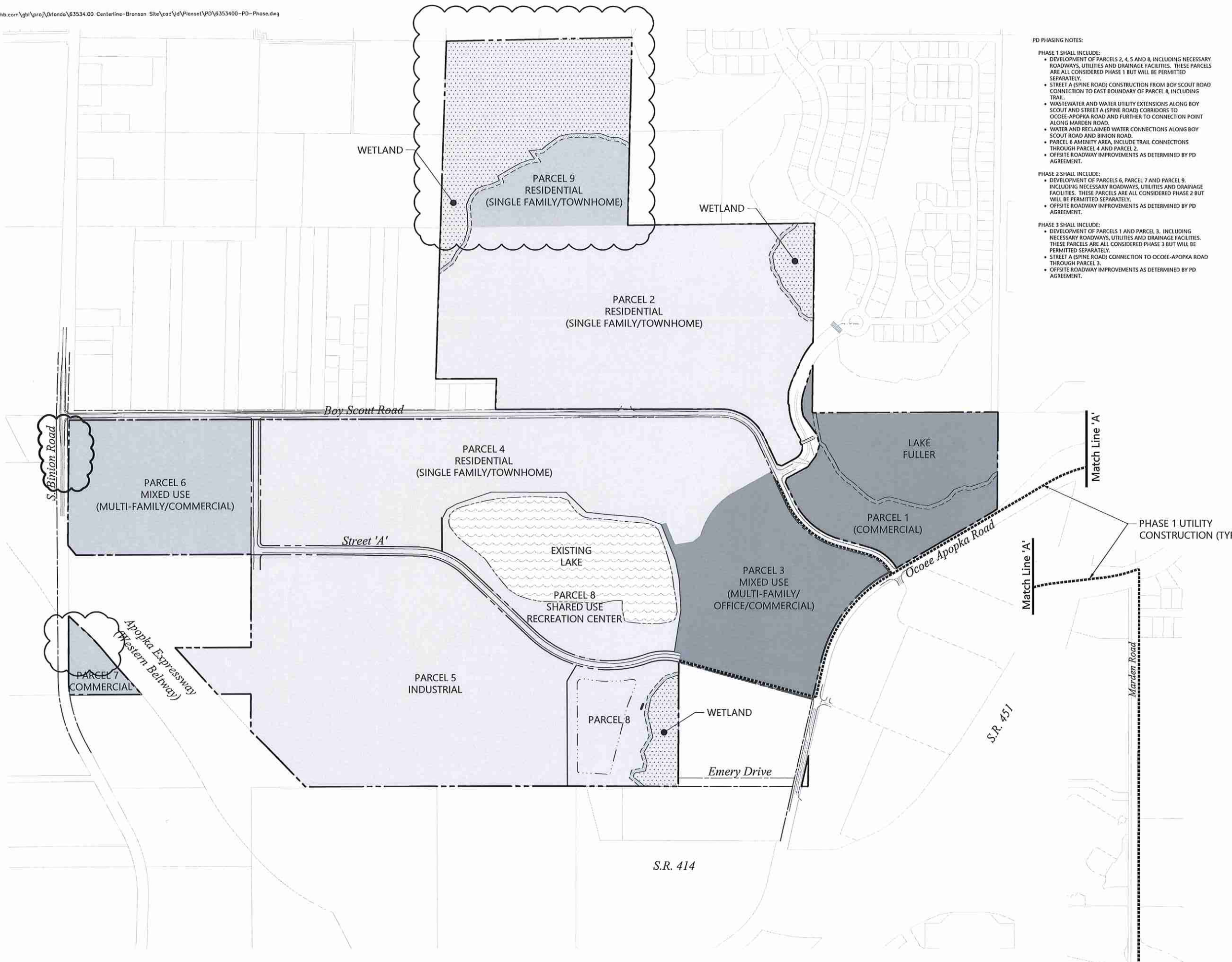
PHASE 2 SHALL INCLUDE:

- DEVELOPMENT OF PARCELS 6, PARCEL 7 AND PARCEL 9, INCLUDING NECESSARY ROADWAYS, UTILITIES AND DRAINAGE FACILITIES. THESE PARCELS ARE ALL CONSIDERED PHASE 2 BUT WILL BE PERMITTED SEPARATELY.
- OFFSITE ROADWAY IMPROVEMENTS AS DETERMINED BY PD AGREEMENT.

PHASE 3 SHALL INCLUDE:

- DEVELOPMENT OF PARCELS 1 AND PARCEL 3, INCLUDING NECESSARY ROADWAYS, UTILITIES AND DRAINAGE FACILITIES. THESE PARCELS ARE ALL CONSIDERED PHASE 3 BUT WILL BE PERMITTED SEPARATELY.
- STREET A (SPINE ROAD) CONNECTION TO OCOEE-APOPKA ROAD THROUGH PARCEL 3.
- OFFSITE ROADWAY IMPROVEMENTS AS DETERMINED BY PD AGREEMENT.

LEGEND	
	PROJECT BOUNDARY
	PARCEL LIMITS
	WETLAND
	25' MIN. UPLAND BUFFER
	PHASE 1
	PHASE 2
	PHASE 3
	WATER BODY



The Ridge PD

Apopka, Florida

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3	Revised per DRC Comments Dated March 8, 2021	04/26/2021	
4	PD Amendment	03/08/2022	

Designed by	Checked by
EH	EH
Issued for	Date
	March 8, 2022

Vertical Datum NAVD 1988

Drawing Title

Phasing Plan

Drawing Number

C-8

Sheet of

DATE: Mar. 08, 2022 Project Number: 63534.00

LEGAL DESCRIPTION:

FILE NUMBER: L190357

Beginning at the intersection of the South line of the right of way of Boy Scout Road with a line 42.50 feet East of the East line of the Northwest 1/4 of the Southwest 1/4 of Section 17, Township 21 South, Range 28 East, Orange County, Florida...

FILE NUMBER: L190356

A portion of Section 17, Township 21 South, Range 28 East, Orange County, Florida more particularly described as follows:

Commence at the South Quarter corner of said Section 17; thence N 07 degrees 19' 56" E to a point on the westerly right of way of Ocoee Apopka Road, the arc of a curve concave to the East of the Point of Beginning; thence run along said right of way line and curve having a radius of 948.00', a delta of 11 degrees 35' 09", along a cord bearing of N26 degrees 13' 56" E, an arc distance of 191.70'; thence leaving said right of way run N75 degrees 44' 09" W, 278.00'; thence S57 degrees 12' 05" W, 100.86'; thence S10 degrees 09' 06" W, 134.01'; thence S79 degrees 38' 16" E, 300.05 to the Point of Beginning.

FILE NUMBER: L190473/6k

The South one-half (S 1/2) of the East one-half (E 1/2) of the Southwest one-quarter (SW 1/4) of the Northwest one-quarter (NW 1/4), (LESS the East twenty-five feet (E 25') of the South three hundred and forty feet (S 340') of Section 17, Township 21 South, Range 28 East, Orange County, Florida, less the South 30 feet thereof for Boy Scout Road.

Also less the land contained in Warranty Deed recorded in Official Records Book 1652, page 737, Public Records of Orange County, Florida, to wit:

Begin at the southwest corner of the South 1/2 of the East 1/2 of the Southwest 1/4 of the Northwest 1/4, Section 17, Township 21 South, Range 28 East; run North 0' 19' 30" West 668.54 feet; run thence East, North 87' 27' 40" East 15 feet; thence South 0' 19' 30" East 10 feet; thence West, South 87' 27' 40" West 3 feet; thence South 0' 19' 30" East to the south line of the South 1/2 of the East 1/2 of the Southwest 1/4 of the Northwest 1/4, Section 17, Township 21 South, Range 28 East; thence West to the Point of Beginning, less the South 30 feet in Boy Scout Road.

FILE NUMBER: L190355

PARCEL 1

The East half of the Southeast quarter of the Southeast quarter of Section 18, Township 21 South, Range 28 East, in Orange County, Florida;

and

The Southwest quarter of the Southwest quarter of Section 17, Township 21 South, Range 28 East, in Orange County, Florida;

and

The West 400 feet of: Begin 144 feet West of the Southeast corner of the Southwest quarter and run West to the Southwest corner of the Southeast quarter of the Southwest quarter of Section 17, Township 21 South, Range 28 East, thence run North 998.6 feet, South 75' East, a distance of 1,419 feet to a point 15 feet west of road, thence Southwesterly to the Point of Beginning, in Orange County, Florida.

PARCEL 2

The North one half (1/2) of the East one half (1/2) of the Southwest quarter (1/4) of the Northwest quarter (1/4) of Section 17, Township 21 South, Range 28 East, all in Orange County, Florida.

PARCEL 3A

The West 1/2 of the Southwest 1/4 of the Northwest 1/4 of Section 17, Township 21 South, Range 28 East, Orange County, Florida, less the West 433 feet of the South 220 feet;

PARCEL 3B

Begin at the southwest corner of the South 1/2 of the East 1/2 of the Southwest 1/4 of the Northwest 1/4, Section 17, Township 21 South, Range 28 East; run North 0' 19' 30" West 668.54 feet; run thence East, North 87' 27' 40" East 15 feet; thence South 0' 19' 30" East 10 feet; thence West, South 87' 27' 40" West 3 feet; thence South 0' 19' 30" East to the south line of the South 1/2 of the East 1/2 of the Southwest 1/4 of the Northwest 1/4, Section 17, Township 21 South, Range 28 East; thence West to the Point of Beginning, less the South 30 feet in Boy Scout Road.

PARCEL 4

That part of the Southeast 1/4 of the Northwest 1/4, the Northeast 1/4 of the Southwest 1/4 and the West 1/2 of the Southwest 1/4 of Section 17, Township 21 South, Range 28 East, Orange County, Florida, lying northwesterly of the northwesterly right of way line of Ocoee-Apopka Road, northeasterly of the northeasterly right of way of Boy Scout Road, and easterly of the east right of way line of Galway Blvd. (Tracts P and S) according to the plat of Breckenridge Phase 1 recorded in Plat Book 64, page 74, public records of Orange County, Florida.

PARCEL 5

Beginning at the southeast corner of the East 1/2 of the Southwest 1/4 of the Northwest 1/4 of Section 17, Township 21 South, Range 28 East; run thence West 25 feet, thence North 340 feet, thence East 25 feet, thence South 340 feet to the Point of Beginning;

and

The Southeast 1/4 of the Northwest 1/4 and that part of the Northeast 1/4 of the Southwest 1/4 of Section 17, Township 21 South, Range 28 East lying northerly and northeasterly of the right of way of Boy Scout Road and lying northerly and westerly of the north and west right of way lines of Galway Blvd. (Tracts O and S) according to the plat of Breckenridge Phase 1 recorded in Plat Book 64, page 74, public records of Orange County, Florida.

PARCEL 6

That part of the West 1/2 of the Southeast 1/4, the North 1/2 of the Southwest 1/4 and the Southeast 1/4 of the Southwest 1/4 of Section 17, Township 21 South, Range 28 East, Orange County, Florida, lying westerly of the westerly right of way line of Ocoee-Apopka Road, and southerly and southwesterly of the southern and southwestern right of way line of Boy Scout Road, less and except the following parcels A, B and C:

A. Beginning 144 feet west of the quarter section post on the south boundary of Section line, 15 feet west of center of public road, run west 17 chains and 82 links, North 15 chains and 10 links, thence South 75' 30" East 21 chains and 55 links to a point 15 feet west of center of public road, southerly along said road to beginning.

B. Beginning of the intersection of the south line of the right of way of Boy Scout Road with a line 42.50 feet east of the east line of the Northwest 1/4 of the Southwest 1/4 of Section 17, Township 21 South, Range 28 East, Orange County, Florida, and run South 89' 43' 32" West, along said south right of way line, for a distance of 294.30 feet; thence run South 00' 22' 48" West, parallel with the east line of said Northwest 1/4 of the Southwest 1/4, for a distance of 722.00 feet; thence run South 83' 13' 27" East for a distance of 296.12 feet; thence run North 00' 22' 48" East parallel with the east line of said Northwest 1/4 of the Southwest 1/4 for a distance of 758.35 feet to the Point of Beginning.

C. A portion of Section 17, Township 21 South, Range 28 East, Orange County, Florida, more particularly described as follows:

Commence at the south quarter corner of said Section 17; thence North 07' 19' 56" East to a point on the westerly right of way of Ocoee Apopka Road, the arc of a curve concave to the east and the Point of Beginning; thence run along said right of way line and curve having a radius of 948.00 feet, a delta of 11' 35' 09", along a chord bearing of North 26' 13' 56" East, an arc distance of 191.70 feet; thence leaving said right of way run North 75' 44' 09" West, 278.00 feet; thence South 57' 12' 05" West, 100.86 feet; thence South 10' 59' 06" West, 134.01 feet; thence South 79' 38' 16" East, 300.05 feet to the Point of Beginning.

PARCEL 7

The Northeast 1/4 of the Southeast 1/4 of Section 18, Township 21 South, Range 28 East, and beginning 110 yards north of the southwest corner of the Northwest 1/4 of the Southeast 1/4, run North 110 yards, East 40 yards to the 40 line, South 110 yards, West 440 yards to beginning, Section 18, Township 21 South, Range 28 East, Orange County, Florida; less and except that portion conveyed to the State of Florida for State Road 437 by the Quit Claim Deed recorded in Deed Book 770, page 209, and less that part vested in the Orlando/Orange County Expressway Authority by the Stipulated Order of Taking recorded in Official

Records Book 9046, page 4349 and Official Records Book 9398 page 1729 of the public records of Orange County, Florida.

PARCEL 8

The South 1/2 of the North 1/2 of the Southwest 1/4 of the Southeast 1/4 and the West 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 18, Township 21 South, Range 28 East, Orange County, Florida, less that portion conveyed to the State of Florida by the Quit Claim Deed recorded in Deed Book 769, page 164 and less and except those portions vested in the Orlando/Orange County Expressway Authority by the Stipulated Order of Taking recorded in Official Records Book 9046, page 4349 and Official Records Book 9883, page 1729 of the public records of Orange County, Florida.

PARCEL 9

The North 1/2 of the Northwest 1/4 of the Southeast 1/4 of Section 18, Township 21 South, Range 28 East, Orange County, Florida, less and except the North 33 feet thereof for road right of way and less road right of way on west.

SHIRLEY PARCEL

The Northwest 1/4 of the Northwest 1/4 of Section 17, Township 21 South, Range 28 East, Orange County, Florida.

Together with an Easement for ingress and egress over the East 30 feet of the following described property:

The West 1/2 of the SW 1/4 of the NW 1/4 of Section 17, Township 21 South, Range 28 East, Orange County, Florida, less the West 433 feet of the South 220 feet, also subject to road right-of-way on South 30 feet.

TRIANGLE PARCEL

THAT PORTION OF THE NORTH 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF BINION ROAD, FORMERLY KNOWN AS STATE ROAD 437, LESS AND EXCEPT THAT PORTION VESTED IN THE ORLANDO/ORANGE EXPRESSWAY AUTHORITY BY THE STIPULATED ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 9046, PAGE 4349 AND OFFICIAL RECORDS BOOK 9398, PAGE 1753 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTH QUARTER CORNER OF SAID SECTION 18 FOR A POINT OF REFERENCE; THENCE RUN NORTH 01°24' EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 18, A DISTANCE OF 986.68 FEET TO THE NORTH LINE OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 18; THENCE RUN NORTH 89°59' EAST, ALONG SAID NORTH LINE 1441 FEET TO THE EAST RIGHT-OF-WAY LINE OF BINION ROAD, ACCORDING TO DEED BOOK 769, PAGE 164 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE RUN NORTH 01°15' EAST, ALONG SAID EAST RIGHT-OF-WAY LINE, 228.79 FEET TO THE INTERSECTION OF SAID EAST RIGHT-OF-WAY LINE WITH THE WESTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 429, ACCORDING TO OFFICIAL RECORDS BOOK 9046, PAGE 4349, OFFICIAL RECORDS BOOK 9398, PAGE 1729 AND DEED BOOK 770, PAGE 209 OF SAID PUBLIC RECORDS; THENCE RUN SOUTH 46°28'33" EAST, ALONG SAID WESTERLY LIMITED ACCESS RIGHT-OF-WAY LINE, 218.04 FEET; THENCE RUN SOUTH 47°23'31" EAST, ALONG SAID WESTERLY LIMITED ACCESS RIGHT-OF-WAY LINE, 108.16 FEET TO A POINT ON SAID NORTH LINE OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 18; THENCE RUN SOUTH 89°59' WEST, ALONG SAID NORTH LINE, 233.93 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN ORANGE COUNTY, FLORIDA AND CONTAINS 0.63 ACRES MORE OR LESS.

STRIP PARCEL

A STRIP OF LAND LYING IN SECTION 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST, BOUNDED ON THE NORTH BY THE SOUTH RIGHT-OF-WAY LINE OF BOY SCOUT ROAD, ACCORDING TO OFFICIAL RECORDS BOOK 1078, PAGE 546, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BOUNDED ON THE EAST BY THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 18 AND BOUNDED ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF BINION ROAD, ACCORDING TO DEED BOOK 769, PAGE 164 OF SAID PUBLIC RECORDS, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 18 FOR A POINT OF REFERENCE; THENCE RUN SOUTH 01°24' WEST, ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 18, A DISTANCE OF 3301 FEET TO SAID SOUTH RIGHT-OF-WAY LINE OF BOY SCOUT ROAD AND THE POINT OF BEGINNING; THENCE RUN SOUTH 01°24' WEST, ALONG SAID WEST LINE, 713.78 FEET TO THE INTERSECTION OF SAID WEST LINE WITH SAID EAST RIGHT-OF-WAY LINE OF BINION ROAD; THENCE RUN NORTH 01°15' EAST, ALONG SAID EAST RIGHT-OF-WAY LINE, 563.23 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EASTWARD; THENCE RUN NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE AND ALONG SAID CURVE HAVING A RADIUS OF 568.83 FEET, A CENTRAL ANGLE OF 0°10'33"; AN ARC LENGTH OF 150.42 FEET AND A CHORD BEARING OF NORTH 00°54'14" EAST TO SAID SOUTH RIGHT-OF-WAY LINE OF BOY SCOUT ROAD; THENCE RUN SOUTH 89°58'43" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 9.26 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED STRIP OF LAND LIES IN ORANGE COUNTY, FLORIDA AND CONTAINS 3.912 SQUARE FEET MORE OR LESS.

TITLE COMMITMENT SCHEDULE B-II

FILE NUMBER L190357

- 6. Notice of Right of Way for road purposes filed 5/21/1987 in Official Records Book 3888, page 2391, of the Public Records of Orange County, Florida. DOES NOT AFFECT SUBJECT PROPERTY, RIGHT OF WAY LIES OFFSITE.
7. Distribution Easement recorded in Official Records Book 5241, Page 2886. AFFECTS SUBJECT PROPERTY, SHOWN HEREON.
8. Agreement for the Delivery and Use of Reclaimed Irrigation Water filed in Official Records Book 5346, page 641, of the Public Records of Orange County, Florida. AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE.

FILE NUMBER L190358

- 5. Notice of Right of Way for road purposes filed 5/21/1987 in Official Records Book 3888, page 2391, of the Public Records of Orange County, Florida. DOES NOT AFFECT SUBJECT PROPERTY, RIGHT OF WAY LIES OFFSITE.
6. Resolution No. 653 by Southwest Florida Water Management District filed 10/18/1976 in Official Records Book 2735, page 539, of the Public Records of Orange County, Florida. AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE.
7. Easement reservation in favor of Florida Power & Light Company filed 8/3/1977 in Official Records Book 2804, page 1580, of the Public Records of Orange County, Florida. DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT LIES OFFSITE, SHOWN HEREON.
8. Agreement for the Delivery and Use of Reclaimed Irrigation Water filed in Official Records Book 5346, page 641, of the Public Records of Orange County, Florida. AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE.
9. Certificate of Establishing Water Bosh Boundaries of the Southwest Florida Water Management District filed in Official Records Book 992, page 634, of the Public Records of Orange County, Florida. AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE.

FILE NUMBER L190355

- 6. Easement for public road granted to the County of Orange recorded in Deed Book 338, page 17. (Affects Parcel 3A) AFFECTS SUBJECT PROPERTY, SHOWN HEREON.
7. Easement or right of way for public road purposes granted to the County of Orange by the Right-of-Way Agreement recorded in Official Records Book 1133, page 608. (Affects Parcels 4, 5, 6 and 7) AFFECTS SUBJECT PROPERTY, SHOWN HEREON.
8. Drainage Easement granted to the County of Orange recorded in Official Records Book 1169, page 107. (Affects Parcels 4 and 5) AFFECTS SUBJECT PROPERTY, SHOWN HEREON.
9. Terms, covenants, conditions and easements contained in the Grant of Easement between J. E. Robinson, Sr. and Margaret O. Robinson, his wife, and Joan P. Jenkins and Carol H. Jenkins, his wife, recorded in Official Records Book 2006, page 321. (Affects Parcels 2 and 3) AFFECTS SUBJECT PROPERTY, SHOWN HEREON.
10. Easement granted to Florida Power Corporation recorded in Official Records Book 2804, page 1580. (Affects Parcel 6) AFFECTS SUBJECT PROPERTY, SHOWN HEREON.

- 11. Easement for ingress and egress granted to Fernwood Properties, Inc. recorded in Official Records Book 3322, page 1458, as conveyed to John Foster Jones and Sue Ellen Jones, husband and wife, by the Warranty Deed recorded in Official Records Instrument No. 20160126557, and further conveyed to Kelly W. Shirley by the Warranty Deed recorded in Official Records Book 20160126561. (Affects Parcel 3) AFFECTS SUBJECT PROPERTY, SHOWN HEREON.

- 12. Terms, covenants, conditions and other matters contained in the Agreement for the Delivery and Use of Reclaimed Irrigation Water between the City of Apopka and Troy S. and Ina R. Bronson, recorded in Official Records Book 5346, page 641. (Affects Parcels 2, 3, 4, 5, 6, 7 and 8) AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE.

- 13. Rights of ingress, egress, light, air and view vested in the Orlando/Orange County Expressway Authority by the Stipulated Order of Taking recorded in Official Records Book 9046, page 4349 and Official Records Book 9398, page 1729. (Affects Parcels 7 and 8) AFFECTS SUBJECT PROPERTY, SHOWN HEREON.

FILE NUMBER L210361

- 5. Easement in favor of Florida Power Corporation, filed February 28, 1968, recorded in Official Records Book 1710, Page 12, of the Public Records of Orange County, Florida. AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE.

FILE NUMBER L190473/6k

- 2. Easement for public road granted to the County of Orange recorded in Deed Book 338, page 17. AFFECTS SUBJECT PROPERTY, SHOWN HEREON.
3. Easement granted to Florida Power Corporation recorded in Official Records Book 3261, page 830. DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT LIES OFFSITE, SHOWN HEREON.

SURVEYOR'S NOTES:

BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE EAST RIGHT OF WAY LINE OF S. BINION ROAD AS BEING N001°14'15"E. FOR ANGULAR DESIGNATION ONLY.

THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.

THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF AN INSURANCE TITLE COMMITMENT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER L190357, EFFECTIVE DATE OCTOBER 28, 2020 AT 8:00 AM, COMMITMENT NUMBER L190356, EFFECTIVE DATE OCTOBER 28, 2020 AT 8:30 AM, COMMITMENT NUMBER L190473/6k, EFFECTIVE DATE SEPTEMBER 3, 2020 AT 8:35 AM, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER L190355, EFFECTIVE DATE OCTOBER 27, 2020 AT 11:00 PM AND PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER L210361, EFFECTIVE DATE APRIL 29, 2021 AT 11:00 PM.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.

THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOIS/EVER.

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSERVED, ABOVE GROUND ENCROACHMENTS. THE POSITION OF ANY POTENTIAL ENCROACHMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.

UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR VISIBLE UNOBSERVED, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.

SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X, AREA AREA OF MINIMAL FLOOD HAZARD AND ZONE AE, AREA WITH A BASE FLOOD ELEVATION OF 69.3' AND 70.6' ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0208I, MAP DATE 9/25/2009. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BENCHMARK NUMBER L708044, ELEVATION BEING 89.81'.

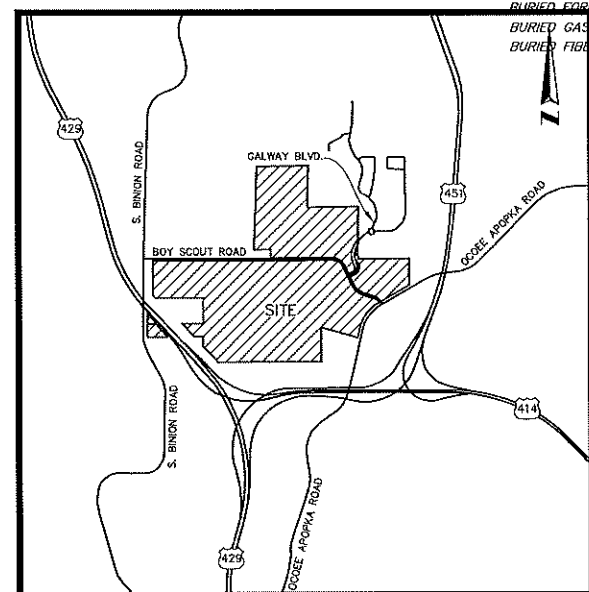
THERE ARE NO GAPS, GORES OR HAIUS BETWEEN SUBJECT PROPERTIES WITH THE EXCEPTION OF THE PORTION OF PARCEL 8 THAT IS WEST OF WESTERN BELTWAY (SR 429)

TOTAL AREA: 407.86 ACRES

LAST DATE IN FIELD: JULY 6, 2021

LEGEND & ABBREVIATIONS

- FENCE LINE (BARBED)
OVERHEAD UTILITY
FIRE HYDRANT
RECLAIMED WATER VALVE
WATER VALVE
CATCH BASIN
VAULT
STORM MANHOLE
CLEAN OUT
SANITARY VALVE
BACK FLOW PREVENTER
WELL
SIGN
GUY WIRE
TELEVISION RISER
WOOD POWER/UTILITY POLE
LIGHT POLE
ELECTRIC PULL BOX
PHONE RISER
SANITARY MANHOLE
SET 1/2" IRON ROD W/CAP OR NAIL WITH DISC STAMPED LBJ6723
FOUND IRON ROD OR IRON PIPE AS SHOWN
LICENSED BUSINESS
PROFESSIONAL SURVEYOR & MAPPER
LICENSED SURVEYOR
REINFORCED CONCRETE PIPE
CORRUGATED PLASTIC PIPE
DESCRIBED
MEASURED
SPOT ELEVATION
TREE LOCATION
WETLAND FLAG
BURIED RECLAIMED WATER
BURIED ELECTRIC
BURIED TELEPHONE
BURIED WATER
BURIED FORCE MAIN
BURIED GAS
BURIED FIBER OPTIC



CERTIFICATION:

- To:
- Apopka Centerline Development, LLC, a Florida limited liability company
- Apopka Development Opportunity LLC, a Delaware limited liability company
- Centerline Capital Advisors, LLC, a Florida limited liability company
- Fidelity National Title Insurance Company
- Chicago Title Insurance Company
- Troy S. Bronson, as Trustee of the Troy S. Bronson Revocable Trust U/T/A dated February 17, 2009
- Troy S. Bronson and Margaret Maria Coressel as Successor Co-Trustees of the Ina Ruth Bronson Revocable Trust U/T/A dated February 17, 2009
- Binion Partners, LLC, a Florida limited liability company
- Troy S. Bronson Family Limited Partnership, a Florida limited partnership
- Leopold Korn, P.A.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 5, 8, 11, 13, 18 and 19 of Table A thereof. The field work was completed on July 6, 2021.

Date of Plot or Map:

James L. Rickman, P.S.M. #5633 Allen & Company



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
407 654-5355 \*FAX 407 654-5356
admin@allen-company.com

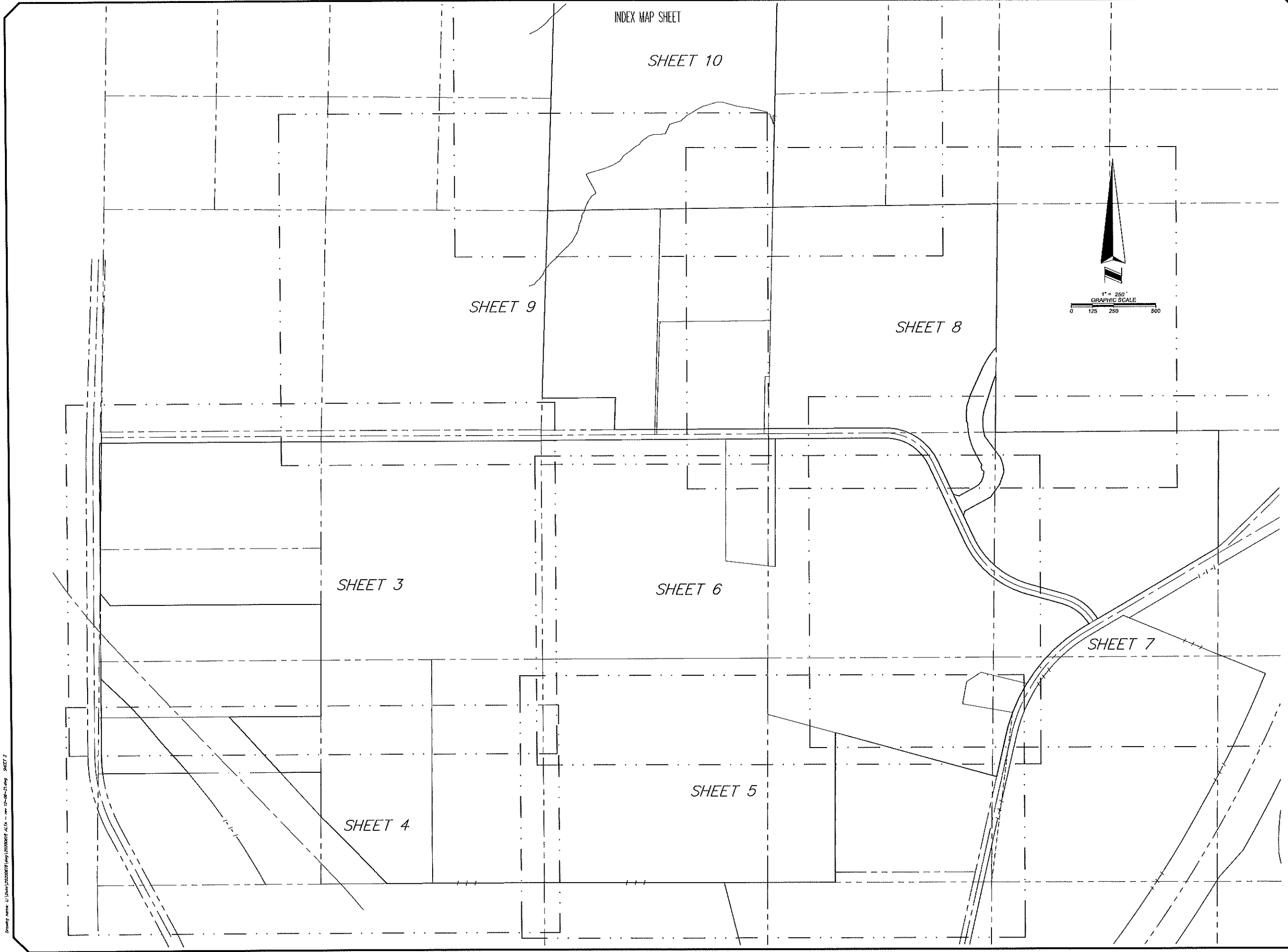
ALTANSPS LAND TITLE BOUNDARY, TOPOGRAPHIC & TREE SURVEY OF BRONSON PROPERTY SECTION 17 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST ORANGE COUNTY, FLORIDA

FOR: CENTERLINE CAPITAL

Table with columns for DATE, ATTORNEY, PARCEL #, and REVISIONS.

JOB # 20200818
DATE: 11/12/2020
SCALE: 1"=100'
CALC BY: SEJ
FIELD BY: DJH
DRAWN BY: BRH
CHECKED BY: SEJ

SHEET 1 OF 12



INDEX MAP SHEET

SHEET 10

SHEET 9

SHEET 8

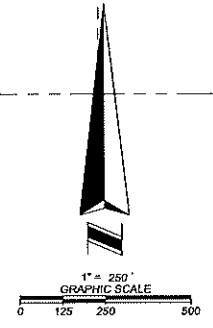
SHEET 3

SHEET 6

SHEET 7

SHEET 4

SHEET 5



16 EAST PLANT STREET  
WINTER GARDEN, FLORIDA 34787  
407 654-5355 \*FAX 407 654-5356  
admin@allen-company.com

**ALTANSPS LAND TITLE BOUNDARY,  
TOPOGRAPHIC & TREE SURVEY**  
OF  
**BRONSON PROPERTY**  
SECTION 17 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
ORANGE COUNTY, FLORIDA

FOR:  
CENTERLINE CAPITAL

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DATE	REVISIONS

JOB # 20200618  
DATE: 11/9/2020  
SCALE: 1"=250'  
CALC BY: SEJ  
FIELD BY: DH  
DRAWN BY: BRH  
CHECKED BY: SEJ

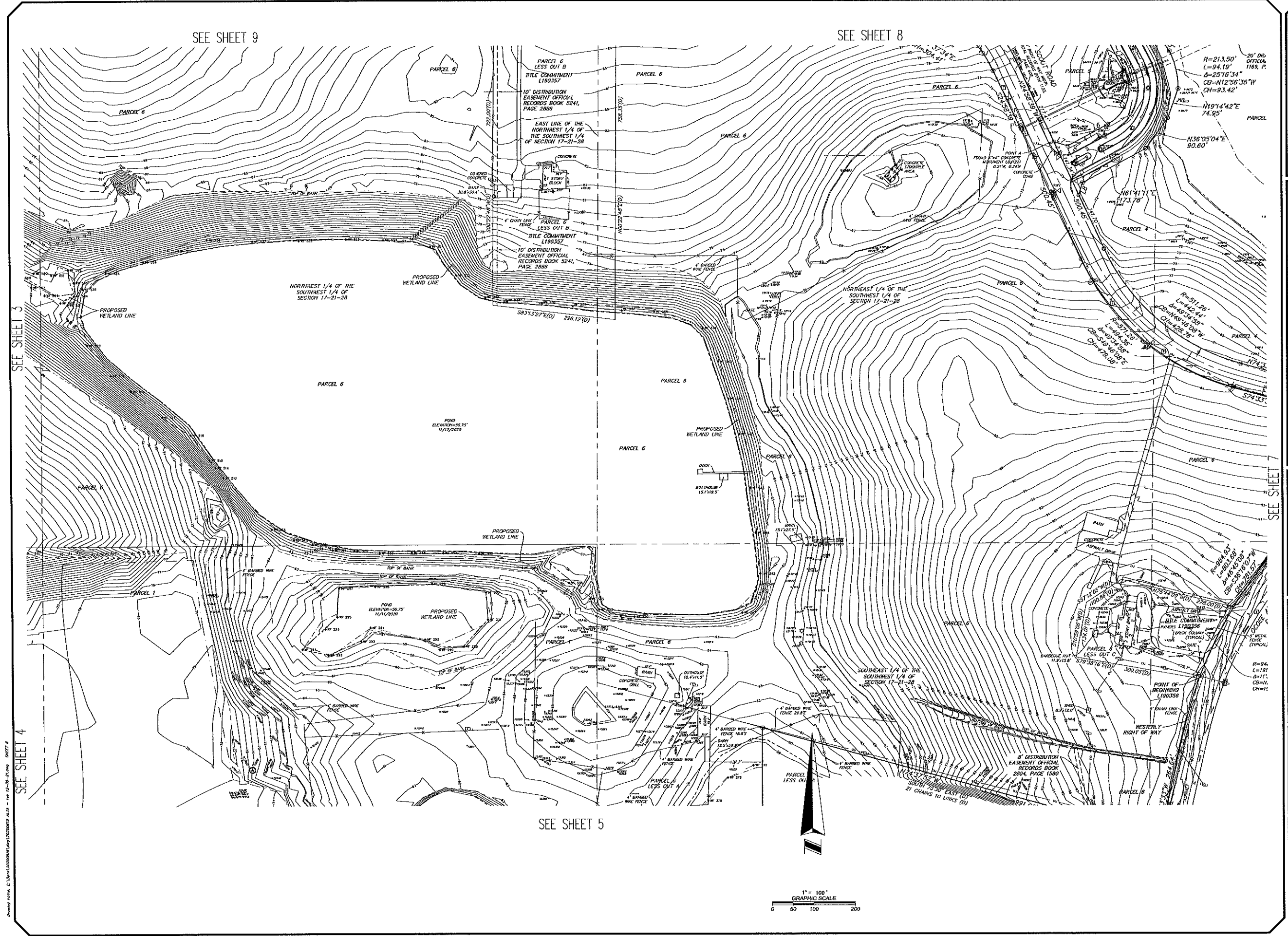
SHEET 2 OF 12

Drawing Name: U:\Data\20200618\Map\20200618\_Altan - rev 12-06-21.dwg SHEET 2









SEE SHEET 9

SEE SHEET 8

SEE SHEET 5

SEE SHEET 3

SEE SHEET 4

SEE SHEET 7



16 EAST PLANT STREET  
WATER GARDEN, FLORIDA 34787  
407 654-5355 FAX 407 654-5356  
admin@allen-company.com

**ALTANSPS LAND TITLE BOUNDARY,  
TOPOGRAPHIC & TREE SURVEY**  
OF  
**BRONSON PROPERTY**  
SECTION 17 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
ORANGE COUNTY, FLORIDA

FOR:  
CENTERLINE CAPITAL

NO.	DATE	REVISIONS

JOB # 20200818  
DATE: 11/9/2020  
SCALE: 1"=100'  
CALC BY: SEJ  
FIELD BY: DJH  
DRAWN BY: BRH  
CHECKED BY: SEJ

SHEET 6 OF 12

Drawing Author: L. Dumas (3220200818) Job: 20200818 ALTA - REV 12-09-21.dwg SHEET #









15 EAST PLANT STREET  
WINTER GARDEN, FLORIDA 34787  
407 654-5355 \*FAX 407 654-5356  
admin@allen-company.com

**ALTANSPS LAND TITLE BOUNDARY,  
TOPOGRAPHIC & TREE SURVEY**  
OF  
**BRONSON PROPERTY**  
SECTION 17 & 18, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
ORANGE COUNTY, FLORIDA

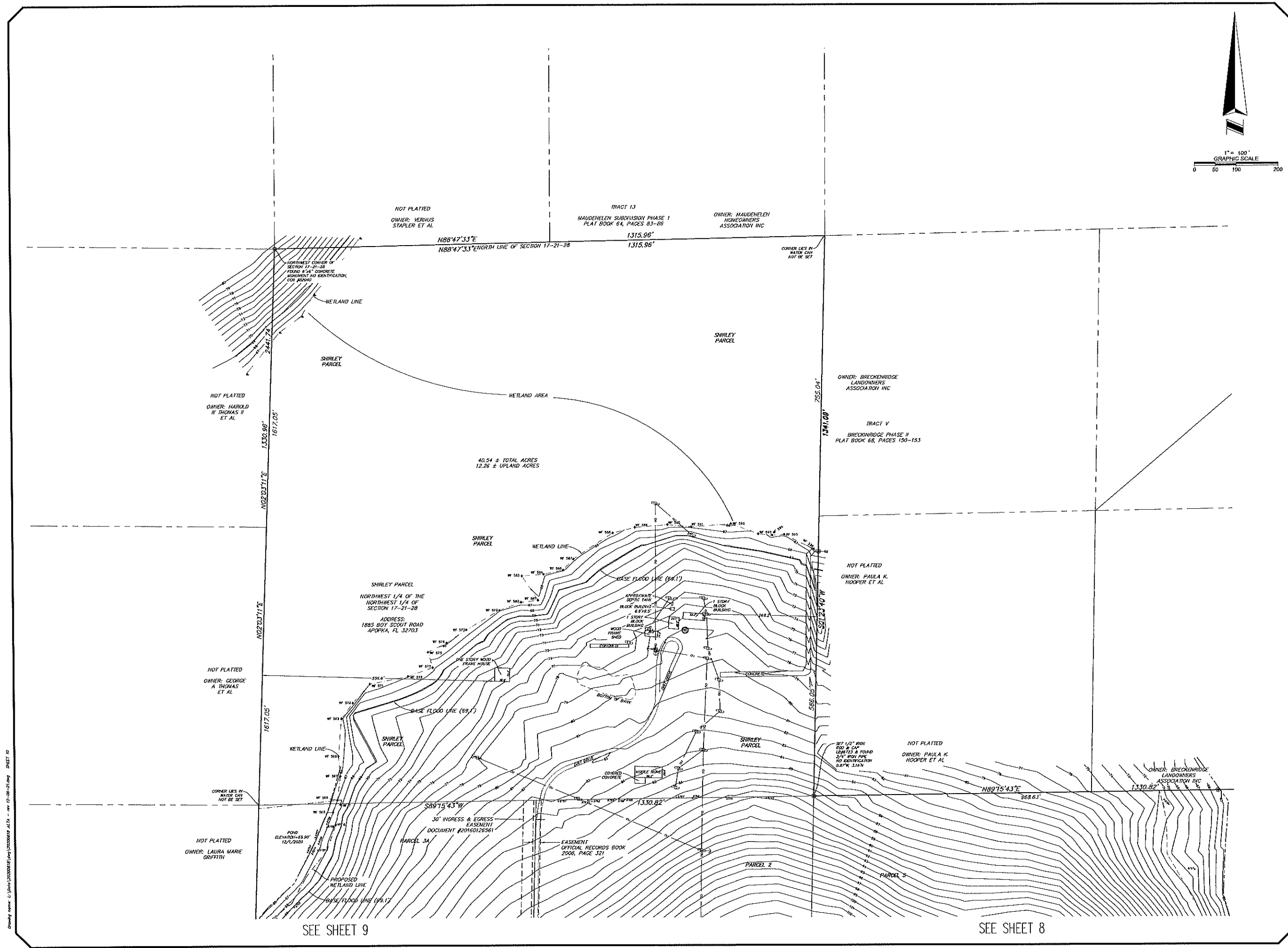
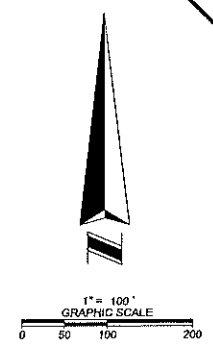
FOR:  
CENTERLINE CAPITAL

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DATE	REVISIONS

JOB # 20230818  
DATE: 11/21/2020  
SCALE: 1"=100'  
CALC BY: SEJ  
FIELD BY: DBL  
DRAWN BY: BRH  
CHECKED BY: SEJ

SHEET 10 OF 12



Drawing Name: L:\Users\jacob@allen.com\Projects\20230818\20230818.dwg; 11/21/2020 10:58:10 AM; 17-08-21.dwg; SHEET 10

TREE TABLE

POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION
8299	22" OAK	8436	5" OAK	8572	20" OAK	8709	10" OAK	8844	5-6" OAK	9120	20" OAK	9255	20" OAK	9390	16-9" OAK	9525	16-9" OAK
8300	25" OAK	8437	15-10-10-7-8" OAK	8573	15" OAK	8710	9" OAK	8845	16" OAK	9121	14" PALM	9256	20" PALM	9391	15" OAK	9526	15" OAK
8301	30" OAK	8438	18" OAK	8574	23" OAK	8711	11" OAK	8846	13" OAK	9122	18" OAK	9257	18" OAK	9392	15" OAK	9527	15" OAK
8302	12" PALM	8439	16" OAK	8575	6" PALM	8712	12" OAK	8847	12-15-10" OAK	9123	24" OAK	9258	5" OAK	9393	4" OAK	9528	5" OAK
8303	12" PALM	8440	14-12" OAK	8576	7" OAK	8713	7" OAK	8848	20" OAK	9124	11-11" OAK	9259	12" PALM	9394	5" OAK	9529	5" OAK
8304	15" PALM	8441	10-7" OAK	8577	13" PALM	8714	12" PALM	8849	24" OAK	9125	16" OAK	9260	10" OAK	9395	22" OAK	9530	22" OAK
8305	10" PALM	8442	15" OAK	8578	12" OAK	8715	4" OAK	8850	15" OAK	9126	8" OAK	9261	14" OAK	9396	8" PALM	9531	8" PALM
8306	9" OAK	8443	13-15" OAK	8579	19" OAK	8716	36" OAK	8851	24" OAK	9127	15" OAK	9262	11" OAK	9397	8-9" OAK	9532	8-9" OAK
8307	8" OAK	8444	10" OAK	8580	7" OAK	8717	12" OAK	8852	12" OAK	9128	11" OAK	9263	11" OAK	9398	20" OAK	9533	20" OAK
8308	8-10" OAK	8445	26" OAK	8581	8" OAK	8718	15" OAK	8853	16" OAK	9129	4" OAK	9264	4" OAK	9399	18" OAK	9534	18" OAK
8309	4" OAK	8446	13" OAK	8582	19" OAK	8719	15" OAK	8854	11" OAK	9130	15" PALM	9265	6" OAK	9400	8" OAK	9535	8" OAK
8310	4" OAK	8447	5" OAK	8583	11" OAK	8720	6" PALM	8855	8" OAK	9131	20-26" OAK	9266	4" OAK	9401	15" OAK	9536	15" OAK
8311	4" OAK	8448	17" OAK	8584	13" OAK	8721	7" OAK	8856	12" OAK	9132	12" PALM	9267	5" OAK	9402	8" PALM	9537	8" PALM
8312	13-8" OAK	8449	10" PALM	8585	10" OAK	8722	6" PALM	8857	5" OAK	9133	7" PALM	9268	4" OAK	9403	30-15" OAK	9538	30-15" OAK
8313	14" PALM	8450	7" OAK	8586	12" OAK	8723	12" OAK	8858	24" OAK	9134	10" OAK	9269	5" OAK	9404	5" OAK	9539	5" OAK
8314	4" OAK	8451	18" OAK	8587	9-6" OAK	8724	14" PALM	8859	15" OAK	9135	12" OAK	9270	18" PALM	9405	14" PALM	9540	14" PALM
8315	4" OAK	8452	11" PALM	8588	6" OAK	8725	6-6" OAK	8860	6" PALM	9136	15" OAK	9271	15" OAK	9406	15" OAK	9541	15" OAK
8316	32" OAK	8453	13" PALM	8589	12-12" OAK	8726	15" OAK	8861	10" PALM	9137	8" OAK	9272	7" OAK	9407	18" OAK	9542	18" OAK
8317	12" OAK	8454	3" OAK	8590	10" PALM	8727	14" OAK	8862	12" OAK	9138	10" PALM	9273	5" OAK	9408	12" PALM	9543	12" PALM
8318	7-8" OAK	8455	4" OAK	8591	10" OAK	8728	11" PALM	8863	9" OAK	9139	12" OAK	9274	4" OAK	9409	25" OAK	9544	25" OAK
8319	4" OAK	8456	4" OAK	8592	4" OAK	8729	18-12" OAK	8864	21" OAK	9140	15" PALM	9275	5" OAK	9410	18" OAK	9545	18" OAK
8320	12" OAK	8457	16" OAK	8593	4" OAK	8730	19" OAK	8865	7" OAK	9141	7" OAK	9276	7" OAK	9411	15" PALM	9546	15" PALM
8321	4" OAK	8458	12" OAK	8594	5" OAK	8731	5" OAK	8866	7" OAK	9142	13-13" OAK	9277	4" OAK	9412	11" OAK	9547	11" OAK
8322	4" OAK	8459	4" OAK	8595	13" OAK	8732	10" PALM	8867	15" OAK	9143	4" OAK	9278	10" OAK	9413	15" PALM	9548	15" PALM
8323	5" OAK	8460	3" OAK	8596	8" OAK	8733	17" PALM	8868	8" PALM	9144	8" OAK	9279	20" OAK	9414	20" OAK	9549	20" OAK
8324	10" OAK	8461	10" OAK	8597	9" OAK	8734	2" OAK	8869	12" OAK	9145	9" OAK	9280	17" OAK	9415	4" OAK	9550	4" OAK
8325	4" OAK	8462	9-5" OAK	8598	11" OAK	8735	19" OAK	8870	9" OAK	9146	12-10" OAK	9281	9" OAK	9416	5" OAK	9551	5" OAK
8326	14" PALM	8463	21" OAK	8599	6" OAK	8736	24" OAK	8871	13" OAK	9147	4" OAK	9282	10-12" OAK	9417	12-13" OAK	9552	12-13" OAK
8327	10" PALM	8464	4" OAK	8600	8" PALM	8737	11" OAK	8872	14" PALM	9148	4" OAK	9283	11-11" OAK	9418	9" OAK	9553	9" OAK
8328	4" OAK	8465	20-22-24" OAK	8601	8" PALM	8738	7" OAK	8873	20" OAK	9149	18" PALM	9284	12" PALM	9419	12" PALM	9554	12" PALM
8329	11-11" OAK	8466	26" OAK	8602	4" OAK	8739	8" PALM	8874	8" PALM	9150	4" OAK	9285	8" OAK	9420	10" OAK	9555	10" OAK
8330	4" OAK	8467	26" OAK	8603	6" OAK	8740	15" PALM	8875	15" OAK	9151	4" OAK	9286	6" OAK	9421	5" OAK	9556	5" OAK
8331	4" OAK	8468	22-17" OAK	8604	18" OAK	8741	10" PALM	8876	13" OAK	9152	23" OAK	9287	9" PALM	9422	6" PALM	9557	6" PALM
8332	25" OAK	8469	4" OAK	8605	22" PALM	8742	8" PALM	8877	4" OAK	9153	5" OAK	9288	18" OAK	9423	13" OAK	9558	13" OAK
8333	25" OAK	8470	4" OAK	8606	10" OAK	8743	18" OAK	8878	8" PALM	9154	6" OAK	9289	6" OAK	9424	13" OAK	9559	13" OAK
8334	12-10" OAK	8471	4" OAK	8607	13" OAK	8744	18" OAK	8879	8" OAK	9155	9" OAK	9290	9" OAK	9425	25" OAK	9560	25" OAK
8335	3" OAK	8472	4" OAK	8608	7" OAK	8745	4" OAK	8880	18" OAK	9156	18" OAK	9291	10-5" OAK	9426	24" OAK	9561	24" OAK
8336	15" OAK	8473	10" OAK	8609	9" OAK	8746	7" OAK	8881	18" OAK	9157	17-15" OAK	9292	12" PALM	9427	15" PALM	9562	15" PALM
8337	24" OAK	8474	5" OAK	8610	13" OAK	8747	10" OAK	8882	4" OAK	9158	15" OAK	9293	8-16" OAK	9428	4" OAK	9563	4" OAK
8338	26" OAK	8475	5" OAK	8611	7" OAK	8748	19-12" OAK	8883	4" OAK	9159	5" OAK	9294	6" OAK	9429	8" OAK	9564	8" OAK
8339	15" OAK	8476	4" OAK	8612	4" OAK	8749	7" OAK	8884	6" OAK	9160	4" OAK	9295	5" OAK	9430	5" OAK	9565	5" OAK
8340	13" OAK	8477	4" OAK	8613	12" OAK	8750	14" OAK	8885	8" OAK	9161	2" OAK	9296	26" OAK	9431	10" OAK	9566	10" OAK
8341	10" PALM	8478	8" OAK	8614	11-10" OAK	8751	12" OAK	8886	12-12" OAK	9162	7" OAK	9297	7" OAK	9432	7" OAK	9567	7" OAK
8342	24" OAK	8479	12" PALM	8615	12" OAK	8752	11" OAK	8887	12" OAK	9163	11" OAK	9298	13-5" OAK	9433	4" OAK	9568	4" OAK
8343	12" OAK	8480	6" OAK	8616	14-10-10" OAK	8753	15" OAK	8888	4" OAK	9164	5" OAK	9299	14" PALM	9434	20" OAK	9569	20" OAK
8344	25" OAK	8481	5" OAK	8617	18" OAK	8754	18" OAK	8889	10" OAK	9165	6" OAK	9300	6" OAK	9435	6" OAK	9570	6" OAK
8345	12" PALM	8482	8" OAK	8618	15-15" OAK	8755	12" OAK	8890	12" OAK	9166	9" OAK	9301	23-19" OAK	9436	23-19" OAK	9571	23-19" OAK
8346	24" OAK	8483	10" OAK	8619	8" OAK	8756	12" OAK	8891	7" OAK	9167	10" OAK	9302	10" OAK	9437	13" PALM	9572	13" PALM
8347	2" OAK	8484	11" PALM	8620	6" PALM	8757	13" OAK	8892	6" PALM	9168	6" OAK	9303	7-5" OAK	9438	24-19" OAK	9573	24-19" OAK
8348	5" OAK	8485	25" OAK	8621	18" OAK	8758	8" OAK	8893	14" OAK	9169	15" OAK	9304	11-9" OAK	9439	34" OAK	9574	34" OAK
8349	27" OAK	8486	12" PALM	8622	7" PALM	8759	16" OAK	8894	8" OAK	9170	4" OAK	9305	15" PALM	9440	8" OAK	9575	8" OAK
8350	4" OAK	8487	8" OAK	8623	8" OAK	8760	5" OAK	8895	15" OAK	9171	7" PALM	9306	21" OAK	9441	21" OAK	9576	21" OAK
8351	14" OAK	8488	4" OAK	8624	4" OAK	8761	4" OAK	8896	14" PALM	9172	11" OAK	9307	9-7" OAK	9442	4+4" OAK	9577	4+4" OAK
8352	10" OAK	8489	12" PALM	8625	4" OAK	8762	10" PALM	8897	9" OAK	9173	14" PALM	9308	8" OAK	9443	7" OAK	9578	7" OAK
8353	9" OAK	8490	12" PALM	8626	4" OAK	8763	14" OAK	8898	8" OAK	9174	16" PALM	9309	9" OAK	9444	15" OAK	9579	15" OAK
8354	12" OAK	8491	12" OAK	8627	15" OAK	8764	15" OAK	8899	15" OAK	9175	6" OAK	9310	14-15" OAK	9445	8-8" OAK	9580	8-8" OAK
8355	12" OAK	8492	13" PALM	8628	12" OAK	8765	4" OAK	8900	17" OAK	9176	7" OAK	9311	4" OAK	9446	11" OAK	9581	11" OAK
8356	15" OAK	8493	11" PALM	8629	11" OAK	8766	12" OAK	8901	12" PALM	9177	2" OAK	9312	11" OAK	9447	11" OAK	9582	11" OAK
8357	11" PALM	8494	20" OAK	8630	38" OAK	8767	15-12" OAK	8902	16" OAK	9178	4" OAK	9313	4" OAK	9448	15" PALM	9583	15" PALM
8358	12" PALM	8495	5" OAK	8631	38" OAK	8768	16" OAK	8903	16" OAK	9179	16" PALM	9314	18" OAK	9449	18" OAK	9584	18" OAK
8359	8-4" OAK	8496	22" OAK	8632	4" OAK	8769	36" OAK	8904	4" OAK	9180	6" OAK	9315	9" OAK	9450	10" OAK	9585	10" OAK
8360	22" OAK	8497	32" OAK	8633	5" PALM	8770	13" OAK	8905	18-15" OAK	9181	6" OAK	9316	10" PALM	9451	20" OAK	9586	20" OAK
8361	4" OAK	8498	10" OAK	8634	12" PALM	8771	32" OAK	8906	8" OAK	9182	4" OAK	9317	20-19" OAK	9452	10-5" OAK	9587	10-5" OAK
8362	4" OAK	8499	4" OAK	8635	4" OAK	8772	4" OAK	8907	5" OAK	9183	17" OAK	9318	24" OAK	9453	15" PALM	9588	15" PALM
8363	19" OAK	8500	24" OAK	8636	5" OAK	8773	10-8" OAK	8908	8" OAK	9184	15" PALM	9319	10" OAK	9454	14" PALM	9589	14" PALM
8364	19" OAK	8501	24" OAK	8637	6" PALM	8774	4" OAK	8909	6" OAK	9185	22-7" OAK	9320	16" PALM	9455	15" OAK	9590	15" OAK
8365	22" OAK	8502	19" OAK	8638	10" PALM	8775	4" OAK	8910	4" OAK	9186	13" PALM	9321	18" OAK	9456	8" OAK	9591	8" OAK
8366	5" OAK	8503	12" OAK	8639	5" OAK	8776	6" OAK	8911	4" OAK	9187	4" OAK	9322	10" OAK	9457	10" OAK	9592	10" OAK
8367	10" PALM	8504	18" OAK	8640	5" OAK	8777	6" OAK	8912	18" OAK	9188	18" OAK	9323	10" OAK	9458	4" OAK	9593	4" OAK
8368	10" PALM	8505	10" OAK	8641	12" PALM	8778	6" OAK	8913									

TREE TABLE

POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION	POINT NUMBER	DESCRIPTION
9527	18" OAK	9664	20-10" OAK	9925	22" OAK	10062	5" OAK	10203	12-12" PALM	10342	20" OAK	10500	24" OAK		
9529	11-11" OAK	9665	12" PALM	9926	19" OAK	10063	19-19" OAK	10204	32" OAK	10343	24" OAK	10501	14" PALM		
9529	7" OAK	9666	15" PALM	9927	10" PALM	10064	10" PALM	10205	18" OAK	10344	24" OAK	10502	15" PALM		
9530	15" OAK	9667	6" OAK	9928	8" PALM	10065	10" PALM	10206	18" OAK	10345	19" OAK	10503	24" OAK		
9531	36" OAK	9668	4" OAK	9929	4" OAK	10066	10" PALM	10207	36" OAK	10346	25" OAK	10504	6" OAK		
9532	7" OAK	9669	30-14" OAK	9930	18" OAK	10067	10" PALM	10208	6" OAK	10347	36" OAK	10505	12" OAK		
9533	10" OAK	9670	12" OAK	9931	12" OAK	10068	12" PALM	10209	14" OAK	10348	18" OAK	10506	11" OAK		
9534	15" OAK	9671	12" OAK	9932	8" PALM	10069	10" PALM	10210	12" OAK	10349	32" OAK	10507	10" OAK		
9535	4" OAK	9672	4" OAK	9933	12" OAK	10070	12" OAK	10211	12" OAK	10350	25" PALM	10508	12" PALM		
9536	8" PALM	9673	12" PALM	9934	20" OAK	10071	12" PALM	10212	30" OAK	10351	17" OAK	10509	24" OAK		
9537	14" PALM	9674	6" OAK	9935	14" PALM	10072	15" OAK	10213	12" OAK	10352	20" OAK	10510	15" PALM		
9538	22" OAK	9675	28" OAK	9936	12" PALM	10073	24" OAK	10214	40" OAK	10353	19" OAK	10511	35" OAK		
9539	30" OAK	9676	27" OAK	9937	12" PALM	10074	5" OAK	10215	48" OAK	10354	36" OAK	10512	18" OAK		
9540	10" OAK	9677	24" OAK	9938	28" OAK	10075	8" OAK	10216	20" OAK	10355	25" OAK	10513	5" OAK		
9541	15" OAK	9678	37" OAK	9939	12" PALM	10076	4" OAK	10217	25" OAK	10356	25" OAK	10514	20" OAK		
9542	15" OAK	9679	18-9-15-8" OAK	9940	19" OAK	10077	7" OAK	10218	14" PALM	10357	36" OAK	10515	12" OAK		
9543	12" OAK	9680	6" OAK	9941	45" OAK	10078	5" OAK	10219	20" OAK	10358	28" OAK	10516	18" OAK		
9544	15" OAK	9681	13" OAK	9942	12" PALM	10079	6" OAK	10220	11" PALM	10359	24" OAK	10517	15" PALM		
9545	4" OAK	9682	19" OAK	9943	12" PALM	10080	6" OAK	10221	18" OAK	10360	12" OAK	10518	16" PALM		
9546	5" OAK	9683	6" OAK	9944	21" OAK	10081	35" PALM	10222	18" OAK	10361	35" OAK	10519	15" PALM		
9547	20" OAK	9684	12" PALM	9945	12" OAK	10082	18" PALM	10223	45" OAK	10362	20-20" OAK	10520	36" OAK		
9548	11" PALM	9685	12" PALM	9946	12" PALM	10083	14" PALM	10224	32" OAK	10363	10-12" PALM	10521	23" OAK		
9549	6-6-6" OAK	9686	12" PALM	9947	14" PALM	10084	14" PALM	10225	16" PALM	10364	11" PALM	10522	5" OAK		
9550	14-14" OAK	9687	10" OAK	9948	11" OAK	10085	12" PALM	10226	12" PALM	10365	12" PALM	10523	18" PALM		
9551	24" OAK	9688	12" OAK	9949	12" PALM	10086	12" PALM	10227	16" PALM	10366	11" PALM	10524	5" OAK		
9552	19" OAK	9689	18-12" OAK	9950	16" PALM	10087	12" PALM	10228	12" PALM	10367	18" OAK	10525	4" OAK		
9553	19" OAK	9690	18-12" OAK	9951	8" OAK	10088	12" PALM	10229	12" PALM	10368	12" OAK	10526	15" PALM		
9554	22" OAK	9691	44" OAK	9952	14" OAK	10089	12" PALM	10230	38" OAK	10369	23" OAK	10527	16" PALM		
9555	8" OAK	9692	14" OAK	9953	15" OAK	10090	15" PALM	10231	30" OAK	10370	14" OAK	10528	16" PALM		
9556	20" OAK	9693	15" OAK	9954	15" OAK	10091	15" PALM	10232	30" OAK	10371	16-18" OAK	10529	16" PALM		
9557	10-6" OAK	9694	18" OAK	9955	12" OAK	10092	15" PALM	10233	12" OAK	10372	11" PALM				
9558	25" OAK	9695	12" PALM	9956	20" OAK	10093	12" PALM	10234	30" OAK	10373	15" PALM				
9559	18" OAK	9696	12" PALM	9957	12" PALM	10094	18" PALM	10235	30" OAK	10374	15-12" OAK				
9560	24" OAK	9697	18" OAK	9958	24" OAK	10095	18" PALM	10236	22" OAK	10375	15-15" OAK				
9561	12-15" OAK	9698	18" OAK	9959	20" OAK	10096	18" PALM	10237	35" OAK	10376	15" PALM				
9562	12" OAK	9699	12" PALM	9960	11" PALM	10097	25" OAK	10238	22" OAK	10377	5-5-4" OAK				
9563	8" OAK	9700	34" OAK	9961	8" OAK	10098	18" OAK	10239	38" OAK	10378	4" OAK				
9564	15" PALM	9701	38" OAK	9962	8" OAK	10099	12" PALM	10240	12" PALM	10379	5" OAK				
9565	14-6" OAK	9702	15" PALM	9963	4" OAK	10100	18" OAK	10241	9" PALM	10380	4" OAK				
9566	4-5-8" OAK	9703	14" PALM	9964	18" OAK	10101	18" OAK	10242	9" PALM	10381	4" OAK				
9567	14" PALM	9704	36-30" OAK	9965	18" OAK	10102	40" OAK	10243	40" OAK	10382	11" PALM				
9568	11" PALM	9705	12" PALM	9966	19" OAK	10103	20" OAK	10244	33" OAK	10383	8" OAK				
9569	10" PALM	9706	12" PALM	9967	12" PALM	10104	30" OAK	10245	30" OAK	10384	5" OAK				
9570	10" PALM	9707	15" PALM	9968	15" PALM	10105	16" PALM	10246	16" PALM	10385	5" OAK				
9571	18" OAK	9708	20" OAK	9969	15" PALM	10106	12" PALM	10247	16" PALM	10386	4" OAK				
9572	8-5" OAK	9709	48" OAK	9970	5" OAK	10107	10" PALM	10248	10" PALM	10387	5" OAK				
9573	4" OAK	9710	32" OAK	9971	4" OAK	10108	16" OAK	10249	10" PALM	10388	7-4" OAK				
9574	18" OAK	9711	10" PALM	9972	12-12" PALM	10109	12" PALM	10250	10" PALM	10389	12" PALM				
9575	31" OAK	9712	10" PALM	9973	12-12" PALM	10110	12" PALM	10251	24" OAK	10390	24" OAK				
9576	26" OAK	9713	12" PALM	9974	12-12" PALM	10111	8" OAK	10252	20" OAK	10391	14" PALM				
9577	15" PALM	9714	14" PALM	9975	8" OAK	10112	21-12" OAK	10253	24" OAK	10392	5" OAK				
9578	15" PALM	9715	10" PALM	9976	4-4" OAK	10113	18" PALM	10254	30" OAK	10393	14" PALM				
9579	15" PALM	9716	15" PALM	9977	4-4" OAK	10114	10" PALM	10255	27" OAK	10394	13-12" PALM				
9580	10" PALM	9717	15" PALM	9978	8" OAK	10115	12" PALM	10256	14" PALM	10395	18" OAK				
9581	20-20" OAK	9718	24" OAK	9979	8" OAK	10116	12" PALM	10257	30" OAK	10396	10" PALM				
9582	21" OAK	9719	12" PALM	9980	10" OAK	10117	10" PALM	10258	22" OAK	10397	19" OAK				
9583	15" PALM	9720	10" PALM	9981	5" OAK	10118	12" PALM	10259	33" OAK	10398	22" OAK				
9584	21" OAK	9721	13" OAK	9982	6-4" OAK	10119	8-8" PALM	10260	30" OAK	10399	14" PALM				
9585	13" PALM	9722	8" OAK	9983	8" OAK	10120	13" OAK	10261	12" PALM	10400	25" OAK				
9586	20" OAK	9723	12" PALM	9984	10" PALM	10121	15" PALM	10262	15" PALM	10401	20" OAK				
9587	20" OAK	9724	13" OAK	9985	4" OAK	10122	12" PALM	10263	12" PALM	10402	12" OAK				
9588	24" OAK	9725	15" OAK	9986	10-12" PALM	10123	14" PALM	10264	12" PALM	10403	17" OAK				
9589	23" OAK	9726	15" OAK	9987	10" OAK	10124	18" PALM	10265	12" PALM	10404	18" PALM				
9590	15" PALM	9727	13" OAK	9988	13" OAK	10125	12" PALM	10266	12" PALM	10405	12" PALM				
9591	18-14" OAK	9728	13" OAK	9989	10" PALM	10126	18" OAK	10267	11" OAK	10406	15" OAK				
9592	16" OAK	9729	12" PALM	9990	12" PALM	10127	10" PALM	10268	14" OAK	10407	12" OAK				
9593	18" OAK	9730	11" OAK	9991	9" OAK	10128	14" OAK	10269	39" OAK	10408	16" PALM				
9594	10" OAK	9731	8" OAK	9992	12" OAK	10129	13" PALM	10270	20" OAK	10409	15" PALM				
9595	17" OAK	9732	34" OAK	9993	10" PALM	10130	10" PALM	10271	50" OAK	10410	18" OAK				
9596	4" OAK	9733	5" OAK	9994	10" PALM	10131	12" PALM	10272	42" OAK	10411	5-5-5" OAK				
9597	13" OAK	9734	12-12-12" PALM	9995	10" PALM	10132	12" PALM	10273	24" OAK	10412	10" OAK				
9598	8-8" OAK	9735	24-22" OAK	9996	20" OAK	10133	21-8" OAK	10274	23" OAK	10413	11" PALM				
9599	12" OAK	9736	18" OAK	9997	8" OAK	10134	15" PALM	10275	29" OAK	10414	45" OAK				
9600	15" PALM	9737	18" OAK	9998	18" OAK	10135	12" PALM	10276	29" OAK	10415	5-4" OAK				
9601	9" OAK	9738	12" PALM	9999	15" PALM	10136	10" PALM	10277	18" OAK	10416	5-4-4" OAK				
9602	20" OAK	9739	12" PALM	10000	10" OAK	10137	12" PALM	10278	11" OAK	10417	4" OAK				
9603	22" OAK	9740	15" PALM	10001	20" OAK	10138	10" PALM	10279	18" OAK	10418	4" OAK				
9604	8-5-5" OAK	9741	12-12-12" PALM	10002	14" PALM	10139	12" PALM	10280	18" OAK	10419	11" PALM				
9605	24" OAK	9742	24-22" OAK	10003	14" PALM	10140	11" PALM	10281	24" OAK	10420	8" OAK				
9606	26" OAK	9743	18" OAK	10004	18" PALM	10141	18" PALM	10282	6" OAK	10421	13" OAK				
9607	20-15" OAK	9744	12" PALM	10005	25" OAK	10142	12" PALM	10283	8-8" OAK	10422	12" PALM				
9608	4" OAK	9745	10" PALM	10006	18" OAK	10143	12" PALM	10284	36" OAK	10423	36" OAK				
9609	10" OAK	9746	12" PALM	10007	18" OAK	10144	10" PALM	10285	10" OAK	10424	12" PALM				
9610	10" OAK	9747	18" OAK	10008	36-24" OAK	10145	36-24" OAK	10286	8" OAK	10425	36-24" OAK				
9611	5" OAK	9748	15" PALM	10009	12" PALM	10146	50" OAK	10287	12" OAK	10426	20" OAK				
9612	26" OAK	9749	15" PALM	10010	20" OAK	10147	14" PALM	10288	19" OAK	10427	24" OAK				
9613	12-10" OAK	9750	15" PALM	10011	20" OAK	10148	10" PALM	10289	11" OAK	10428	4" OAK				
9614	11" OAK	9751	12" PALM	10012	10" PALM	10149	14" PALM	10290	10" OAK	10429	4" OAK				
9615	27" OAK	9752	15" PALM	10013	19-19" OAK	10150	10" PALM	10291	30" OAK	10430	12" OAK				
9616	12" OAK	9753	15" PALM	10014	12" PALM	10151	14" PALM	10292	10" OAK	10431	35" OAK				
9617	24" OAK	97													

**BOY SCOUT ROAD FROM BINION ROAD TO OCOEE APOPKA ROAD**

Project № 20045.09-02

February 2025

**SPEED ZONE STUDY  
ORANGE COUNTY  
FLORIDA**

***Prepared for:***

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3101 Maguire Boulevard, Suite 265  
Orlando, Florida 32803  
[www.trafficmobility.com](http://www.trafficmobility.com)  
(407) 531-5332

## EXECUTIVE SUMMARY

### **Project Information**

Limits: Boy Scout Road from Binion Road to Ocoee Apopka Road  
Jurisdiction: City of Apopka, Florida  
Description: Speed Zone Study

### **Findings**

Posted Speed Limit: 45 mph between Binion Road to Ocoee Apopka Road

Observed Speed: 50th percentile speed: 28 mph to 35 mph  
85th percentile speed: 33 mph to 38 mph

Clear Zone: Objects located within 5 feet to 25+ feet of travel lane  
Clear Zone requirements @ 45 mph – 24 feet  
Clear Zone requirements @ 35 mph – 14 feet

Existing Area Context: C3R Suburban Class

Crash History: Several incidents involving vehicles leaving the travel lane and left turn crash events. These crashes indicate an undesirable speed profile for the corridor.

Target Speed: High growth area with urbanizing character, multiple approved residential and non-residential developments. A desirable and consistent speed limit throughout the corridor enhances safety, accessibility, and predictability for all users.

### **Recommendation**

Reduce the posted speed limit on Boy Scout Road from Binion Road to Ocoee Apopka Road to 35 mph.

## PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic & Mobility Consultants LLC, a corporation authorized to operate as an engineering business, CA-30024, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

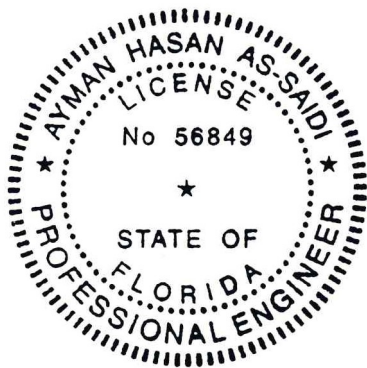
**PROJECT:** Boy Scout Road Speed Zone Study

**LOCATION:** City of Apopka, Florida

**CLIENT:** Newkirk Engineering, Inc.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY



ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

TRAFFIC & MOBILITY CONSULTANTS LLC  
3101 MAGUIRE BOULEVARD, SUITE 265  
ORLANDO, FLORIDA 32803  
CERTIFICATE OF AUTHORIZATION CA-30024  
AYMAN H. AS-SAIDI, P.E. NO 56849

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## 1.0 INTRODUCTION

This Speed Zone Study was performed to evaluate the speed limit on Boy Scout Road from Binion Road to Ocoee Apopka Road, located in City of Apopka based on existing and projected conditions of the corridor as it evolves from a rural area to an urbanizing area. The study was conducted in accordance with the guidelines and procedures outlined in the Florida Department of Transportation (FDOT) *Speed Zoning for Highways Manual*, *FDOT Context Classification Guide*, *Manual of Uniform Traffic Control Devices (MUTCD)* and standard engineering practice.

Ideally the design speed, target speed, and posted speed limit of a roadway segment are consistent and provide the motoring public with matching cues that result in drivers naturally traveling at the desired speed that is safe for the corridor. However, due to changing and evolving conditions, these speeds may be different from each other, resulting in inconsistent driver expectation about the preferred operating speed. In situations where the current design speed and target speed do not match, design, operational, and/or regulatory changes may be considered to bring the operating speed and posted speed into alignment with the target or desired speed ensuring the communicates its intended function more clearly to users.

The following analysis and review evaluate the existing and projected conditions on the Boy Scout Road corridor to provide a recommendation for the desired speed profile and regulatory speed limit for the study corridor.

## 2.0 CORRIDOR CHARACTERISTICS

### 2.1 Roadway Geometry

The Boy Scout Road study corridor is approximately 1.2-mile long and generally travels in the east-west direction. The annual average daily traffic along the corridor is approximately 2,500 vehicles according to the site counts collected for speed analysis. It is a 2-lane undivided roadway, with travel lanes between 10 to 12 feet wide, grass shoulders only on the south side of the roadway, and open swales for stormwater management. The roadway lanes are partially marked with outside lane pavement edge lines and double yellow centerline markings along the roadway. The roadway characteristics are consistent with typical non-urban roadways in the City of Apopka.

The roadway alignment has two (2) significant horizontal curves along the corridor. The first is located 600 feet east of Dawnridge Boulevard and is characterized by one (1) horizontal curve that turns the road south. The second is located at Galway Boulevard and is characterized by one (1) horizontal curve that turns the road east approximately 400 feet south of Galway Boulevard.

The vertical alignment of the roadway is rolling in the west with vertical curve, approximately 0.43 miles east of Binion Road. While specific sight distance limitations were not evaluated, the horizontal and vertical curves on the corridor generally have a restrictive effect on sight distance for vehicles entering and exiting the roadway.

The roadway's right-of-way varies throughout the corridor, ranging from approximately 55 feet to 65 feet, depending on location. **Figure 1** illustrates the corridor and existing characteristics.

### 2.2 Existing Speed Limit

The posted speed limit is 45 miles per hour (mph) on the corridor. There is an advisory 25 mph speed limit sign approaching the horizontal curve at the intersection of Stake Out Way. **Figure 1** illustrates the study corridor and the posted speed limits and advisory speeds along Boy Scout Road, as well as the speed counts site collection locations.



### 2.3 Planned and Programmed Improvements

The *City of Apopka Capital Improvements Plan*, the *Central Florida Expressway Five-Year Work Plan*, the *Orange County Long-Range Transportation Plan (LRTP)*, the *Orange County 10 Year Roadway Transportation Plan*, and the *FDOT Five Year Work Program* were reviewed to determine if there are any planned and funded improvements along the study corridor. Central Florida Expressway has programmed a new half interchange at SR 429 and Binion Road that will include the re-alignment of the western end of Boy Scout Road to Binion Road where a roundabout will be installed to accommodate the new half interchange ramps.

### 2.4 Land Use Context

The ±1.2-mile corridor currently serves a mixture of land uses including individual large lot residential properties, residential subdivisions, mid-rise high-density apartments, and a few remaining commercial uses. The corridor’s land uses are typical of a transitioning corridor that is undergoing redevelopment, becoming an urbanized area as the City of Apopka and Orange County continue to experience growth as evidenced by the summary information provided by the City of Apopka in **Appendix A**.

Currently, there is significant development construction that is ongoing along the study corridor. The most notable projects are listed in **Table 1** and shown in **Figure 2**. The corridor will soon have one (1) new roundabout at the west end at the Binion Road intersection, realigned to the south to accommodate the new half interchange with SR 429.

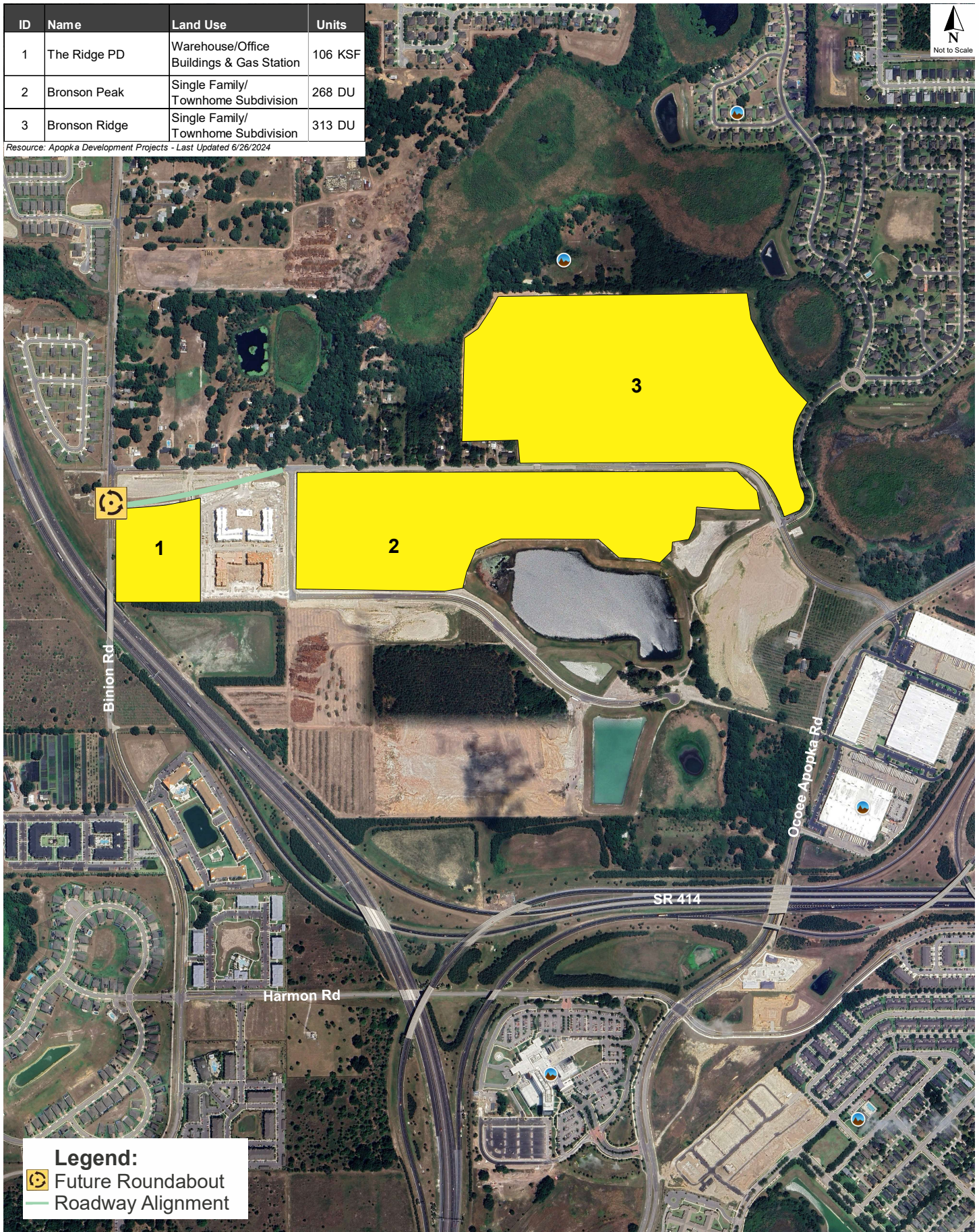
**Table 1**  
**Approved Development Projects**

ID	Name	Land Use	Units
1	The Ridge PD	Warehouse/Office Buildings & Gas Station	106 KSF
2	Bronson Peak	Single Family/ Townhome Subdivision	268 DU
3	Bronson Ridge	Single Family/ Townhome Subdivision	313 DU

*Resource: Apopka Development Projects - Last Updated 6/26/2024*

ID	Name	Land Use	Units
1	The Ridge PD	Warehouse/Office Buildings & Gas Station	106 KSF
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3	Bronson Ridge	Single Family/Townhome Subdivision	313 DU

Resource: Apopka Development Projects - Last Updated 6/26/2024



## 2.5 Clear Zone

An analysis of the South Binion Road corridor highlights significant variability in the available clear zone, ranging from as little as 5 feet to over 25+ feet in different sections. The clear zone, which is the unobstructed area beyond the edge of the travel lane, is essential for allowing drivers to regain control of their vehicles in the event of a roadway departure. Its effectiveness is closely tied to the posted speed limit and roadway design, as higher speeds demand larger clear zones to mitigate crash severity. The Clear Zone Analysis of the corridor is as follows:

- **Binion Road to Stake Out Way:**

Power lines are located between 5 and 25+ feet from the edge of the travel lanes in the eastbound direction. Additionally, sporadic obstacles such as trees and fences are present within 5 to 20 feet of the travel lanes on the westbound direction, potentially impacting driver safety.

- **Stake Out Way to Galway Boulevard:**

Power lines are positioned between 12 and 25 feet from the edge of the travel lanes, and fences are present within 5 to 15 feet of the travel lanes on the eastbound direction. Additionally, pedestrian sidewalk presents within 7 to 15 feet of the travel lanes on the westbound direction. This segment shows no observed obstacles closer than 18 feet from the travel lanes, providing relatively better compliance with clear zone requirements.

- **Galway Boulevard to Ocoee Apopka Road:**

Several obstacles, including trees and power poles, are situated as close as 4 feet from the travel lane. These obstructions pose a particularly high risk to road users.

According to *Table 215.2.1 in Section 215 of the Florida Design Manual (FDM)*, the required clear zone for a roadway with a design speed of 45 mph is 24 feet. By lowering the posted speed to align with the physical constraints of the roadway, the likelihood and severity of crashes involving roadside obstacles can be significantly mitigated. A lower speed profile also ensures a more predictable driving environment and reduces risks in areas where obstacles cannot be relocated. Incorporating clear zone evaluations into speed studies provides valuable insight for determining safe and appropriate speed limits. Aligning the posted speed with the available clear zone enhances roadway safety and ensures a consistent operating environment for all users. Further details regarding clear zone requirements, deficiencies, and measurements are provided in *Table 215.2.1*, included in **Appendix B**. This integrated approach supports safer roadway conditions while accommodating the evolving land use and traffic patterns along the corridor.

## 2.6 Historical Crash Data

Crash data was obtained from January 1, 2020, to December 10, 2024, from *Signal Four Analytics (S4A)* for the study corridor. The crash data and the crash heat map are included in **Appendix C**.

The historical crashes on Boy Scout Road reveal that a total of 19 crashes were reported during the five (5) year study period. The crashes were analyzed to determine the most prevalent crash types reported on the corridor. Based on the summary presented in **Table 2**, nearly 66% of the crashes on the corridor were either left turn or off road crashes.

**Table 2**  
**Crash Type Summary**

Crash Type	2020	2021	2022	2023	2024*	Total	Percent
Angle	1	0	0	0	0	1	5%
Head On	1	0	0	0	0	1	5%
Left Turn	1	1	1	3	2	8	42%
Off Road	3	0	0	1	1	5	26%
Other	0	1	0	0	1	2	11%
Sideswipe	0	0	0	0	1	1	5%
Unknown	0	0	1	0	0	1	5%
<b>Total</b>	<b>6</b>	<b>2</b>	<b>2</b>	<b>4</b>	<b>5</b>	<b>19</b>	<b>100%</b>

\* Data includes recorded crash reports through 12/10/2024

Further review of the data indicates that six (6) of those crashes involved vehicles running into obstacles on the side of the road, further underscoring the correlation between the speed profile and the proximity of obstructions located within the clear zone.

Analysis of crash severity shows that 4 of the 19 crashes, or 21%, involved one or more injuries, as summarized in **Table 3**. A total of 43 suspected or reported injuries of varying severity occurred on the corridor during the study period.

**Table 3  
Crash Severity Summary**

<b>Crash Severity</b>	<b>2020</b>	<b>2021</b>	<b>2022</b>	<b>2023</b>	<b>2024*</b>	<b>Total</b>	<b>Percent</b>
Fatal - K	0	0	0	0	0	0	0%
Incapacitating Injury - A	0	0	0	0	0	0	0%
Non-Incapacitating Injury - B	0	0	0	0	1	1	5%
Possible Injury - C	0	1	0	2	0	3	16%
Property Damage Only - O	6	1	2	2	4	15	79%
<b>Total</b>	<b>6</b>	<b>2</b>	<b>2</b>	<b>4</b>	<b>5</b>	<b>19</b>	<b>100%</b>

*\* Data includes recorded crash reports through 12/10/2024*

While excessive speed is not always directly cited as the cause of the crash, these crash types indicate a persistent issue with speeding that is causing vehicles to depart from the travel lanes or lose control and become involved in an accident in the corridor, which could be improved by reducing the speed profile on Boy Scout Road.

### 3.0 SPEED LIMIT EVALUATION

#### 3.1 85<sup>th</sup> Percentile Speed

Vehicle speed data was collected on January 29, 2025, for a duration of 24 hours on Boy Scout Road between Binion Road and Ocoee-Apopka Road. The speed was measured at two (2) locations along the corridor to evaluate the effect of the various geometric conditions, including the vertical and horizontal curves on vehicle speed profiles. The volume, average speed, 85<sup>th</sup> percentile speed, 50<sup>th</sup> percentile, and 10-mile pace were evaluated for each count location. The 24-hour vehicle speed data at the two (2) observation stations is included in **Appendix D**.

The 85<sup>th</sup> percentile speed method takes the calculated 85<sup>th</sup> percentile speed, 10-mile pace, and speed limit reductions into consideration to determine the recommended posted speed limit, as outlined in the FDOT's *Speed Zoning Manual*. The recommended posted speed limit is determined by the lowest identified speed from the rounded 85<sup>th</sup> percentile speed and rounded upper limit of the 10-mile pace. The resulting speed recommendation may be reduced by up to 8 mph to account for roadway characteristics or desired target speeds based on land use context.

Therefore, for purposes of this review, adjustments of up to 8 mph were applied to reflect:

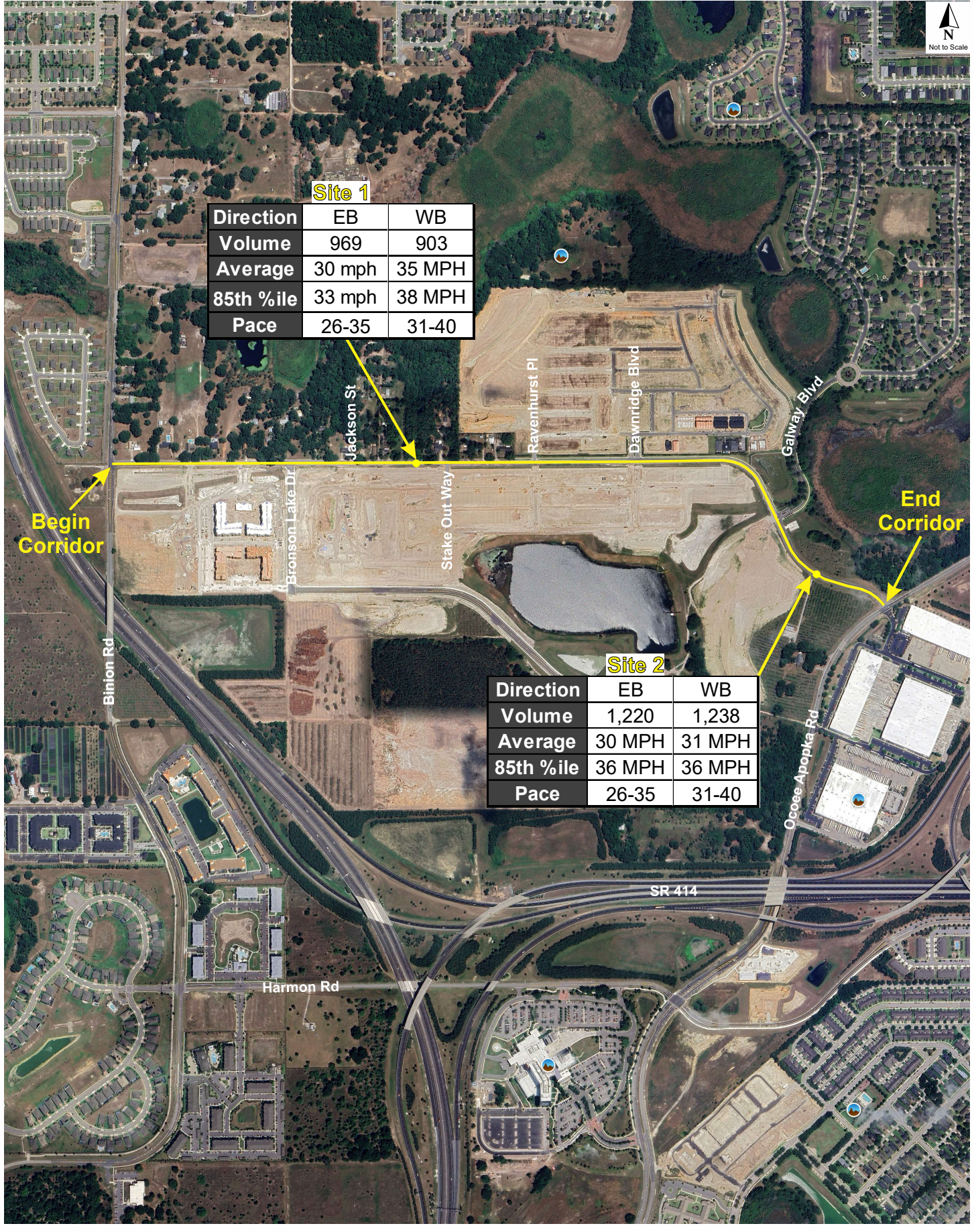
- Restricted clear zone.
- The roadway's horizontal and vertical alignment.
- The urbanizing land use context of the corridor.
- The anticipated access friction from new developments.

The final recommended speed was rounded to the nearest 5 mph increment to align with the prevailing speed profile and adjustments. The results of the speed data collection are provided in **Table 4**.

**Table 4  
Speed Study Summary**

Station	Location	Direction	Volume	Speed	Speed	10-mph Pace	Speed Limit		
				50 <sup>th</sup> %ile	85 <sup>th</sup> %ile		Observed	Adjustment	Adjusted
1	2,000 ft E. of Binion Rd	EB	969	28	33	26-35	33	3	30
		WB	903	35	38	31-40	38	3	35
2	600 ft W. of Ocoee Apopka Rd	EB	1,220	30	36	26-35	35	0	35
		WB	1,238	31	36	31-40	36	1	35

Based on the prevailing speed/85<sup>th</sup> percentile speed method, the recommended posted speed limit would be 35 mph. The prevailing speed data is also illustrated in **Figure 3**.



**Site 1**

Direction	EB	WB
Volume	969	903
Average	30 mph	35 MPH
85th %ile	33 mph	38 MPH
Pace	26-35	31-40

**Site 2**

Direction	EB	WB
Volume	1,220	1,238
Average	30 MPH	31 MPH
85th %ile	36 MPH	36 MPH
Pace	26-35	31-40

### 3.2 Target Speed

Target speed is the highest speed at which vehicles should operate on a thoroughfare in a specific context. The target speed is influenced by elements of roadway design that are governed by design speed, as well as the form and function of the adjacent uses beyond the right-of-way. While the target speed is typically established with the design or redesign of a roadway facility, it is appropriate to also consider target speed for an evolving corridor in order to ensure that design elements and speed control measures are deployed in such a manner that is consistent with attaining the desired target speed on the corridor over time, as the facility and its surroundings undergo their evolution and change.

The target speed limit is based on the land use context classification provided in the *FDOT Design Manual (FDM) Table 200.4.1* and the allowable speed range is based on the *FDOT Context Classification Guide*, which is included in **Appendix E**. Based on the growth pattern outlined in previous sections, the Boy Scout Road corridor and the surrounding area have transitioned consistent with the characteristics of the C3R – Suburban Residential context classification. Per *Table 201.5.1* of the *FDOT Context Classification Guide*, the allowable design speed range is 35 mph to 55 mph.

Boy Scout Road is currently posted at a speed limit of 45 mph throughout the study corridor. Therefore, based on the information obtained from the evaluation of the conditions on the study corridor, it is appropriate to target a posted speed of 35 mph, which falls within the allowable range for the C3 context classification.

## 4.0 FINDINGS AND RECOMMENDATIONS

This Speed Study was conducted to determine the recommended target, design, and posted speed limit on Boy Scout Road from Binion Road to Ocoee Apopka Road. The key findings of the analysis are summarized below.

- **Roadway Characteristics:** The study corridor is a two-lane undivided facility with 11 to 12 feet wide lanes, partially paved and grass shoulders, and vertical and horizontal curves.
- **Posted Speed Limits:** The 1.2-mile study segment has a posted speed limit of 45 mph.
- **Clear Zone Deficiencies:** The corridor has power poles, fire hydrants, property fences, trees and other clear zone obstructions on the east and west sides of the roadway. The available clear zone ranges from 5 feet to over 25 feet and is less than the required 24 feet in several areas.
- **Crash History:** The historical crash profile on the corridor shows that 66% of the 19 reported crashes involve vehicles leaving the roadway or left turn crashes.
- **Development and Traffic Growth:** The area is experiencing significant growth, including approved and planned residential units and commercial development.
- **Prevailing Speeds:** Observations of prevailing speeds on the corridor indicate that currently the 85<sup>th</sup> percentile speeds range from 33 mph to 38 mph. Determining the appropriate speed limit using the prevailing speed and allowable adjustments indicates that the speed limit should be set 35 mph.
- **Land Use Context:** The appropriate land use context classification for the corridor as it transforms is C3R – Suburban Residential classification with a recommended speed limit range of 35 mph and 55 mph. Based on the geometric, traffic, safety, and land use profiles, a target speed limit of 35 mph is appropriate.

**Recommendation:**

Based on this review and in recognition of the evolving nature of the corridor and its surrounding areas, it is recommended that the posted speed limit on Boy Scout Road from Binion Road to Ocoee Apopka Road be reduced to 35 mph. This adjustment would better align with the context of the roadway, enhancing safety for all road users. Below are some key considerations:

**Traffic Calming and Predictability:** Reducing the posted speed to 35 mph will help create a consistent and predictable operating environment for drivers. This change will prevent abrupt speed variations, align with desired operating speeds, and reduce the likelihood of crashes caused by inconsistent speed profiles.

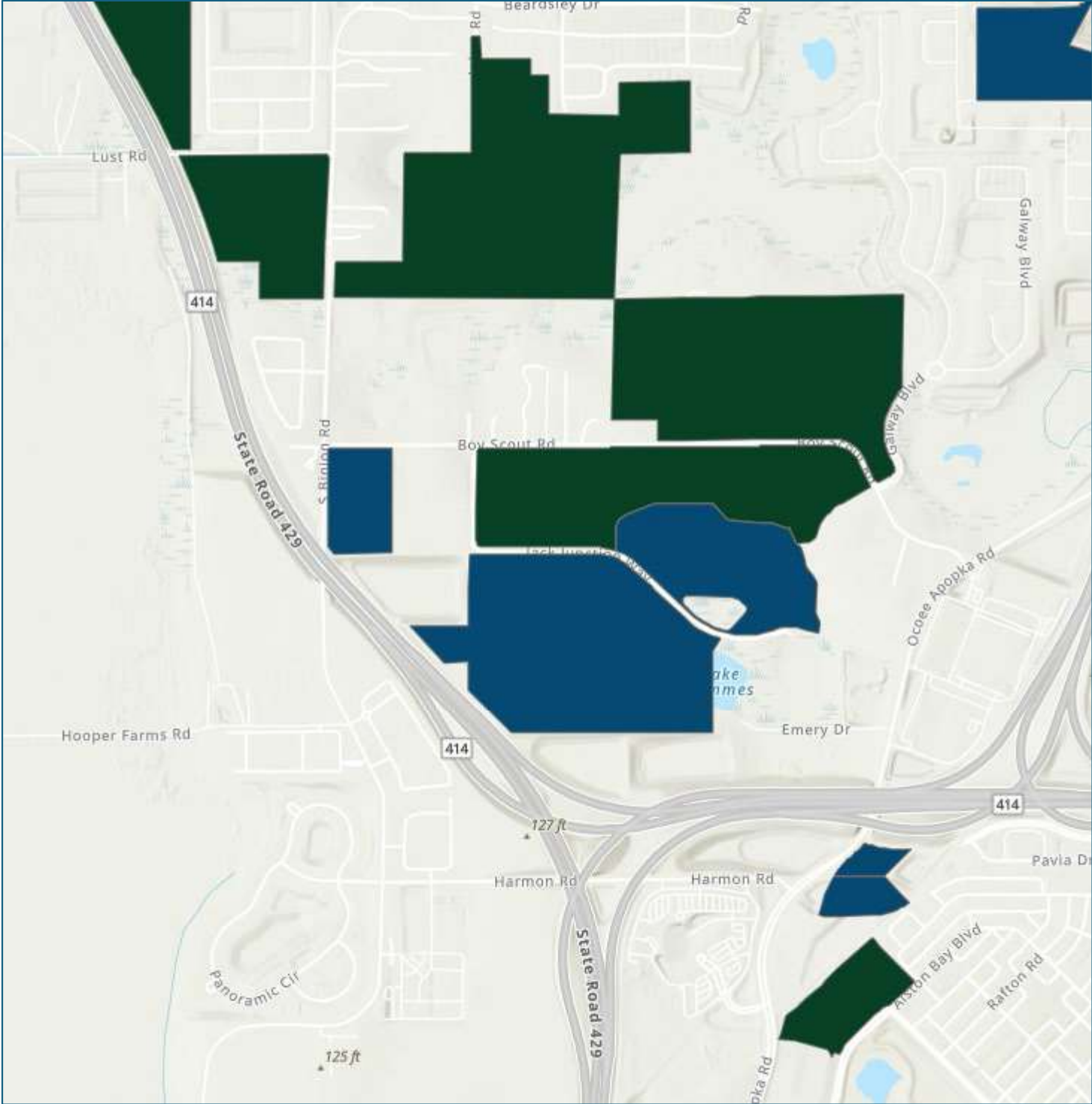
**Future Growth and Proactive Measures:** With increasing residential units and commercial developments approved or under construction, traffic volumes will continue to increase on the corridor. This proactive speed reduction will address operational and safety issues before they escalate due to heightened development pressure.

**Enforcement and Monitoring:** To ensure compliance with the new speed limit, the implementation of speed-monitoring technologies, such as dynamic speed feedback signs, and coordination with law enforcement agencies is recommended.

## APPENDICES

**Appendix A**  
Planned Development

# Ocoee Apopka Road and Binion Road Corridors Developments



(THIS MAP IS FOR REFERENCE PURPOSES ONLY AND IS NOT TO SCALE)  
December 2024

Source: <https://apopka.maps/argis.com>

**Apopka Development Projects**

Last updated: 6/26/2024

Total Area (Ac)    Total Dwelling Units:    Total DU Under Construction:    Total Non-Residential Sq Ft:    Total Non-Res. SF Under Construction:

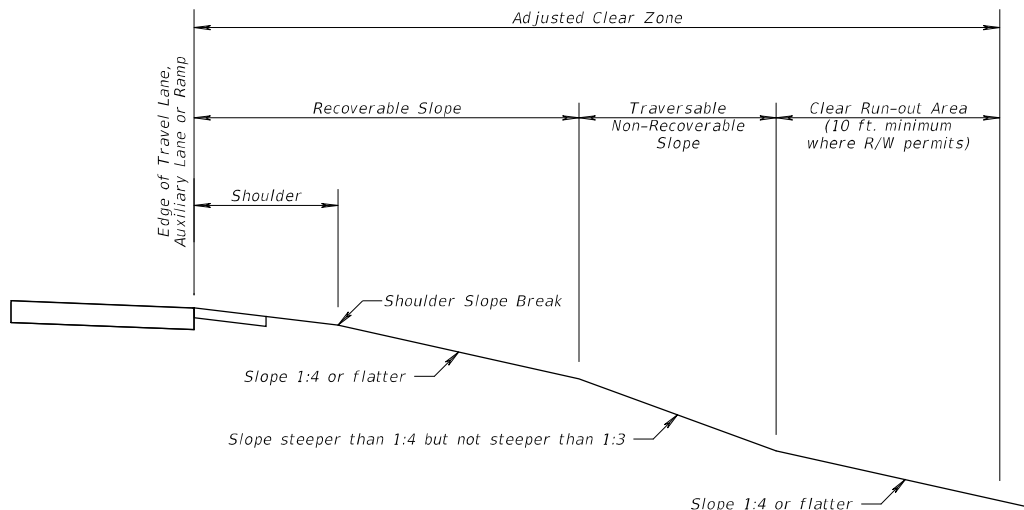
2331.00    7,668    5,859    9,001,300    5,235,014

ID	Project Name	Project Type	Acres	Dwelling Units	Description	Non-Res. Sq. Ft.	Applicant Name	Applicant Email	Applicant #	Status	Address/Location
1	Avian Pointe	PD	128	758	480 MF Units / 222 TH Units / 56 SF Units	0	Frank Bombbeck	fbomb@carlsworlds.com	813-321-1984	Construction	
2	Advent Health Industrial Complex	Site Plan	53.82	0	Industrial Park	455,387	Cameron Heidmann	cheidman@dwma.com	407-644-4069	Planned	
3	Hammock at Rock Springs	Subdivision Plan	9.59	19	Single Family Subdivision	0	Montaz Barot	baromont@terramagic.com	407-578-2763	Planned	
4	Fairfield Inn & Self-Storage	Site Plan	12	0	Hotel, Self Storage Facility	112,320	Chris Blurton	cblurton@interplanic.com	407-645-5008	Construction	
5	Residences at Emerson Park	Subdivision Plan	24	103	Townhome Subdivision	0	Leah Fitzpatrick	lfitzpatrick@vhb.com	407-893-4728	Construction	
6	North Orange Animal Hospital	Site Plan	2.3	0	Veterinary Clinic	6,582	John Frith	jfrith@aol.com	407-363-0739	Planned	
7	West Apopka Medical Offices	Site Plan	1.3	0	Medical Offices	11,097	Robert Bliss	rblissnd@yahoo.com	407-595-2552	Construction	
8	Oak Point South	Subdivision Plan	69.38	238	118 SF Units / 120 TH Units	0	David Evans	permitting@evansenginc.com	407-872-1515	Construction	
9	Winward Hills	Subdivision Plan	67.76	101	Single Family Subdivision	0	Luke Classon	lclasson@appianfl.com	407-960-5868	Construction	
10	Nottingham Subdivision	Subdivision Plan	23.4	46	Single Family Subdivision	0	Luke Classon	lclasson@appianfl.com	407-960-5868	Construction	
11	Ponkan Reserve	Subdivision Plan	7.47	14	Single Family Subdivision	0	Charles Hritt	chritt@vsearth.com	352-343-0481	Planned	
12	Apopka Townhomes	Site Plan	2.23	24	Townhome Subdivision	0	Karin Leissing	karin@harrisckilengiseers.com	407-629-4777	Planned	
13	Park View Preserve	Subdivision Plan	91.94	282	Single Family Subdivision	0	Geoff Summitt	geoff@gseng.com	407-323-0705	Construction	
14	Faircloth Lakes	Subdivision Plan	25	31	Single Family Subdivision	0	Jim Fraser	jfraserpe@earthlink.net	407-719-6040	Planned	
15	Oaks at Kelly Park	Subdivision Plan	39	124	Single Family Subdivision	0	Geoff Summitt	geoff@gseng.com	407-323-0705	Construction	
16	Meadowlark Landing	Subdivision Plan	41.85	200	Single Family & Townhome Subdivision	0	Geoff Summitt	geoff@gseng.com	407-323-0705	Construction	
17	Golden Orchard Estates	Subdivision Plan	35.56	165	Single Family Subdivision	0	Geoff Summitt	geoff@gseng.com	407-323-0705	Construction	
18	Oakview	Subdivision Plan	39.6	113	Single Family Subdivision	0	Ben Snyder	bsnyder@theisland.com	407-988-1408	Construction	
19	Windrose	Subdivision Plan	56.51	202	Single Family & Townhome Subdivision	0	James Hoffman	jhoffman@vhb.com	407-893-4766	Construction	
20	Clarcona Office Warehouse	Site Plan	9.39	0	Warehouse/Office	96,000	Andrew Gerdom	andrewgerdom@yahoo.com	417-407-5337	Planned	
21	Crossroads 429	Site Plan	50.4	0	Industrial Park	280,437	George Stock	george.stock@stockassoc.com	636-530-9100	Construction	
22	Winding Meadows	Subdivision Plan	50.77	179	Single Family Subdivision	0	Aaron Struckmeyer	Aaron.Struckmeyer@PJTgroup.com	407-661-2201	Construction	
23	Harmon Center	Site Plan	2.93	0	Retail Plaza	24,990	DRDevelopment Investments, LLC	dower@arint.com	407-353-0333	Construction	
24	Emerson Point	PD	69.65	225	128 Townhomes, 97 SF Homes	6,025	Ricardo Diaz	rdiaz@mhomes.com	407-531-5176	Construction	
25	Northstar Logistics Center I	Site Plan	55.19	0	Industrial Park	737,634	Sam Sebaali	ssebaali@teg-inc.us	407-895-0324	Construction	
26	Jefferson Apts (FKA Ocoee Apopka Road MF)	PD	21.56	304	MultiFamily Apts.	0	Tad Dixon	tad@tocommercial.net	321-594-8771	Construction	
27	Azure Estates	Subdivision Plan	38.28	76	Single Family Subdivision	0	Corey Siller	corey.siller@kimley-horn.com	407-898-1511	Construction	
28	Laurel Oaks	Subdivision Plan	41.2	126	Single Family Subdivision	0	Brian Ashby	brian.ashby@kimley-horn.com	407-898-1511	Construction	
29	Gardenia Reserve	Subdivision Plan	20.27	141	Single Family Subdivision	0	Geoff Summitt	geoff@gseng.com	407-323-0705	Construction	
30	Winding Meadows North	Master Plan	23.69	85	Single Family Subdivision	0	Luke Classon	lclasson@appianfl.com	407-636-3226	Construction	
31	Willow Run	Subdivision Plan	56.67	110	Single Family Subdivision	0	Luke Classon	lclasson@appianfl.com	407-636-3226	Planned	
32	Apopka City Center South	Site Plan	4.7	0	Commercial Development	28,040	Craig Govan	cgovan@aol.com	407-775-8559	Construction	
33	Summit Ridge	Subdivision Plan	7.59	21	Single Family Subdivision	230,868	Geoffrey Summitt	geoff@gseng.com	407-323-0705	Construction	
34	451 Commerce Park	Site Plan	22.08	0	Warehouse/Office	961,810	George Stock	george.stock@stockassoc.com	636-530-9100	Planned	
35	1975 Apopka Commercial Building	Site Plan	3.748	0	Mechanic/Office	6,025	Solange Dao	solange@danconsultants.com	407-898-6872	Construction	
36	3716 Hoghead Road	Site Plan	2.99	0	Industrial Building	30,080	Dave Schmitt	dmschmitt@disoft.com	407-207-9088	Planned	
37	Apollo Village Townhomes	Subdivision Plan	1.13	10	Townhome Subdivision	0	Farid Tawil	tawil@tawil.com	407-399-1161	Construction	
38	Alterra Logistics Park	Site Plan	70.64	0	Industrial Warehousing	574,000	Jason Lewis	jason.lewis@kimley-horn.com	863-701-8702	Construction	
39	Apopka Acorn Mixed Use Development	Site Plan	1.18	19	Mixed Use Site	28,020	Quang Lam	qlam@quanglam.com	407-234-8944	Planned	
40	Apopka Business Center	Site Plan	79.83	0	Industrial Park	710,073	Joseph Yannucci	jyannucci@langan.com	407-974-2900	Planned	
41	Crossroads (FKA DHI Kelly Park East)	Master Plan Amendment	15.27	300	Apartment Complex	0				Construction	
42	Crossroads at Kelly Park - Phase 3, Kelly Park South	MDP	45.93	409	Single Family Subdivision	0				Construction	
43	Kelly Industrial Park	MDP	104.18	0	Industrial Park	1697115	Sam Sebaali	ssebaali@teg-inc.us	407-895-0324	Construction	
44	Northstar Logistics Center II	MDP	26.49	0	Industrial Park	166648	Sam Sebaali	ssebaali@teg-inc.us	407-895-0324	Construction	
45	O2B Kids Apopka	Site Plan	2.01	0	Child Care Facility	11382	Walker Fain Owen	walkero@chw-inc.com	352-331-1976	Construction	
46	The Oaks at Monroe	CSP	5.74	86	MultiFamily Apts.	198032	Kim Fischer	kim@cyrcorpengineers.com	407-405-7819	Planned	
47	Southwick Commons	CSP	10.11	192	MultiFamily Apts.	370802	Rick Baldocchi	rbaldocchi@avconinc.com	407-599-1122	Construction	
48	True Coffee By Cannon	Site Plan	0.13	0	Coffee Shop	1312	Joe Rowley	joerowley@juno.com	407-468-5347	Planned	
49	Wingspan/ABC Kelly Park	MDP	21.36	368	Multi-Family Apartments/Commercial	45200	Lance Bennett	Planning@poulosandbennett.com	407-487-2594	Planned	
50	Park Avenue Medical Office	Site Plan	0.711	0	Medical Office	4602	Larry Poliner	larry@rreconsultants.net	407-452-8633	Planned	
51	Northwest Church	CSP	14.69	0	Church	23217	Sam Sebaali	ssebaali@teg-inc.us	407-895-0324	Planned	
52	Hanley Professional Office	Site Plan	3.69	0	Office Building	18638	Jeremy Anderson	anderson@commonpakenengineering.co	407-951-5915	Completed	
53	Logistics 429 at Apopka Ridge	Site Plan	78.203	0	Industrial Park	722222	Mark Smiley	msmiley@smiley-associates.com	561-596-0562	Planned	
54	Acadia Health - Behavior Health Hospital	Site Plan	10.14	0	Hospital with 144 Beds	99497	Adam Crunk	adam@crunkeng.com	615-873-1795	Construction	
55	Fudge Road Industrial	Site Plan	7.03	0	Industrial Storage/Warehouse	16000	Geoffrey Summitt	geoff@gseng.com	407-343-0705	Construction	
56	Wolf Lake Ranch	Subdivision	31.49	61	Single Family Subdivision	0	Jimmy Palm	jpalm@appianfl.com	4079605868	Construction	
57	Be Climbing	CSP	6.63	0	Climbing Facility	30000	Laurence Poliner	larry@rreconsultants.net	407-452-8633	Planned	
58	Fire Station 6	CSP	5.518	0	Fire Station	8065	Tyler J. Malmberg	tylerm@newkirk-engineering.com	386-872-7794	Construction	
59	Hawthorne Business Center	CSP	2.45	0	Two Stand Alone Commercial Buildings	28000	Ken Ehlers	kehlers@comcast.com	407-448-3412	Construction	
60	Marshall Lake Business Center	CSP	6.42	0	Three Stand Alone Commercial Buildings	44700	Kenneth Ehlers	kehlers@comcast.com	407-448-3412	Planned	
61	Shoppes At East Shore Phase 1	CSP	28.02	0	Retail Plaza (Publix)	78200	Jordan Draper	jordan.draper@kimley-horn.com	407-412-7741	Construction	
62	Apopka Multi Family Project	CSP	1.81	24	Multi-Family Apts.	0	Dave Schmitt	dsemailbox@dseorl.com	407-207-9088	Planned	
63	Brunache Commerce Park	MDP	5.79	0	Offices/Industrial Warehouses	55,660	Mr. Tan Qu	sshea@csei-fl.com	407-644-6570	Planned	
64	Lux Carwash	CSP	2.22	0	Car Wash	6,053.49	Gregory Crawford	gcrawford@teg-inc.us	407-895-0324	Planned	
65	Shoppes at East Shore Multi Family	CSP	7.47	224	Multi-Family Apts.	0	Jordan Draper	jordan.draper@kimley-horn.com	407-898-1511	Planned	
66	SP-23-2 Tire Services Center - Apopka	MDP	1.18	0	Tire/Vehicle Service Center	6,952	Kyle Morel	fl-permits@bohlereng.com	813-812-4100	Planned	
67	SP-24-21 Keene Road Retail	MDP	18.8	0	Mixed Retail/Office	61,928	Bryan Potts	bpotts@tamathdesign.com	407-982-9878	Construction	
68	SP-24-39 The Ridge Parcel 8 Community Park	CSP	11.27	0	Community Park	0	James R. Hoffman	jhoffman@vhb.com	407-893-4766	Planned	
69	SP-24-6 Plymouth Sorrento Apartments	MDP	13.04	242	Multi-Family Apts.	0	Sofia Sierra Gil	ssierragil@appianfl.com	407-960-5868	Planned	
70	SP-24-8 FCS Industries	CSP	4.28	0	Office/Mechanic Shop	24,000	Jose A. Rodriguez	irodriguez@barriosengineering.com	407-286-2610	Planned	
71	SP-24-19 Dutch Bros FL 1202	CSP	0.793	0	Coffee Shop	950	Michael O Flora	mflora@sloaneng.com	863-800-3046	Construction	
72	The Ridge PD - Parcel 6C	MDP	13.23	0	Warehouse/Office Buildings & Gas Station	106,000	John Prowell	jprowell@vhb.com	407-893-4764	Planned	
73	Trinity Construction	CSP	2.37	0	Manufacturing Assembly/Fabrication Building	20,558	David Clutts	dclutts@civilengsolutions.com	352-742-5011	Planned	
74	SP-24-40 Southwick Commons	Rev to CSP	12.84	192	Multi-Family Apts.	0	Aldo E. Mejias	amejias@avconinc.com	407-599-1122	Construction	
75	SP-24-42 Madison Oaks (MF-3)	CSP	12.07	325	Multi-Family Apts.	0	Kevin M. Roberson	kevin.roberson@kimley-horn.com	772-794-4035	Construction	
76	SP-24-45 Floridian Town Center Phase 1 Multi-Family	MDP	10.37	312	Multi-Family Apts.	0	John Townsend	jtownsend@dwma.com	407-644-4068	Planned	
77	Ponkan Oak Manor	CSP	9.956	19	Single Family Subdivision	0	Brad Donley	bdonley@newkirk-engineering.com	386-872-7794	Planned	
78	Eden Crest (AKA Lee Terrace/Magnolia Terrace)	CSP	95.09	300	Single Family/Townhome Subdivision	0	Ovidio S. Sanchez	osanchez@appianfl.com	407-960-5868	Construction	
79	Lo Family Trust Warehouse	Site Plan	19.43	0	Warehouse	66011	Brian Forster	bforster@landdesign.com	407-270-7800	Planned	
80	Bronson Peak	CSP	59.45	268	Single Family/Townhome Subdivision	0	John Prowell	jprowell@vhb.com	407-893-4764	Construction	
81	Bronson Ridge	CSP	79.57	313	Single Family/Townhome Subdivision	0	David Klawitter	dklawitter@vhb.com	407-893-4796	Construction	



**Appendix B**  
Clear Zone Requirements

**Figure 215.2.3 Adjusted Clear Zone Concept**



**Table 215.2.1 Clear Zone Width Requirements**

	Design Speed (mph)						
	≤ 30	35	40	45	50	55	≥ 60
<b>Clear Zone Width for New Construction</b>							
Travel Lanes & Multilane Ramps	12 feet	14 feet	18 feet	24 feet	24 feet	30 feet	36 feet
Auxiliary Lanes & Single Lane Ramps	10 feet	10 feet	10 feet	14 feet	14 feet	18 feet	24 feet
<b>Clear Zone Width for RRR Projects</b>							
Travel Lanes & Multilane Ramps	6 feet	6 feet	6 feet	14 feet	18 feet	18 feet	18 feet
Auxiliary Lanes & Single Lane Ramps	6 feet	6 feet	6 feet	8 feet	8 feet	8 feet	8 feet

Clear zone widths for work zones are provided in [Standard Plans, Index 102-600](#).

**Table 215.2.2 Minimum Lateral Offset Criteria**

Design Element		Curbed Roadways				High Speed Curbed and Flush Shoulder Roadway
		New Construction		RRR		
		Design Speed				
		25-35 mph	40-45 mph	25-35 mph	40-45 mph	
Light Poles	Conventional	Do not locate in Medians, except in conjunction with barriers that are justified for other reasons. See <b>FDM 215.2.9</b> .				
		1.5 feet	4.0 feet	1.5 feet	1.5 feet	20 feet from Travel Lane, 14 feet from Auxiliary Lane, or Clear Zone width, whichever is less
	High Mast	Outside Clear Zone				
Signal Poles and Controller Cabinets		Do not locate in Medians. See <b>FDM 215.2.9</b> .				
		1.5 feet	4.0 feet	1.5 feet	1.5 feet	Outside Clear Zone
Traffic Infraction Detectors		For placement and installation specifications, refer to the State Traffic Engineering and Operations Office web page: <a href="http://www.fdot.gov/traffic/">http://www.fdot.gov/traffic/</a>				
ITS Poles and Related Items	Pole & Other Aboveground Fixed Objects	Do not locate in Medians, except in conjunction with barriers that are justified for other reasons. See <b>FDM 215.2.9</b> .				
		1.5 feet	4.0 feet	1.5 feet	4.0 feet	Outside Clear Zone
	Equipment Shelters and Towers	Do not locate within the limited-access right of way, except as allowed by <a href="#">Policy No. 000-625-025</a> , <b>Telecommunications Facilities on Limited Access Rights of Way</b> .				
	Breakaway Objects	1.5 feet	4.0 feet	1.5 feet	4.0 feet	As Close to R/W As Possible
Traffic Control Signs	Single and Multi-Column	Locate in accordance with Standard Plans.				
	Overhead Sign Structures	Outside Clear Zone				
Trees	Where the diameter is or is expected to be > 4 inches measured 6 inches above the ground	1.5 feet	4.0 feet	1.5 feet	1.5 feet	Outside Clear Zone
		<b>RRR Projects:</b> (1) Meet New Construction criteria for new plantings.				

**Table 215.2.2 Minimum Lateral Offset Criteria (cont.)**

Design Element		Curbed Roadways				High Speed Curbed and Flush Shoulder Roadway
		New Construction		RRR		
		Design Speed				
		25-35 mph	40-45 mph	25-35 mph	40-45 mph	
Aboveground Utilities (See <i>FDM 215.2.8</i> )	Existing Utilities	1.5 feet	4.0 feet	1.5 feet	4.0 feet	Outside Clear Zone
	New or Relocated Utilities	4.0 feet				Outside Clear Zone
	RRR Projects: Existing aboveground utilities are not required to be relocated unless one of the following applies:	<ul style="list-style-type: none"> <li>The edge of traveled way is being moved closer to the aboveground utility; e.g., addition of an auxiliary lane, or</li> <li>They have been hit 3 times in 5 years.</li> </ul>				
Railroad Grade Crossing Traffic Control Device		Locate in accordance with <a href="#">Standard Plans, Index 509-100</a> and <a href="#">Index 509-070</a>				
Roadways Overpassing Railroads		For Horizontal Clearances where roadways overpass railroads refer to <i>FDM 220</i> .				
Canal and Drop-off Hazards		See <i>FDM 215.3</i>				
Bridge Piers and Abutments		The greater of the following: 16 feet from Edge of Travel Lane; or Outside: 4 feet from Face of Curb Median: 6 feet from Edge of Traffic Lane (See <i>FDM 215.4.5.4</i> for Pier Protection criteria and <i>Figures 210.12.3 &amp; 210.12.4</i> )			Outside Clear Zone	
Drainage Structures (e.g., wingwalls, endwalls, flared end sections)		Refer to the FDOT Drainage Manual				
Mailboxes		Locate in accordance with <a href="#">Standard Plans, Index 110-200</a>				
Bus Benches and Transit Shelters		Locate in accordance with <i>Rule Chapter 14-20.003, Florida Administrative Code (F.A.C.)</i> . Transit bus benches must be located in accordance with <i>Rule Chapter 14-20.0032, F.A.C.</i>				
Pedestrian Railing		4.0 feet			Outside Clear Zone	

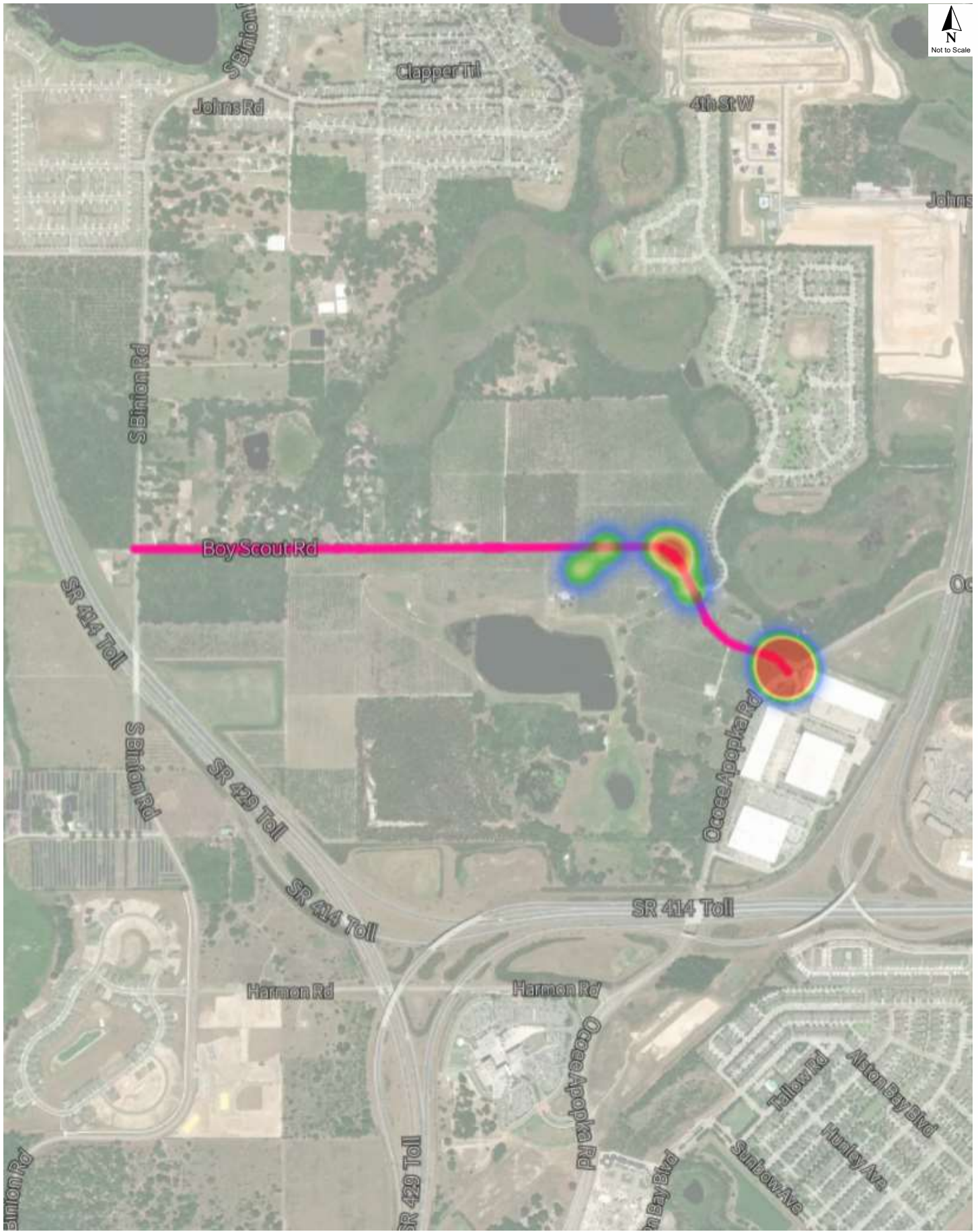
**Appendix C**  
Crash Data

**CRASH SUMMARY**

**Location: Boy Scout Road from Binion Road to Ocoee Apopka Road**

**Study Period Time: 1/1/2020 - 12/10/2024**

REPORT NUMBER	DATE AND TIME	CRASH TYPE	INJURY	FATALITIES	VEHICLES	TOTAL DAMAGE	AREA TYPE	TYPE OF INTERSECTION	DAY/NIGHT	WEATHER CONDITION	ROAD SURFACE
89502205	1/23/2020 8:30	Off Road	No Injury	0	1	\$7,000.00	Urban	Not at Intersection	Day	Clear	Dry
89502874	8/24/2020 6:00	Off Road	No Injury	0	1	\$700.00	Urban	Not at Intersection	Night	Rain	Wet
89502815	8/3/2020 1:00	Off Road	No Injury	0	1	\$0.00	Urban	Not at Intersection	Night	Clear	Dry
89502392	3/14/2020 15:16	Right Angle	No Injury	0	2	\$0.00	Urban	Other	Day	Clear	Dry
89503135	11/4/2020 13:45	Head On	No Injury	0	2	\$0.00	Urban	Not at Intersection	Day	Clear	Dry
89502462	4/10/2020 9:35	Left Entering	No Injury	0	2	\$0.00	Urban	Not at Intersection	Day	Clear	Dry
89503326	1/1/2021 1:38	Single Vehicle	Injury	0	1	\$0.00	Urban	Four-Way Intersection	Night	Clear	Dry
89504098	8/6/2021 14:37	Left Entering	No Injury	0	2	\$0.00	Urban	Not at Intersection	Day	Clear	Dry
24737526	3/25/2022 19:35	Left Leaving	No Injury	0	2	\$0.00	Urban	Not at Intersection	Night	Clear	Dry
24737335	2/4/2022 7:15	Unknown	No Injury	0	2	\$0.00	Urban	T-Intersection	Day	Clear	Dry
24739215	5/22/2023 0:00	Off Road	Injury	0	1	\$2,000.00	Urban	Not at Intersection	Night	Clear	Dry
24739263	6/2/2023 11:47	Left Entering	Injury	0	2	\$0.00	Urban	Not at Intersection	Day	Clear	Dry
24739024	4/5/2023 6:25	Left Entering	No Injury	0	2	\$0.00	Urban	Not at Intersection	Night	Clear	Dry
89504290	11/14/2023 14:48	Left Leaving	No Injury	0	2	\$0.00	Urban	T-Intersection	Day	Clear	Dry
26683995	4/19/2024 13:12	Same Direction S	No Injury	0	2	\$0.00	Urban	Four-Way Intersection	Day	Clear	Dry
26684569	9/7/2024 6:05	Off Road	Injury	0	1	\$1,000.00	Urban	Not at Intersection	Night	Clear	Wet
26684946	12/4/2024 9:28	Backed Into	No Injury	0	2	\$0.00	Urban	Not at Intersection	Day	Clear	Dry
89504820	3/16/2024 19:00	Left Leaving	No Injury	0	2	\$0.00	Urban	Not at Intersection	Night	Clear	Dry
89504696	2/19/2024 15:48	Left Entering	No Injury	0	2	\$0.00	Urban	Four-Way Intersection	Day	Clear	Dry



**Appendix D**  
Speed Count Data

**ADT Traffic Services**  
**3894 Percival Rd**  
**Orlando, FL 32826**

Site Code: 0000001  
Station ID:

Latitude: 0' 0.0000 Undefined

W.B	1	16	21	26	31	36	41	46	51	56	61	66	71	Total
Start Time	15	20	25	30	35	40	45	50	55	60	65	70	9999	
01/29/25	0	0	0	0	0	1	0	0	0	0	0	0	0	1
00:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:30	0	0	0	0	1	0	0	0	0	0	0	0	0	1
00:45	0	0	0	0	0	1	0	0	0	0	0	0	0	1
01:00	0	0	0	0	1	2	0	0	0	0	0	0	0	3
01:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30	0	0	0	0	1	2	0	0	0	0	0	0	0	3
01:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	1	0	0	0	0	1	0	0	0	0	0	0	0	2
02:15	0	0	0	0	1	3	0	0	0	0	0	0	0	5
02:30	0	0	0	0	0	1	0	0	0	0	0	0	0	1
02:45	0	0	0	0	1	1	0	0	0	0	0	0	0	2
03:00	0	0	0	2	3	4	1	0	0	0	0	0	0	8
03:15	0	0	0	0	1	0	0	0	0	0	0	0	0	3
03:30	0	0	0	0	0	1	0	0	0	0	0	0	0	1
03:45	0	0	0	0	0	4	0	0	0	0	0	0	0	4
04:00	0	0	0	2	1	6	0	0	0	0	0	0	0	9
04:15	0	0	0	0	1	1	0	0	0	0	0	0	0	2
04:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45	0	0	1	2	2	2	0	0	0	0	0	0	0	2
05:00	0	0	1	2	2	5	0	0	0	0	0	0	0	6
05:15	0	0	0	0	1	1	0	0	0	0	0	0	0	10
05:30	0	0	0	0	3	2	0	0	0	0	0	0	0	2
05:45	0	0	0	0	1	2	0	0	0	0	0	0	0	5
06:00	0	0	0	1	1	5	0	0	0	0	0	0	0	3
06:15	0	0	0	1	6	10	0	0	0	0	0	0	0	7
06:30	0	0	0	2	3	5	0	0	0	0	0	0	0	17
06:45	0	0	0	0	3	9	0	0	0	0	0	0	0	8
07:00	0	0	0	4	13	36	0	0	0	0	0	0	0	14
07:15	0	0	1	0	4	8	1	0	0	0	0	0	0	53
07:30	0	0	0	0	5	12	1	0	0	0	0	0	0	14
07:45	1	0	0	0	8	10	0	0	0	0	0	0	0	18
08:00	0	0	0	0	3	3	0	0	0	0	0	0	0	19
08:15	1	0	1	0	20	33	2	0	0	0	0	0	0	6
08:30	0	0	2	0	6	10	0	0	0	0	0	0	0	57
08:45	0	0	1	3	2	9	0	0	0	0	0	0	0	18
09:00	0	0	0	4	4	11	0	0	0	0	0	0	0	15
09:15	0	0	1	5	1	9	0	0	0	0	0	0	0	19
09:30	0	0	4	12	13	39	0	0	0	0	0	0	0	16
09:45	0	0	0	4	2	6	0	0	0	0	0	0	0	16
10:00	0	1	0	4	3	8	0	0	0	0	0	0	0	13
10:15	0	0	0	3	3	8	0	0	0	0	0	0	0	14
10:30	0	0	0	3	3	8	0	0	0	0	0	0	0	14
10:45	0	0	1	3	4	7	0	0	0	0	0	0	0	57
11:00	0	1	0	10	14	32	0	0	0	0	0	0	0	14
11:15	0	1	1	0	4	8	0	0	0	0	0	0	0	19
11:30	1	0	3	3	6	6	0	0	0	0	0	0	0	15
11:45	0	0	1	3	4	7	0	0	0	0	0	0	0	12
Total	3	2	13	48	117	218	3	0	0	0	0	0	0	404

**ADT Traffic Services**  
**3894 Percival Rd**  
**Orlando, FL 32826**

Site Code: 0000001  
 Station ID:

Latitude: 0' 0.0000 Undefined

W.B

Start Time	1 15	16 20	21 25	26 30	31 35	36 40	41 45	46 50	51 55	56 60	61 65	66 70	71 9999	Total
12 PM	0	0	0	0	2	9	0	0	0	0	0	0	0	11
12:15	0	0	0	0	4	10	0	0	0	0	0	0	0	14
12:30	0	0	0	4	3	9	1	0	0	0	0	0	0	17
12:45	0	0	1	1	2	10	0	0	0	0	0	0	0	14
13:00	0	0	1	5	11	38	1	0	0	0	0	0	0	56
13:15	8	0	0	1	1	7	0	0	0	0	0	0	0	17
13:30	0	0	1	0	4	7	0	0	0	0	0	0	0	12
13:45	0	0	0	1	6	12	1	0	0	0	0	0	0	20
14:00	0	0	0	0	5	5	0	0	0	0	0	0	0	10
14:15	8	0	1	2	16	31	1	0	0	0	0	0	0	59
14:30	0	0	0	1	5	9	0	0	0	0	0	0	0	15
14:45	0	0	1	0	0	6	0	0	0	0	0	0	0	7
15:00	1	0	1	1	6	6	0	0	0	0	0	0	0	13
15:15	1	0	2	3	16	28	0	0	0	0	0	0	0	15
15:30	0	0	0	0	4	12	0	0	0	0	0	0	0	16
15:45	0	0	0	4	9	10	0	0	0	0	0	0	0	23
16:00	0	0	0	0	9	7	1	0	0	0	0	0	0	17
16:15	0	0	0	0	6	9	0	0	0	0	0	0	0	15
16:30	0	0	0	4	28	38	1	0	0	0	0	0	0	71
16:45	0	0	0	2	1	8	0	0	0	0	0	0	0	11
17:00	0	0	0	1	2	11	0	0	0	0	0	0	0	14
17:15	0	0	0	0	8	8	0	0	0	0	0	0	0	16
17:30	4	2	1	7	3	3	0	0	0	0	0	0	0	20
17:45	4	2	1	10	14	30	0	0	0	0	0	0	0	61
18:00	0	0	1	1	8	9	0	0	0	0	0	0	0	19
18:15	1	0	0	3	0	10	0	0	0	0	0	0	0	14
18:30	0	0	0	0	5	13	0	0	0	0	0	0	0	18
18:45	0	0	0	1	4	7	3	0	0	0	0	0	0	15
19:00	1	0	1	5	17	39	3	0	0	0	0	0	0	66
19:15	0	0	0	0	2	8	0	0	0	0	0	0	0	10
19:30	0	0	0	0	9	6	0	0	0	0	0	0	0	15
19:45	0	0	0	0	4	6	0	0	0	0	0	0	0	10
20:00	0	0	0	0	2	1	0	0	0	0	0	0	0	3
20:15	0	0	0	0	17	21	0	0	0	0	0	0	0	38
20:30	0	0	0	3	2	3	0	0	0	0	0	0	0	8
20:45	0	0	0	0	1	5	0	0	0	0	0	0	0	6
21:00	0	0	0	2	3	3	0	0	0	0	0	0	0	8
21:15	0	0	0	0	7	8	0	0	0	0	0	0	0	15
21:30	0	0	0	5	13	19	0	0	0	0	0	0	0	37
21:45	0	0	0	3	4	3	0	0	0	0	0	0	0	10
22:00	0	0	0	0	1	4	0	0	0	0	0	0	0	5
22:15	0	0	2	1	2	4	0	0	0	0	0	0	0	9
22:30	0	0	0	0	2	3	1	0	0	0	0	0	0	6
22:45	0	0	0	0	2	3	1	0	0	0	0	0	0	6
23:00	0	0	2	4	9	14	1	0	0	0	0	0	0	30
23:15	0	0	0	0	2	1	0	0	0	0	0	0	0	3
23:30	0	0	0	0	4	2	0	0	0	0	0	0	0	6
23:45	0	0	0	1	1	0	0	0	0	0	0	0	0	2
24:00	0	0	0	0	2	1	0	0	0	0	0	0	0	3
24:15	0	0	0	0	2	1	0	0	0	0	0	0	0	2
24:30	0	0	0	1	9	4	0	0	0	0	0	0	0	14
24:45	0	0	0	3	1	0	0	0	0	0	0	0	0	4
25:00	0	0	0	0	2	1	1	0	0	0	0	0	0	4
25:15	0	0	0	0	2	1	0	0	0	0	0	0	0	3
25:30	0	0	0	0	0	2	0	0	0	0	0	0	0	2
25:45	0	0	0	0	0	2	0	0	0	0	0	0	0	2
26:00	0	0	0	3	5	4	1	0	0	0	0	0	0	13
26:15	0	0	0	0	0	2	0	0	0	0	0	0	0	2
26:30	0	0	0	0	0	0	1	0	0	0	0	0	0	1
26:45	0	0	0	0	0	1	0	0	0	0	0	0	0	1
27:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
27:15	0	0	0	0	0	3	1	0	0	0	0	0	0	4
Total	14	2	8	42	155	269	9	0	0	0	0	0	0	499
Total	17	4	21	90	272	487	12	0	0	0	0	0	0	903

15th Percentile : 30 MPH  
 50th Percentile : 35 MPH  
 85th Percentile : 38 MPH  
 95th Percentile : 39 MPH

Stats Mean Speed(Average) : 35 MPH  
 10 MPH Pace Speed : 31-40 MPH  
 Number in Pace : 759  
 Percent in Pace : 84.1%

Number of Vehicles > 25 MPH :	861
Percent of Vehicles > 25 MPH :	95.3%

**ADT Traffic Services**  
**3894 Percival Rd**  
**Orlando, FL 32826**

Site Code: 0000001  
Station ID:

Latitude: 0' 0.0000 Undefined

E.B	1	16	21	26	31	36	41	46	51	56	61	66	71	Total
Start Time	15	20	25	30	35	40	45	50	55	60	65	70	9999	
01/29/25	0	0	1	1	3	0	0	0	0	0	0	0	0	5
00:15	0	0	0	1	3	0	0	0	0	0	0	0	0	4
00:30	0	0	0	2	1	0	0	0	0	0	0	0	0	3
00:45	0	0	0	4	0	0	0	0	0	0	0	0	0	4
01:00	0	0	1	8	7	0	0	0	0	0	0	0	0	16
01:15	0	0	0	0	2	0	0	0	0	0	0	0	0	2
01:30	0	0	0	1	1	0	0	0	0	0	0	0	0	2
01:45	0	0	0	2	2	0	0	0	0	0	0	0	0	4
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15	0	0	0	3	5	0	0	0	0	0	0	0	0	8
02:30	0	0	0	1	0	0	0	0	0	0	0	0	0	1
02:45	0	0	0	1	0	0	0	0	0	0	0	0	0	1
03:00	0	0	0	4	2	0	0	0	0	0	0	0	0	6
03:15	0	0	0	1	3	0	0	0	0	0	0	0	0	4
03:30	0	0	0	7	5	0	0	0	0	0	0	0	0	12
03:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00	0	0	0	3	1	0	0	0	0	0	0	0	0	4
04:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30	0	0	0	2	0	0	0	0	0	0	0	0	0	2
04:45	0	0	0	0	1	0	0	0	0	0	0	0	0	1
05:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15	0	0	0	3	4	0	0	0	0	0	0	0	0	3
05:30	0	0	0	0	4	0	0	0	0	0	0	0	0	4
05:45	0	0	0	3	3	1	0	0	0	0	0	0	0	7
06:00	0	0	0	1	1	0	0	0	0	0	0	0	0	2
06:15	0	0	0	5	3	0	0	0	0	0	0	0	0	8
06:30	0	0	0	9	11	1	0	0	0	0	0	0	0	21
06:45	0	0	0	3	6	0	0	0	0	0	0	0	0	9
07:00	0	0	0	6	4	0	0	0	0	0	0	0	0	10
07:15	0	0	0	5	10	0	0	0	0	0	0	0	0	15
07:30	0	0	0	9	5	0	0	0	0	0	0	0	0	14
07:45	0	0	0	23	25	0	0	0	0	0	0	0	0	48
08:00	0	0	0	7	9	0	0	0	0	0	0	0	0	16
08:15	0	0	0	6	6	0	0	0	0	0	0	0	0	12
08:30	0	0	0	11	6	0	0	0	0	0	0	0	0	17
08:45	0	0	1	15	1	0	0	0	0	0	0	0	0	17
09:00	0	0	1	39	22	0	0	0	0	0	0	0	0	62
09:15	0	0	1	10	0	0	0	0	0	0	0	0	0	11
09:30	0	0	1	15	2	0	0	0	0	0	0	0	0	18
09:45	0	0	0	9	2	0	0	0	0	0	0	0	0	11
10:00	0	0	0	11	3	0	0	0	0	0	0	0	0	14
10:15	0	0	2	45	7	0	0	0	0	0	0	0	0	54
10:30	0	0	0	10	3	0	0	0	0	0	0	0	0	13
10:45	0	0	0	8	4	0	0	0	0	0	0	0	0	12
11:00	0	0	0	9	2	0	0	0	0	0	0	0	0	11
11:15	0	0	0	5	2	0	0	0	0	0	0	0	0	7
11:30	0	0	0	32	11	0	0	0	0	0	0	0	0	43
11:45	0	0	0	7	4	0	0	0	0	0	0	0	0	11
12:00	0	0	1	5	2	0	0	0	0	0	0	0	0	7
12:15	0	0	1	2	8	0	0	0	0	0	0	0	0	11
12:30	0	0	1	3	5	0	0	0	0	0	0	0	0	11
12:45	0	0	2	17	19	0	0	0	0	0	0	0	0	38
13:00	0	0	1	6	5	0	0	0	0	0	0	0	0	12
13:15	0	0	0	4	7	0	0	0	0	0	0	0	0	11
13:30	0	0	0	8	5	0	0	0	0	0	0	0	0	13
13:45	0	0	0	2	3	0	0	0	0	0	0	0	0	5
14:00	0	0	1	20	20	0	0	0	0	0	0	0	0	41
Total	0	0	7	206	136	1	0	0	0	0	0	0	0	350

**ADT Traffic Services**  
**3894 Percival Rd**  
**Orlando, FL 32826**

Site Code: 0000001  
 Station ID:

Latitude: 0' 0.0000 Undefined

**E.B**

Start Time	15	16 20	21 25	26 30	31 35	36 40	41 45	46 50	51 55	56 60	61 65	66 70	71 9999	Total
12 PM	0	0	0	6	5	0	0	0	0	0	0	0	0	11
12:15	0	0	0	8	2	0	0	0	0	0	0	0	0	10
12:30	0	0	0	5	4	0	0	0	0	0	0	0	0	9
12:45	0	0	0	7	7	0	0	0	0	0	0	0	0	14
13:00	0	0	0	26	18	0	0	0	0	0	0	0	0	44
13:15	0	0	2	6	6	0	0	0	0	0	0	0	0	14
13:30	0	0	0	9	3	0	0	0	0	0	0	0	0	12
13:30	0	0	0	7	5	0	0	0	0	0	0	0	0	12
13:45	0	0	0	12	8	0	0	0	0	0	0	0	0	20
14:00	0	0	2	34	22	0	0	0	0	0	0	0	0	58
14:15	0	0	0	14	2	0	0	0	0	0	0	0	0	16
14:15	0	0	0	11	5	0	0	0	0	0	0	0	0	16
14:30	0	0	0	15	2	0	0	0	0	0	0	0	0	17
14:45	0	0	0	19	3	0	0	0	0	0	0	0	0	22
15:00	0	0	0	59	12	0	0	0	0	0	0	0	0	71
15:00	0	0	1	14	6	0	0	0	0	0	0	0	0	21
15:15	0	0	0	17	5	0	0	0	0	0	0	0	0	22
15:30	0	0	0	19	7	0	0	0	0	0	0	0	0	26
15:45	0	0	0	14	10	0	0	0	0	0	0	0	0	24
16:00	0	0	1	64	28	0	0	0	0	0	0	0	0	93
16:00	0	0	1	15	5	0	0	0	0	0	0	0	0	21
16:15	0	0	1	12	2	0	0	0	0	0	0	0	0	15
16:30	0	0	1	10	3	0	0	0	0	0	0	0	0	14
16:45	0	0	5	18	6	0	0	0	0	0	0	0	0	29
17:00	0	0	8	55	16	0	0	0	0	0	0	0	0	79
17:00	0	0	0	15	10	0	0	0	0	0	0	0	0	25
17:15	0	0	1	11	15	0	0	0	0	0	0	0	0	27
17:30	0	0	1	11	11	0	0	0	0	0	0	0	0	23
17:45	0	0	2	4	13	0	0	0	0	0	0	0	0	19
18:00	0	0	4	41	49	0	0	0	0	0	0	0	0	94
18:00	0	0	2	5	10	0	0	0	0	0	0	0	0	17
18:15	0	0	0	8	11	0	0	0	0	0	0	0	0	19
18:30	0	0	0	5	9	0	0	0	0	0	0	0	0	14
18:45	0	0	1	2	10	0	0	0	0	0	0	0	0	13
19:00	0	0	3	20	40	0	0	0	0	0	0	0	0	63
19:00	0	0	4	6	7	0	0	0	0	0	0	0	0	17
19:15	0	0	0	4	5	0	0	0	0	0	0	0	0	9
19:30	0	0	0	5	8	0	0	0	0	0	0	0	0	13
19:45	0	0	0	4	2	0	0	0	0	0	0	0	0	6
20:00	0	0	4	19	22	0	0	0	0	0	0	0	0	45
20:00	0	0	0	1	6	0	0	0	0	0	0	0	0	7
20:15	0	0	1	4	3	0	0	0	0	0	0	0	0	8
20:30	0	0	0	4	2	0	0	0	0	0	0	0	0	6
20:45	0	0	2	6	4	0	0	0	0	0	0	0	0	12
21:00	0	0	3	15	15	0	0	0	0	0	0	0	0	33
21:00	0	0	0	2	1	0	0	0	0	0	0	0	0	3
21:15	0	0	0	9	2	0	0	0	0	0	0	0	0	11
21:30	0	0	0	3	1	0	0	0	0	0	0	0	0	4
21:45	0	0	0	3	0	0	0	0	0	0	0	0	0	3
22:00	0	0	0	17	4	0	0	0	0	0	0	0	0	21
22:00	0	0	0	5	0	0	0	0	0	0	0	0	0	5
22:15	0	0	0	1	1	0	0	0	0	0	0	0	0	2
22:30	0	0	0	3	0	0	0	0	0	0	0	0	0	3
22:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:00	0	0	0	9	1	0	0	0	0	0	0	0	0	10
23:00	0	0	0	3	2	0	0	0	0	0	0	0	0	5
23:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:30	0	0	0	2	1	0	0	0	0	0	0	0	0	3
23:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	25	364	230	0	0	0	0	0	0	0	0	619
Total	0	0	32	570	366	1	0	0	0	0	0	0	0	969

15th Percentile : 25 MPH  
 50th Percentile : 28 MPH  
 85th Percentile : 33 MPH  
 95th Percentile : 34 MPH

Stats Mean Speed(Average) : 30 MPH  
 10 MPH Pace Speed : 26-35 MPH  
 Number in Pace : 936  
 Percent in Pace : 96.6%

Number of Vehicles > 25 MPH : 937  
Percent of Vehicles > 25 MPH : 96.7%

**ADT Traffic Services**  
**3894 Percival Rd**  
**Orlando, FL 32826**

Site Code: 000002  
 Station ID:

Latitude: 0' 0.0000 Undefined

E.B	1	16	21	26	31	36	41	46	51	56	61	66	71	Total
Start Time	15	20	25	30	35	40	45	50	55	60	65	70	9999	
01/29/25	0	0	0	2	2	1	0	0	0	0	0	0	0	5
00:15	0	0	2	0	0	1	0	0	0	0	0	0	0	3
00:30	0	0	0	2	2	0	1	0	0	0	0	0	0	5
00:45	0	0	0	1	1	0	0	0	0	0	0	0	0	2
01:00	0	0	2	5	5	2	1	0	0	0	0	0	0	15
01:15	0	0	0	1	0	0	0	0	0	0	0	0	0	1
01:30	0	0	2	0	0	0	0	0	0	0	0	0	0	2
01:45	0	1	0	2	1	0	0	0	0	0	0	0	0	4
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15	0	1	2	3	1	0	0	0	0	0	0	0	0	7
02:30	0	0	0	1	0	0	0	0	0	0	0	0	0	1
02:45	0	0	1	1	0	0	0	0	0	0	0	0	0	2
03:00	0	1	2	3	0	0	0	0	0	0	0	0	0	4
03:15	0	1	1	3	0	0	0	0	0	0	0	0	0	5
03:30	0	1	2	8	0	1	0	0	0	0	0	0	0	12
03:45	0	0	1	0	0	0	0	0	0	0	0	0	0	1
04:00	0	0	5	2	0	0	0	0	0	0	0	0	0	7
04:15	0	0	2	0	0	0	0	0	0	0	0	0	0	0
04:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45	0	0	0	3	1	0	0	0	0	0	0	0	0	4
05:00	0	0	0	5	1	0	0	0	0	0	0	0	0	6
05:15	0	1	2	0	2	0	0	0	0	0	0	0	0	5
05:30	0	0	1	4	1	1	1	0	0	0	0	0	0	8
05:45	0	2	0	6	1	1	0	0	0	0	0	0	0	10
06:00	0	0	3	7	3	0	0	0	0	0	0	0	0	13
06:15	0	3	6	17	7	2	1	0	0	0	0	0	0	36
06:30	0	0	5	8	1	0	0	0	0	0	0	0	0	14
06:45	0	0	2	4	3	1	0	0	0	0	0	0	0	10
07:00	0	3	9	8	5	0	0	0	0	0	0	0	0	25
07:15	0	0	9	1	8	0	0	0	0	0	0	0	0	18
07:30	0	3	25	21	17	1	0	0	0	0	0	0	0	67
07:45	0	0	7	1	17	0	0	0	0	0	0	0	0	25
08:00	0	0	7	7	10	1	0	0	0	0	0	0	0	25
08:15	0	1	9	3	10	2	0	0	0	0	0	0	0	25
08:30	0	0	1	10	10	1	0	0	0	0	0	0	0	22
08:45	0	1	24	21	47	4	0	0	0	0	0	0	0	97
09:00	0	0	5	11	3	0	0	0	0	0	0	0	0	19
09:15	0	0	5	8	15	0	1	0	0	0	0	0	0	29
09:30	0	0	12	2	17	4	1	0	0	0	0	0	0	36
09:45	0	0	3	8	9	6	0	0	0	0	0	0	0	26
10:00	0	0	25	29	44	10	2	0	0	0	0	0	0	110
10:15	0	0	3	5	4	2	0	0	0	0	0	0	0	14
10:30	0	0	1	3	10	6	1	0	0	0	0	0	0	21
10:45	0	0	2	4	6	3	1	0	0	0	0	0	0	16
11:00	0	1	4	4	6	4	0	0	0	0	0	0	0	19
11:15	0	1	10	16	26	15	2	0	0	0	0	0	0	70
11:30	0	0	4	4	6	4	0	0	0	0	0	0	0	18
11:45	0	0	1	0	7	3	0	0	0	0	0	0	0	11
12:00	0	0	2	2	7	2	0	0	0	0	0	0	0	13
12:15	0	0	0	8	8	6	0	0	0	0	0	0	0	22
12:30	0	0	7	14	28	15	0	0	0	0	0	0	0	64
12:45	0	0	4	2	4	2	0	0	0	0	0	0	0	12
13:00	0	0	1	8	5	4	0	0	0	0	0	0	0	18
13:15	0	0	2	4	3	5	0	0	0	0	0	0	0	14
13:30	0	1	0	8	7	3	0	0	0	0	0	0	0	19
13:45	0	1	7	22	19	14	0	0	0	0	0	0	0	63
Total	0	11	116	163	197	64	6	0	0	0	0	0	0	557

**ADT Traffic Services  
3894 Percival Rd  
Orlando, FL 32826**

Site Code: 000002  
Station ID:

Latitude: 0' 0.0000 Undefined

E.B	1	16	21	26	31	36	41	46	51	56	61	66	71	Total
Start Time	15	20	25	30	35	40	45	50	55	60	65	70	9999	
12 PM	0	0	0	6	11	1	0	0	0	0	0	0	0	18
12:15	0	1	0	8	8	5	0	0	0	0	0	0	0	22
12:30	0	1	2	2	8	5	0	0	0	0	0	0	0	18
12:45	0	1	2	7	4	4	0	0	0	0	0	0	0	18
13:00	0	3	4	23	31	15	0	0	0	0	0	0	0	76
13:15	0	0	3	0	5	5	1	0	0	0	0	0	0	14
13:30	0	0	2	6	1	5	1	0	0	0	0	0	0	15
13:45	0	0	1	5	9	1	0	0	0	0	0	0	0	16
14:00	0	0	0	4	4	6	1	0	0	0	0	0	0	15
14:15	0	0	6	15	19	17	3	0	0	0	0	0	0	60
14:30	0	0	1	4	3	6	0	0	0	0	0	0	0	14
14:45	1	1	5	8	1	2	0	0	0	0	0	0	0	18
15:00	0	0	1	3	1	4	1	0	0	0	0	0	0	10
15:15	0	2	2	6	3	11	1	0	0	0	0	0	0	25
15:30	1	3	9	21	8	23	2	0	0	0	0	0	0	67
15:45	0	0	1	6	5	2	1	0	0	0	0	0	0	15
16:00	0	0	1	5	5	8	0	0	0	0	0	0	0	19
16:15	0	0	3	4	10	4	0	0	0	0	0	0	0	21
16:30	0	0	0	4	5	6	0	0	0	0	0	0	0	15
16:45	0	0	5	19	25	20	1	0	0	0	0	0	0	70
17:00	0	0	2	3	4	9	1	0	0	0	0	0	0	19
17:15	0	0	0	4	6	2	2	0	0	0	0	0	0	14
17:30	0	0	2	4	5	6	2	0	0	0	0	0	0	19
17:45	0	0	3	6	2	4	2	0	0	0	0	0	0	17
18:00	0	0	7	17	17	21	7	0	0	0	0	0	0	69
18:15	0	0	5	8	7	9	0	0	0	0	0	0	0	29
18:30	0	0	1	3	1	12	0	0	0	0	0	0	0	17
18:45	0	0	0	9	9	4	0	0	0	0	0	0	0	22
19:00	0	0	0	3	12	8	0	0	0	0	0	0	0	23
19:15	0	0	6	23	29	33	0	0	0	0	0	0	0	91
19:30	0	0	3	5	5	6	0	0	0	0	0	0	0	19
19:45	0	2	3	2	1	0	0	0	0	0	0	0	0	8
20:00	0	0	5	8	2	0	0	0	0	0	0	0	0	15
20:15	0	1	7	12	3	0	0	0	0	0	0	0	0	23
20:30	0	3	18	27	11	6	0	0	0	0	0	0	0	65
20:45	0	0	7	7	1	0	0	0	0	0	0	0	0	15
21:00	0	0	8	4	4	0	0	0	0	0	0	0	0	16
21:15	0	0	6	5	1	0	0	0	0	0	0	0	0	12
21:30	0	0	7	2	4	0	0	0	0	0	0	0	0	13
21:45	0	0	28	18	10	0	0	0	0	0	0	0	0	56
22:00	0	0	3	1	3	0	0	0	0	0	0	0	0	7
22:15	0	0	3	3	5	0	0	0	0	0	0	0	0	11
22:30	0	0	5	1	4	0	0	0	0	0	0	0	0	10
22:45	0	4	5	0	4	0	1	0	0	0	0	0	0	14
23:00	0	4	16	5	16	0	1	0	0	0	0	0	0	42
23:15	0	0	0	2	4	0	0	0	0	0	0	0	0	6
23:30	0	1	5	1	3	0	0	0	0	0	0	0	0	10
23:45	0	0	6	1	0	0	0	0	0	0	0	0	0	7
24:00	0	1	1	0	2	0	0	0	0	0	0	0	0	4
24:15	0	2	12	4	9	0	0	0	0	0	0	0	0	27
24:30	0	1	0	2	2	0	0	0	0	0	0	0	0	5
24:45	0	0	2	2	2	0	0	0	0	0	0	0	0	6
25:00	0	0	1	0	4	1	0	0	0	0	0	0	0	6
25:15	0	0	0	1	3	2	0	0	0	0	0	0	0	6
25:30	0	1	3	5	11	3	0	0	0	0	0	0	0	23
25:45	0	0	0	0	2	3	0	0	0	0	0	0	0	5
26:00	0	0	2	1	1	0	0	0	0	0	0	0	0	4
26:15	0	0	3	1	2	0	0	0	0	0	0	0	0	6
26:30	0	0	0	0	1	1	0	0	0	0	0	0	0	2
26:45	0	0	5	2	6	4	0	0	0	0	0	0	0	17
Total	1	16	119	179	192	142	14	0	0	0	0	0	0	663
Total	1	27	235	342	389	206	20	0	0	0	0	0	0	1220

15th Percentile : 23 MPH  
50th Percentile : 30 MPH  
85th Percentile : 36 MPH  
95th Percentile : 39 MPH

Stats Mean Speed(Average) : 30 MPH  
10 MPH Pace Speed : 26-35 MPH  
Number in Pace : 731  
Percent in Pace : 59.9%

Number of Vehicles > 25 MPH : 957  
Percent of Vehicles > 25 MPH : 78.4%

**ADT Traffic Services**  
**3894 Percival Rd**  
**Orlando, FL 32826**

Site Code: 000002  
 Station ID:

Latitude: 0' 0.0000 Undefined

W.B	1	16	21	26	31	36	41	46	51	56	61	66	71	Total
Start Time	15	20	25	30	35	40	45	50	55	60	65	70	9999	
01/29/25	0	0	0	1	0	0	0	0	0	0	0	0	0	1
00:15	0	0	0	0	1	0	0	0	0	0	0	0	0	1
00:30	0	0	0	0	1	0	0	0	0	0	0	0	0	1
00:45	0	0	0	0	0	1	0	0	0	0	0	0	0	1
01:00	0	0	0	1	2	1	0	0	0	0	0	0	0	4
01:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30	0	0	1	0	0	0	0	0	0	0	0	0	0	1
01:45	0	0	0	0	2	0	0	0	0	0	0	0	0	2
02:00	0	0	0	0	1	0	0	0	0	0	0	0	0	1
02:15	0	0	1	0	3	0	0	0	0	0	0	0	0	4
02:30	0	0	0	0	1	0	0	0	0	0	0	0	0	1
02:45	0	0	0	0	0	1	0	0	0	0	0	0	0	1
03:00	0	0	1	0	3	0	0	0	0	0	0	0	0	4
03:15	0	0	0	0	1	0	0	0	0	0	0	0	0	1
03:30	0	0	1	1	4	3	0	0	0	0	0	0	0	11
03:45	0	0	0	0	1	1	0	0	0	0	0	0	0	2
04:00	0	0	0	1	0	0	0	0	0	0	0	0	0	1
04:15	0	0	0	0	0	2	0	0	0	0	0	0	0	2
04:30	0	0	0	1	1	2	0	0	0	0	0	0	0	4
04:45	0	0	0	2	1	3	0	0	0	0	0	0	0	6
05:00	0	0	0	4	6	5	0	0	0	0	0	0	0	15
05:15	0	0	0	2	5	2	0	0	0	0	0	0	0	9
05:30	0	0	2	4	5	3	0	0	0	0	0	0	0	14
05:45	0	0	2	2	7	5	0	0	0	0	0	0	0	16
06:00	0	1	1	5	6	3	0	0	0	0	0	0	0	16
06:15	0	1	5	13	23	13	0	0	0	0	0	0	0	55
06:30	0	0	8	5	8	5	0	0	0	0	0	0	0	26
06:45	0	0	1	5	10	9	0	0	0	0	0	0	0	25
07:00	0	1	7	8	12	9	0	0	0	0	0	0	0	37
07:15	0	1	0	1	8	1	0	0	0	0	0	0	0	11
07:30	0	2	16	19	38	24	0	0	0	0	0	0	0	99
07:45	0	0	1	1	7	3	0	0	0	0	0	0	0	12
08:00	0	1	3	2	7	5	0	0	0	0	0	0	0	18
08:15	0	1	7	2	17	7	0	0	0	0	0	0	0	34
08:30	3	1	5	10	16	7	0	0	0	0	0	0	0	42
08:45	3	3	16	15	47	22	0	0	0	0	0	0	0	106
09:00	0	1	2	14	4	12	0	0	0	0	0	0	0	33
09:15	0	0	8	5	1	8	0	0	0	0	0	0	0	22
09:30	0	1	2	8	6	8	0	0	0	0	0	0	0	25
09:45	0	2	2	8	5	7	0	0	0	0	0	0	0	24
10:00	0	4	14	35	16	35	0	0	0	0	0	0	0	104
10:15	0	0	4	8	9	2	0	0	0	0	0	0	0	23
10:30	0	0	0	6	4	2	0	0	0	0	0	0	0	12
10:45	0	0	1	3	8	1	0	0	0	0	0	0	0	13
11:00	0	0	4	2	4	2	0	0	0	0	0	0	0	12
11:15	0	0	9	19	25	7	0	0	0	0	0	0	0	60
11:30	0	0	1	5	6	3	0	0	0	0	0	0	0	15
11:45	0	0	2	7	5	4	0	0	0	0	0	0	0	18
Total	5	13	81	138	216	135	0	0	0	0	0	0	0	588

**ADT Traffic Services**  
**3894 Percival Rd**  
**Orlando, FL 32826**

Site Code: 000002  
 Station ID:

Latitude: 0' 0.0000 Undefined

W.B

Start Time	15	16:20	21:25	26:30	31:35	36:40	41:45	46:50	51:55	56:60	61:65	66:70	71:9999	Total
12 PM	0	0	2	3	3	4	0	0	0	0	0	0	0	12
12:15	0	0	0	2	5	4	0	0	0	0	0	0	0	11
12:30	0	0	1	3	5	4	0	0	0	0	0	0	0	13
12:45	0	0	1	8	3	7	0	0	0	0	0	0	0	19
13:00	0	0	4	16	16	19	0	0	0	0	0	0	0	55
13:15	0	2	0	7	4	6	0	0	0	0	0	0	0	19
13:30	0	0	2	1	6	5	0	0	0	0	0	0	0	14
13:30	0	1	2	9	7	8	0	0	0	0	0	0	0	27
13:45	0	0	3	6	7	3	0	0	0	0	0	0	0	19
14:00	0	3	7	23	24	22	0	0	0	0	0	0	0	79
14:00	2	1	2	1	9	4	0	0	0	0	0	0	0	19
14:15	0	1	2	0	7	0	0	0	0	0	0	0	0	10
14:30	0	1	2	5	9	3	0	0	0	0	0	0	0	20
14:45	0	1	5	2	7	6	0	0	0	0	0	0	0	21
15:00	2	4	11	8	32	13	0	0	0	0	0	0	0	70
15:00	0	0	0	4	3	3	0	0	0	0	0	0	0	10
15:15	0	2	5	3	9	9	0	0	0	0	0	0	0	28
15:30	0	0	0	0	8	8	0	0	0	0	0	0	0	16
15:45	0	1	3	2	4	5	0	0	0	0	0	0	0	15
16:00	0	3	8	9	24	25	0	0	0	0	0	0	0	69
16:00	0	0	0	2	6	7	0	0	0	0	0	0	0	15
16:15	0	0	3	3	13	6	0	0	0	0	0	0	0	25
16:30	0	1	3	2	5	2	0	0	0	0	0	0	0	13
16:45	1	2	1	4	5	2	0	0	0	0	0	0	0	15
17:00	1	3	7	11	29	17	0	0	0	0	0	0	0	68
17:00	0	3	4	6	8	6	0	0	0	0	0	0	0	27
17:15	0	1	6	1	8	4	0	0	0	0	0	0	0	20
17:30	0	0	1	6	8	2	0	0	0	0	0	0	0	17
17:45	0	0	0	1	7	6	0	0	0	0	0	0	0	14
18:00	0	4	11	14	31	18	0	0	0	0	0	0	0	78
18:00	0	0	1	1	5	4	0	0	0	0	0	0	0	11
18:15	0	0	1	0	4	5	0	0	0	0	0	0	0	10
18:30	0	0	3	4	10	7	0	0	0	0	0	0	0	24
18:45	1	2	7	2	3	2	0	0	0	0	0	0	0	17
19:00	1	2	12	7	22	18	0	0	0	0	0	0	0	62
19:00	0	0	3	1	3	3	0	0	0	0	0	0	0	10
19:15	0	0	3	7	4	2	0	0	0	0	0	0	0	16
19:30	0	0	1	1	5	2	0	0	0	0	0	0	0	9
19:45	0	0	3	4	10	7	0	0	0	0	0	0	0	24
20:00	0	0	10	13	22	14	0	0	0	0	0	0	0	59
20:00	0	1	9	2	2	1	0	0	0	0	0	0	0	15
20:15	0	0	1	6	2	2	0	0	0	0	0	0	0	11
20:30	0	1	2	2	6	2	0	0	0	0	0	0	0	13
20:45	0	0	1	3	5	2	0	0	0	0	0	0	0	11
21:00	0	2	13	13	15	7	0	0	0	0	0	0	0	50
21:00	1	0	2	6	2	0	0	0	0	0	0	0	0	11
21:15	0	0	3	4	3	2	0	0	0	0	0	0	0	12
21:30	1	1	2	2	1	1	0	0	0	0	0	0	0	8
21:45	0	0	2	0	0	2	0	0	0	0	0	0	0	4
22:00	2	1	9	12	6	5	0	0	0	0	0	0	0	35
22:00	0	1	1	2	2	1	0	0	0	0	0	0	0	7
22:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:30	0	0	3	2	0	0	0	0	0	0	0	0	0	5
22:45	0	0	0	0	1	0	0	0	0	0	0	0	0	1
23:00	0	1	4	4	3	1	0	0	0	0	0	0	0	13
23:00	0	0	0	2	0	1	0	0	0	0	0	0	0	3
23:15	0	0	0	0	2	2	0	0	0	0	0	0	0	4
23:30	0	0	0	3	0	0	0	0	0	0	0	0	0	3
23:45	0	0	0	1	1	0	0	0	0	0	0	0	0	2
Total	6	23	96	136	227	162	0	0	0	0	0	0	0	650
Total	11	36	177	274	443	297	0	0	0	0	0	0	0	1238

15th Percentile : 23 MPH  
 50th Percentile : 31 MPH  
 85th Percentile : 36 MPH  
 95th Percentile : 38 MPH

Stats Mean Speed(Average) : 31 MPH  
 10 MPH Pace Speed : 31-40 MPH  
 Number in Pace : 740  
 Percent in Pace : 59.8%

Number of Vehicles > 25 MPH : 1014

Percent of Vehicles > 25 MPH : 81.9%

**Appendix E**  
Land Use Context Classification

**Table 201.5.1 Design Speed**

Limited Access Facilities (Interstates, Freeways, and Expressways)		
Area	Allowable Range (mph)	SIS Minimum (mph)
Rural and Urban	70	70
Urbanized	50-70	60
Arterials and Collectors		
Context Classification	Allowable Range (mph)	SIS Minimum (mph)
<b>C1</b> Natural	55-70	65
<b>C2</b> Rural	55-70	65
<b>C2T</b> Rural Town	25-45	40
<b>C3</b> Suburban	35-55	50
<b>C4</b> Urban General	25-45	45
<b>C5</b> Urban Center	25-35	35
<b>C6</b> Urban Core	25-30	30
<b>Notes:</b> <ol style="list-style-type: none"> <li>(1) SIS Minimum Design Speed may be reduced to 35 mph for C2T Context Classification when appropriate design elements are included to support the 35-mph speed, such as on-street parking.</li> <li>(2) SIS Minimum Design Speed may be reduced to 45 mph for curbed roadways within C3 Context Classification.</li> <li>(3) For SIS facilities on the State Highway System, a selected Design Speed less than the SIS Minimum Design Speed requires a Design Variation as outlined in <b>SIS Procedure (Topic No. 525-030-260)</b>.</li> <li>(4) For SIS facilities not on the State Highway System, a selected Design Speed less than the SIS Minimum Design Speed may be approved by the District Design Engineer following a review by the District Planning (Intermodal Systems Development) Manager.</li> </ol>		



6501 Magic Way · Building 200 · Orlando, Florida 32809 · (407) 317-3700 · www.ocps.net

**SCHOOL CONCURRENCY DETERMINATION  
CAPACITY ENCUMBRANCE LETTER - REVISED**

January 12, 2022

**VIA E-MAIL: EHUGHES@VHB.COM**

Erika Hughes  
VHB  
225 E. Robinson Street, Suite 300  
Orlando, FL 32801

**ACTION: RECOMMENDATION FOR APPROVAL for Application APK-21-021**

This letter serves as the official Capacity Encumbrance Letter (CEL) on behalf of the City of Apopka by Orange County Public Schools that school capacity for the following development **is available**:

Type of Development Application	<input checked="" type="checkbox"/> Preliminary Plat/ Site Plan/ Functional Equivalent <input type="checkbox"/> Amendment or Extension of CEL		
Development Application #:	TBD		
Project Name:	The Ridge PD		
OCPS Completed Application Date:	October 26, 2021		
Parcel #(s):	17-21-28-0000-00-006; -007; -008; -012; -013; -015; -017; -018; -023; -028; -030; 18-21-28-0000-00-013; -014; -032; -073		
Requested Units (#):	Total: 1,259 SF <2,000: 390      SF 2,000–2,499: 0      SF 2,500-2,999: 0 SF 3,000–3,999: 0      SF >= 4,000: 0      MF: 678      TH: 191		
School Board District:	# 7		

Detailed Capacity Analysis: **Attachment A**

Upon review of the above-named application for School Concurrency Determination, the Department of Facilities Planning of Orange County Public Schools finds this application is approved based on sufficient school capacity at the affected Concurrency Service Areas (CSA) to support the development of 1,259 single family, townhome and multi-family residential units.

This determination expires on **June 13, 2022**. In the event this project does not possess a signed and notarized determination by the expiration date but still intends to move forward in the development process, the Applicant must resubmit the application and application fees, and be reevaluated by OCPS. In addition, should the scope of the project change (e.g., modification of unit count and/or unit type), a new determination will be required.

The following conditions shall apply to the approval of the CEL:

1. This letter must be signed and notarized by the Applicant, and returned to:

Orange County Public Schools  
 Facilities Planning  
 6501 Magic Way, Building 200  
 Orlando Florida 32809

- The Applicant must reserve capacity for the total units in the project in order to formally reserve school concurrency. As of the date of this CEL, the total School Capacity Reservation Fees for this project is \$9,142,488.00, and shall be paid in accordance with the schedule below. Payment must be made using the Capacity Reservation Fee & Mitigation Form in Attachment B of this letter.

<b>CAPACITY RESERVATION FEE SCHEDULE</b>	
1 <sup>st</sup> Installment Due On or Prior to June 13, 2022	\$ 3,047,496.00
2 <sup>nd</sup> Installment Due On or Prior to June 13, 2023	\$ 3,047,496.00
3 <sup>rd</sup> Installment Due On or Prior to June 13, 2024	\$ 3,047,496.00
<b>TOTAL</b>	<b>\$ 9,142,488.00</b>
<b>Capacity reservation fees are NOT impact fees. However, capacity reservation fees should be applied as a credit toward school impact fees at the time of building permit issuance.</b>	

- Notwithstanding the schedule provided by Condition #2, the Applicant may prepay any or all of the Capacity Reservation Fees in advance or as the need arises. Applicant acknowledges and agrees that Applicant may only obtain building permits in direct proportion to the amount of Capacity Reservation Fees paid.
- If Applicant intends to start construction of the Project prior to the due date of the Capacity Reservation Fees, please contact the Department of Facilities Planning to discuss an alternate payment schedule.**
- Upon issuance of this CEL, capacity for the Project will be encumbered for 180 days. Upon request, the CEL can be extended for an additional 180 days. Prior to the CEL expiration date, the owner of the account will be required to reserve the encumbered capacity by remitting the required payment.
- School capacity for the project will be reserved for three years from the date of land use approval as long as payments are made in accordance with the Capacity Reservation Fee Schedule as described above. In the event a Capacity Reservation payment is not made, the reservation will be cancelled and the Applicant will need to re-apply for school concurrency.

This determination is governed by the provisions of the Amended Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency, the provisions of the local government's adopted Comprehensive Plan, the Orange County Charter, and the Florida Statutes.

Please contact me at (407) 317-3700 ext. 2022391 or e-mail me at christopher.mills@ocps.net with any questions.

Sincerely,



Christopher Mills, AICP  
 Administrator, Facilities Planning

VJ/cm

Attachments – Attachment A: Detailed Capacity Analysis  
 Attachment B: Capacity Reservation Fee & Mitigation Form

CC: Bobby Howell, Planner, City of Apopka (via e-mail)  
Jean Sanchez, Planner, City of Apopka (via e-mail)  
Thomas Moore, OCPS (via email)  
Project File

**Acknowledgement of Conditions of Approval**

Applicant acknowledges receipt of this Capacity Encumbrance Letter and agrees to the conditions set forth herein. Applicant also acknowledges that Concurrency is not formally reserved until:

- The conditions specified above are satisfied, and
- The first installment of the Capacity Reservation Fee is paid.

Signed By Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

STATE OF FLORIDA COUNTY OF \_\_\_\_\_ .The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ by \_\_\_\_\_, as \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_, on behalf of the \_\_\_\_\_ . Said person (check one)  is personally known to me or  produced \_\_\_\_\_ as identification.

(Notary Seal)

Printed Name: \_\_\_\_\_  
 Notary Public, State of \_\_\_\_\_  
 Commission No. \_\_\_\_\_  
 Commission expires: \_\_\_\_\_

**Applicant must return a signed and notarized copy of this letter to OCPS Department of Facilities Planning.**





**School Concurrency Determination**

User ID VSJ      December 15, 20 14:26:14

Project ID: **CMA-APK-21-021**      **A**      Valid Until: June 13, 2022

<b>Project Name:</b>		<b>THE RIDGE PD</b>				
Unvested Units	SF <2,000 Sq. Ft. Units	58	SF 3,000-3,999 Sq. Ft. Units	0	Multi Family High Rise Units	0
	SF 2,000-2,499 Sq Ft Units	0	SF >=4,000 Sq. Ft Units	0	Townhome Units	77
	SF 2,500-2,999 Sq Ft Units	0	Multi-Family Units	378	Mobile Home Units	0

<b>Concurrency</b>	School Level	Elementary	Middle	High
	CSA:	BB		
	School:	APOPKA ES	WOLF LAKE MS	WEKIVA HS
	<b>Analysis of Existing Conditions</b>			
	CSA Capacity (2021-2022)	2,001	1,150	2,797
	Enrollment (2021-2022)	1,817	1,411	2,121
	Utilization (2021-2022)	90.8%	122.7%	75.8%
	LOS Standard	110.0%	100.0%	100.0%
	Available Seats	384	0	676
	<b>Analysis of Reserved Capacity</b>			
	Encumbered Capacity	259	186	504
	Reserved Capacity	136	93	77
	Adjusted Utilization	110.5%	147.0%	96.6%
	Adjusted Available Seats	0	0	95
	<b>Analysis of Proposed Development</b>			
	Students Generated	76.479	36.257	45.785
Adjusted Utilization	114.4%	150.1%	98.2%	
AVAILABLE/NOT AVAILABLE	<b>NOT AVAILABLE</b>	<b>NOT AVAILABLE*</b>	<b>AVAILABLE</b>	
Number of Seats to Mitigate	76.479	36.257	0.000	

<b>Adjacency</b>	School Level	Elementary	Middle	High
	CSA:	DD		
	School:	WOLF LAKE ES	PIEDMONT LAKES MS	WEKIVA HS
	<b>Analysis of Existing Conditions</b>			
	School Capacity (2021-2022)	1,638	1,113	2,797
	Enrollment (2021-2022)	973	991	2,121
	Utilization (2021-2022)	59.4%	89.0%	75.8%
	LOS Standard	110.0%	100.0%	100.0%
	Available Seats	829	122	676
	<b>Analysis of Reserved Capacity</b>			
	Encumbered Capacity	392	131	504
	Reserved Capacity	24	2	77
	Adjusted Utilization	84.8%	101.0%	96.6%
	Adjusted Available Seats	413	0	95
	<b>Analysis of Proposed Development</b>			
	Students Generated	76.479	36.257	45.785
Adjusted Utilization	89.5%	104.3%	98.2%	
AVAILABLE/NOT AVAILABLE	<b>AVAILABLE</b>	<b>NOT AVAILABLE*</b>	<b>AVAILABLE</b>	
Number of Seats to Mitigate	0.000	36.257	0.000	

APOPKA ES
WOLF LAKE MS - *AVAILABLE – SCHEDULED FOR RELIEF IN 2022.
WEKIVA HS



**School Concurrency Determination**

User ID VSJ December 15, 20 14:36:24

Project ID: CMA-APK-21 - 021 B Valid Until: June 13, 2022

<b>Project Name:</b>		<b>THE RIDGE PD</b>					
Unvested Units	SF <2,000 Sq. Ft. Units	103	SF 3,000-3,999 Sq. Ft. Units	0	Multi Family High Rise Units	0	
	SF 2,000-2,499 Sq Ft Units	0	SF >=4,000 Sq. Ft Units	0	Townhome Units	52	
	SF 2,500-2,999 Sq Ft Units	0	Multi-Family Units	0	Mobile Home Units	0	

<b>Concurrency</b>	School Level	Elementary	Middle	High
	CSA:	BB		
	School:	APOPKA ES	WOLF LAKE MS	APOPKA HS
	<i>Analysis of Existing Conditions</i>			
	CSA Capacity (2021-2022)	2,001	1,150	3,189
	Enrollment (2021-2022)	1,817	1,411	3,525
	Utilization (2021-2022)	90.8%	122.7%	110.5%
	LOS Standard	110.0%	100.0%	100.0%
	Available Seats	384	0	0
	<i>Analysis of Reserved Capacity</i>			
	Encumbered Capacity	259	186	0
	Reserved Capacity	136	93	82
	Adjusted Utilization	110.5%	147.0%	113.1%
	Adjusted Available Seats	0	0	0
	<i>Analysis of Proposed Development</i>			
	Students Generated	26.506	13.382	18.030
	Adjusted Utilization	111.9%	148.1%	113.7%
	AVAILABLE/NOT AVAILABLE	<b>NOT AVAILABLE</b>	<b>NOT AVAILABLE*</b>	<b>NOT AVAILABLE</b>
Number of Seats to Mitigate	26.506	13.382	18.030	

<b>Adjacency</b>	School Level	Elementary	Middle	High
	CSA:	DD		
	School:	WOLF LAKE ES	PIEDMONT LAKES MS	WEKIVA HS
	<i>Analysis of Existing Conditions</i>			
	School Capacity (2021-2022)	1,638	1,113	2,797
	Enrollment (2021-2022)	973	991	2,121
	Utilization (2021-2022)	59.4%	89.0%	75.8%
	LOS Standard	110.0%	100.0%	100.0%
	Available Seats	829	122	676
	<i>Analysis of Reserved Capacity</i>			
	Encumbered Capacity	441	131	504
	Reserved Capacity	24	2	77
	Adjusted Utilization	87.8%	101.0%	96.6%
	Adjusted Available Seats	364	0	95
	<i>Analysis of Proposed Development</i>			
	Students Generated	26.506	13.382	18.030
	Adjusted Utilization	89.4%	102.2%	97.3%
	AVAILABLE/NOT AVAILABLE	<b>AVAILABLE</b>	<b>NOT AVAILABLE*</b>	<b>AVAILABLE</b>
Number of Seats to Mitigate	0.000	13.382	0.000	

APOPKA ES
WOLF LAKE MS - *AVAILABLE – SCHEDULED FOR RELIEF IN 2022.
APOPKA HS

### Attachment B



6501 Magic Way, Building 200 · Orlando, Florida 32809 · (407) 317-3700 · www.ocps.net

#### CAPACITY RESERVATION FEE & MITIGATION FORM

A Concurrency Mitigation Agreement (CMA) or Capacity Encumbrance Letter (CEL) may require property owners and developers to pay a Capacity Reservation Fee (CRF) and/or Proportionate Share Mitigation at some point in the development process prior to issuance of a building permit. This form must be completed and returned to the Department of Facilities Planning at Orange County Public Schools (OCPS) along with a check for the estimated Capacity Reservation Fees, and/or Proportionate Share Mitigation. This form must be completed and returned to the Department of Facilities Planning at Orange County Public Schools. Any questions regarding this form should be directed to the following:

Contact: Christopher Mills, AICP  
(407) 317-3700 x2022391  
Christopher.Mills@ocps.net

<b>SECTION 1: CMA/CEL INFORMATION</b>	CMA \ CEL #:
	CMA \ CEL Title:
	Jurisdiction:
	Parcel ID(s): <sup>1</sup>
	General Location:
	Development Permit Type: <sup>2</sup>

<b>SECTION 2: APPLICANT INFORMATION</b>	Date:
	Applicant Name:
	Company:
	Address:
	Phone #:
	Email:



**CAPACITY RESERVATION FEE & MITIGATION FORM**

For OCPS Use Only:	
Reviewer : _____  Date Reviewed: _____	Received Stamp
<input type="checkbox"/>	Application Sufficient
<input type="checkbox"/>	Letter of Authorization Approved

**Footnotes:**

1. List all parcel identification numbers assigned to the parcels within the Preliminary Subdivision Plan (PSP), site plan, or plat boundaries that apply to this application. List parcel IDs in a separate attachment, if necessary.
2. Development permit type – state whether the credit will be applied to a plat, PSP, site plan, or other type of permit required by local government. Only one development permit type should apply. A separate Prepaid School Impact Fee Form must be completed for each development permit application.
3. State the title of the PSP, site plan or plat exactly as it appears on that document.
4. Multi-Family High Rise rate is effective June 22, 2021.

After recording return to:

Christopher C. Mills, AICP  
Orange County Public Schools  
6501 Magic Way, Building 200  
Orlando, Florida 32809

-----[SPACE ABOVE THIS LINE FOR RECORDING DATA]-----

**SECOND AMENDMENT TO  
SCHOOL CONCURRENCY  
MITIGATION AGREEMENT  
APK-21-021-A2  
THE RIDGE PD**

**PARCEL IDs#: 17-21-28-0000-00-006; 17-21-28-0000-00-007; 17-21-28-0000-00-017; 17-21-28-0000-00-018; 17-21-28-0000-00-023; 17-21-28-0000-00-030; 17-21-28-0000-00-031; 18-21-28-0000-00-013; 18-21-28-0000-00-014; 18-21-28-0000-00-103**

**THIS SECOND AMENDMENT TO SCHOOL CONCURRENCY MITIGATION AGREEMENT** (“Second Amendment”), is entered into as of the Effective Date (as defined below) by **THE SCHOOL BOARD OF ORANGE COUNTY, FLORIDA** a body corporate and political subdivision of the State of Florida, (“School Board”); **CITY OF APOPKA**, a municipal corporation of the State of Florida, (“City”); and **APOPKA CENTERLINE DEVELOPMENT, LLC**, a Florida limited liability company, whose address is 15481 SW 12<sup>th</sup> Street, Suite 309, Sunrise, FL 33326; **DRP FL 5, LLC**, a Delaware limited liability company (“DRP”) licensed to do business in Florida, whose address is c/o DW Partners, LP, 590 Madison Avenue, 13<sup>th</sup> Floor, New York, NY 10022; and **AG EHC II (LEN) MULTI STATE 1, LLC**, a Delaware limited liability company (“AG”) licensed to do business in Florida, whose address is c/o Essential Housing Asset Management, LLC, 8585 E. Hartford Drive, Suite 118, Scottsdale, AZ 85255 (collectively, the “Applicants”). The School Board, the City and the Applicants are collectively referred to herein as the “Parties.”

**RECITALS:**

WHEREAS, the School Board and Applicants entered into that certain School Concurrency Mitigation Agreement (APK-21-021) dated effective on September 13, 2022, and recorded on October 7, 2022, as Document #20220608957, as amended by that certain First Amendment to School Concurrency Mitigation Agreement (APK-21-021-A1) dated effective March 23, 2023, and recorded on April 6, 2023, as Document #20230193113, all in the Public Records of Orange County, Florida (collectively, the “Agreement”); and

WHEREAS, the First Amendment resulted in an extension of the above referenced agreement by 6 months and 60 days; and

WHEREAS, Governor DeSantis declared a State of Emergency on November 7, 2022, under Executive Order No. 22-253, declaring a State of Emergency due to the threat posed by

Subtropical Storm Nicole (referred to as the "Nicole EO"). On August 29, 2023, Governor DeSantis declared a State of Emergency due to Hurricane Idalia under Executive Order number 23-175 (referred to as the "Idalia EO"; the Nicole EO and the Idalia EO are sometimes hereinafter collectively referred to as the "Executive Orders"); and

WHEREAS, Section 252.363(1)(a), Florida Statutes, provides that in the event the Governor declares a state of emergency, the declaration tolls the period remaining under a permit or development order for the duration of the declaration and extends the permit or development order for an additional six-month period; and

WHEREAS, Senate Bill 250 amended Section 252.363(1)(a) to allow for an extension of twenty-four months, instead of six months, plus the length of time the state of emergency for a natural disaster is in effect, not to exceed forty-one (41) months and 305 days in total in the event of multiple natural emergencies; and

WHEREAS, the Executive Orders result in an extension of the above-referenced Agreement by a total of forty-one (41) months and 305 days; and

WHEREAS, the Parties desire to amend and modify the terms of the Agreement in accordance with the terms and conditions set forth herein and Section 16 of the Agreement.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. Recitals; Definitions. The foregoing recitals are true and correct and are incorporated herein by reference. Capitalized terms not otherwise defined herein shall have the meaning set forth in the Agreement.
2. Capacity Reservation Fee. The Parties agree and acknowledge that the payment schedule for the 2<sup>nd</sup> Installment of the School Capacity Reservation Fee, and each subsequent installment, as set forth in Section 9 of the Agreement, shall be extended for an additional forty-one (41) months and 305 days.
3. Recording of this Second Amendment. The School Board agrees to record this Second Amendment, at Applicants' expense, in the Public Records of Orange County, Florida.
4. Effective Date. The effective date of this Second Amendment shall be the date when the last one of the Parties has properly executed this Second Amendment as determined by the date set forth immediately below their respective signatures (the "Effective Date").

*[SIGNATURE PAGES TO FOLLOW]*




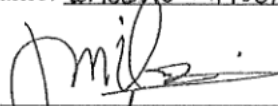
“APPLICANTS”

Signed and sealed in the presence of:

APOPKA CENTERLINE DEVELOPMENT, LLC, a Florida limited liability company

  
Print Name: ERNESTO MITSUMARU

By: 

  
Print Name: Jose R. Mils

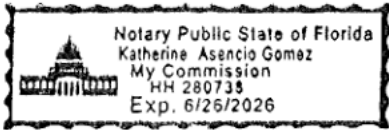
Print Name: Craig Perry

Title: Manager

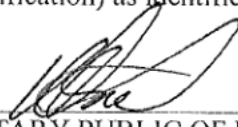
Date: 8/22/2024

STATE OF FLORIDA     )  
  ) s.s.:  
COUNTY OF ORANGE    )

The foregoing instrument was acknowledged before me by means of  physical presence or [ ] online this 22 day of August, 2024, by Craig Perry as Manager of APOPKA CENTERLINE DEVELOPMENT, LLC, on behalf of the organization. He/she is personally known to me or has produced (type of identification) as identification.



AFFIX NOTARY STAMP

  
NOTARY PUBLIC OF FLORIDA  
Print Name: Katherine Asencio Gomez  
Commission No.: HH 280738  
Expires: 6/26/2026

“APPLICANTS”

Signed and sealed in the presence of:

AG EHC II (LEN) MULTI STATE 1, LLC,  
a Delaware limited liability company

[Signature]  
Signature of Witness

By: Essential Housing Asset Management,  
LLC, an Arizona limited liability company, its  
Authorized Agent

Jeune He Lakavage  
Print Name

By: Wendy Stoeckel  
Wendy Stoeckel, Authorized Representative

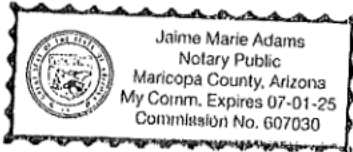
[Signature]  
Signature of Witness

Date: 8/23/24

Jeff Benson  
Print Name

STATE OF ARIZONA     )  
  ) s.s.:  
COUNTY OF MARICOPA )

The foregoing instrument was acknowledged before me by means of [] physical presence or [] online this 23 day of August, 2024, by Wendy Stoeckel as Authorized Representative of Essential Housing Asset Management, LLC, Authorized Agent of AG EHC II (LEN) MULTI STATE 1, LLC, a Delaware limited liability company, for and on behalf of the organization. He/she is personally known to me or has produced \_\_\_\_\_ (type of identification) as identification.



[Signature]  
NOTARY PUBLIC OF ARIZONA

Print Name: Jaime Marie Adams

Commission No.: 607030

Expires: 07/01/2025

AFFIX NOTARY STAMP

“APPLICANTS”

Signed and sealed in the presence of:

**DRP FL 5, LLC**, a Delaware limited liability company

Josephine Cimino  
Signature of Witness

By: DW General Partner, LLC, a Delaware limited liability company, its Authorized Signatory

Josephine Cimino  
Print Name

By: Houdin Honarvar  
Houdin Honarvar, its Authorized Signatory

Address: 590 Madison Ave 13<sup>th</sup> Fl  
New York, NY 10022

Date: September 18, 2024

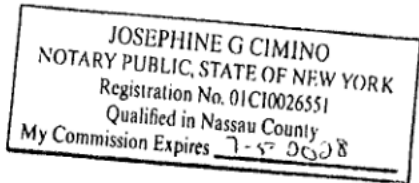
John D. Mackin  
Signature of Witness

John D. Mackin  
Print Name

Address: 590 Madison Ave 13<sup>th</sup> Fl  
New York, NY 10022

STATE OF NEW YORK    )  
  ) s.s.:  
COUNTY OF NEW YORK )

The foregoing instrument was acknowledged before me by means of  physical presence or  online this 18<sup>th</sup> day of September, 2024, by Houdin Honarvar as Authorized Signatory of **DRP FL 5, LLC**, a Delaware limited liability company, for and on behalf of the organization.  He/she is personally known to me or has produced \_\_\_\_\_ (type of identification) as identification.



Josephine G. Cimino  
NOTARY PUBLIC OF NEW YORK

Print Name: Josephine G Cimino

Commission No.: 01C10026551

Expires: 7-5-2028

AFFIX NOTARY STAMP

“CITY”

CITY OF APOPKA, FLORIDA, a municipal corporation of the State of Florida

By: Bryan Nelson  
Bryan Nelson, Mayor, City of Apopka

Date: 9-23-24

ATTEST:

By: Risa M Bone  
City Clerk

Date: 09-23-24

{Corporate Seal}



JOINDER OF TOLL SOUTHEAST LP COMPANY, INC.

Toll Southeast LP Company, Inc., who has entered into an option agreement to purchase lots within the DRP Property, hereby joins in the execution of this Second Amendment for the express purposes of: (i) agreeing to be bound by the provision of the Agreement, as amended by the Second Amendment, with respect to the payment of the portion of the Proportionate Share payment and Capacity Reservation Fees allocated to the DRP Property; and (ii) acknowledging its status and rights as a third-party beneficiary of the Agreement, as amended by this Second Amendment.

Signed and sealed in the presence of:

TOLL SOUTHEAST LP COMPANY, INC., a Delaware corporation

Johanna Bass  
Signature of Witness

By: Mark McIntosh

Johanna Bass  
Print Name

Print Name: MARK MCINTOSH

Address: 2966 Commerce Park Dr  
Orlando FL 32819

Title: VP. LAND Development

[Signature]  
Signature of Witness

Date: 9/18/24

Glenda Toro  
Print Name

Address: 2966 Commerce Park Drive  
Orlando FL 32819

STATE OF FLORIDA     )  
  ) s.s.:  
COUNTY OF ORANGE    )

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 18 day of September, 2024, by Mark McIntosh as Vice President of Toll Southeast Company, Inc., a Delaware corporation, for and on behalf of the corporation.  he/she is personally known to me or has produced \_\_\_\_\_ (type of identification) as identification.



AFFIX NOTARY STAMP

Johanna Bass  
NOTARY PUBLIC OF FLORIDA  
Print Name: Johanna Bass  
Commission No.: HH 513640  
Expires: 4/9/28





# City of Apopka CITY COMMISSION STAFF REPORT

**Section:** PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

**Item #:** 1.

**Meeting Date:** July 1, 2026

**Department:** Community Development

**SUBJECT:**

**Ordinance No. 3158 - First Reading - Legislative - Small-Scale Future Land Use Amendment – 4410 Chandler Road and 4420 Chandler Road**

**ACTION ITEM INFORMATION:**

Owner(s): Richard Chandler

Applicant: Camila Neira

Parcel Identification Number(s): 18-20-28-0000-00-030, 18-20-28-0000-00-063

Location: 4410 Chandler Road, 4420 Chandler Road

Existing Future Land Use: Residential Very Low Suburban

Proposed Future Land Use: Office

Existing Use(s): Residential

Existing Zoning: RSF-1A (Residential Single-Family-Estate)

Proposed Zoning: O (Office)

Tract Size: 5.12 +/- Acres

Proposed Use: Child care facility

Project Manager: Jun Sohn, Ph.D.

**REQUEST:**

Accept First Reading of Ordinance No. 3158 and hold it over for Second Reading and Adoption.

**SUMMARY:**

Owner(s): Richard Chandler

Applicant: Camila Neira

Parcel Identification Number(s): 18-20-28-0000-00-030, 18-20-28-0000-00-063

Location: 4410 Chandler Road, 4420 Chandler Road

Existing Future Land Use: Residential Very Low Suburban

Proposed Future Land Use: Office

Existing Use(s): Residential

Existing Zoning: RSF-1A (Residential Single-Family-Estate)

Proposed Zoning: O (Office)

Tract Size: 5.12 +/- Acres

Proposed Use: Child care facility

Direction	Future Land Use	Zoning	Present Use
North	Residential Very Low Suburban	PD	Residential
East	Residential Estate	PD	Residential

<b>South</b>	Residential Very Low Suburban	RSF-1B	Residential
<b>West</b>	Residential Very Low Suburban	RSF-1A	Residential

**PROJECT SUMMARY:**

The subject properties, which are approximately 5.12 acres in size, are located at 4410 Chandler Road and 4420 Chandler Road. The current use is residential.

The applicant is requesting an amendment to the properties future land use for the new development of a child care facility to be consistent with the Comprehensive Plan and Land Development Code. Per the Apopka Comprehensive Plan, Policy 3.1.j. primary uses of land use designation of Office shall be business and professional offices or institutional uses. Per the Apopka Land Development Code (LDC), Table 4.2.2.C. Principal Use Table, the child care facility is under the category of Public, Civic, and Institutional Uses, and it is permitted in the Office zoning district with a Special Exception. Therefore, the requested future land use of Office will be compatible with the proposed use of the child care facility on the subject properties.

A Special Exception for the Child Care Facility use was approved on July 24, 2025, by the Planning Commission Board, with the current land use and zoning of Residential Very Low Suburban and RSF-1A. After approval of the Special Exception, the applicant has submitted a Site Plan for a maximum student capacity of 275 students, and, per the applicant, this is the number of students that meets Florida Statute requirements.

During the site plan review process, staff indicated to the applicant that Land Development Code (LDC) Section 4.2.3.D.2.b.7,(c) states the maximum number of children to attend the facility shall be limited in residential zoning districts by the number of persons per household, as projected in the Apopka Comprehensive Plan and the maximum number of dwellings per acre permitted in the Future Land Use District in which the proposed site is located. Per the 2030 Comprehensive Plan, Table 2-1 Population projections, the total population in 2030 is projected at 125,538. Per the 2030 Comprehensive Plan, Table 2-19 Population projections, Estimated and Projected Households by Size, the total households in 2030 are projected at 44,193. Therefore, the number of persons per household is approximately 2.84 (125,538 ÷ 44,193).

With the existing Future Land Use designation of Residential Very Low Suburban allowing a maximum density of 2 dwelling units per acre for a property of 5.12 acres, the maximum student capacity is 29 students (2.84 persons per household \* 5.12 acres \* 2 dwelling units per acre = 29.08).

Upon notification of this requirement to the applicant, it was noted that changing the future land use and zoning of the subject properties from residential to Office would remove the maximum student capacity as that is not applicable in the Office future land use and zoning categories, if approved. The K-8 school located to the north of the subject parcels on Jason Dwelley Parkway has a zoning of Office and a future land use designation of Institutional/Public Use as Policy 3.1.p of the future land use element of the Comprehensive Plan only permits public buildings and facilities to have a Institutional/Public Use future land use designation. If the change of future land use and rezoning are approved, the applicant is required to obtain approval for a new Special Exception permit from the Planning Commission within the Office zoning district of the properties. If the change of future land use and zoning to Office is not approved, the maximum student restriction will remain on the property in accordance with LDC Section 4.2.3.D.2.b.7,(c).

**TABLE 2- 1: POPULATION PROJECTIONS, 2010-2030**

Year	Permanent and Institutional Population	Seasonal Population*	Total Population
2010	41,382**	601	41,983
2015	56,138	815	56,953
2020	73,226	1,063	74,289
2025	97,330	1,413	98,743
2030	123,741	1,797	125,538

\* Seasonal population based on 2000 Census percentage of seasonal units (.0013%)

\*\*2010 estimate calculated based on building permits issued between 4/1/09 and 3/31/10.

Source: U.S. Census 2000; City of Apopka, 2010

**TABLE 2- 19: ESTIMATED AND PROJECTED HOUSEHOLDS BY SIZE, 2000-2030**

Household Size	2000		2010		2015		2020		2025		2030	
	# Units	% of Total	# Units	% of Total	# Units	% of Total	# Units	% of Total	# Units	% of Total	# Units	% of Total
1-2 Persons	5,083	53	7,833	53	10,626	53	13,861	53	18,423	53%	23,422	53
3-4 Persons	3,348	35	5,173	35	7,017	35	9,153	35	12,166	35%	15,468	34
5 or more Persons	1,188	12	1,774	12	2,406	12	3,138	12	4,171	12%	5,303	13
<b>Total Households</b>	<b>9,619</b>	<b>100</b>	<b>14,779</b>	<b>100</b>	<b>20,049</b>	<b>100</b>	<b>26,152</b>	<b>100</b>	<b>34,761</b>	<b>100</b>	<b>44,193</b>	<b>100</b>

Source: Shimberg Center for Affordable Housing, 2006; Land Design Innovations (projections).

Land Development Code Section 2.5.1.D.3 requires the Commission to weigh the relevance of and consider whether and the extent to which the proposed amendment:

- a. Is consistent with and furthers the goals, objectives and policies of the comprehensive plan and other adopted City plans;
  - Applicant’s response: The proposed Future Land Use amendment supports the goals and objectives of the City’s Comprehensive Plan by allowing development that provides a needed community service while maintaining compatibility with surrounding uses. The proposed daycare facility will support local families and promote access to early childhood education. The request also supports orderly growth by allowing an institutional use that is consistent with nearby educational and office uses.
  - Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use. Similar uses are found in the surrounding area.
  
- b. Is in conflict with any provisions of the LDC;
  - Applicant’s response: The proposed amendment is not in conflict with the City’s Land Development Code. Any future development of the site will comply with all applicable requirements of the Land Development Code, including site development standards, buffering, landscaping, parking, access, and stormwater management regulations.
  - Staff response: Staff has no objection. Development plans will be required to be consistent with the Comprehensive Plan and Land Development Code.

c. Addresses a demonstrated community need;

- Applicant's response: The amendment addresses a demonstrated need for childcare services within the community. As the population in the area continues to grow, access to quality daycare and early childhood education facilities becomes increasingly important for working families. The proposed daycare will provide a valuable service to nearby residents and families associated with the neighboring school.
- Staff response: Staff has no objection.

d. Is required by changed conditions;

- Applicant's response: Changed conditions in the surrounding area support the requested amendment. The subject property is located adjacent to an existing school that is already zoned for office or institutional use. Over time, the area has evolved to include educational and community-oriented services. The proposed amendment reflects this transition and allows the property to be used in a manner compatible with surrounding development.
- Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use. Similar uses are found in the surrounding area.

e. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;

- Applicant's response: The proposed use is compatible with surrounding development. The property is located next to an existing school and other institutional or office-type uses, making the Office designation appropriate for the site. A daycare facility is a low-intensity use that operates primarily during daytime hours and complements the educational character of the surrounding area.
- Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use. Similar uses are found in the surrounding area.

f. Would result in a logical and orderly development pattern;

- Applicant's response: Approving this amendment would create a logical and orderly development pattern by aligning the land use designation with nearby properties that already support institutional and office uses. The proposed daycare facility represents a transitional use that fits well between residential areas and existing educational facilities.
- Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use. Similar uses are found in the surrounding area.

g. Would not result in significant adverse impacts on the natural environment—including, but not limited to, water, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and

- Applicant's response: The proposed development is not expected to result in significant adverse environmental impacts. The project will comply with all applicable environmental regulations and City development standards related to stormwater management, drainage, landscaping, and environmental protection. As a low-intensity use, a daycare facility is not expected to generate substantial noise, emissions, or environmental disturbance. Operational hours are Monday thru Friday from 6AM to 6:30 PM.
- Staff response: Staff has no objection.

h. Would result in development that is adequately served by public facilities (e.g., streets, potable water, sewerage, stormwater management, solid waste collection and disposal, schools, parks, police, and fire and emergency medical facilities).

- Applicant's response: The property is located in an area that is already served by existing public infrastructure and municipal services. The proposed development will have access to existing streets and will connect to available potable water, sanitary sewer, and stormwater management

systems in accordance with City requirements. The site is also served by existing public services including solid waste collection, police, fire, and emergency medical services, ensuring that the development can be adequately supported by public facilities.

- Staff response: Staff has no objection.

**SCHOOL CAPACITY REPORT:**

Not applicable.

**ORANGE COUNTY NOTIFICATION:**

The JPA (Joint Planning Agreement) requires the City to notify the County 30 days before any public hearing or advisory board. The City notified Orange County on March 12, 2026.

**PUBLIC HEARING SCHEDULE:**

June 9, 2026 – Planning Commission (5:30 P.M.)  
 July 1, 2026 – City Commission (1:30 P.M., First Reading)  
 July 15, 2026 – City Commission (6:00 P.M.), Second Reading and Adoption

**DULY ADVERTISED:**

May 29, 2026 – Apopka Chief  
 May 26, 2026 – Mailed notices to adjacent property owners  
 April 20, 2026 – Posters placed on property

**LAND USE REPORT:**

**Relationship of adjacent properties**

Direction	Future Land Use	Zoning	Present Use
North	Residential Very Low Suburban	PD	Residential
East	Residential Estate	PD	Residential
South	Residential Very Low Suburban	RSF-1B	Residential
West	Residential Very Low Suburban	RSF-1A	Residential

**II. Land Use Analysis**

The subject properties are located in the Joint Planning Area. The properties are surrounded by Residential Estate with a maximum of 1 dwelling unit per acre, Residential Very Low Suburban, with a maximum density of 2 dwelling units per acre. In addition, Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, with an Institutional/ Public Use land use designation, which makes the land uses of 4410 and 4420 Chandler Road compatible to the proposed Office land use.

The properties are approximately 5.12 acres in size and are located in one of the following areas:

- Wekiva Parkway Interchange Plan Area: No
- Wekiva River Protection Area: No
- Area of Critical State Concern: No

**JPA:** The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The proposed Small-Scale Future Land Use Amendment request for a change from Mixed Use and Commercial to Industrial is consistent with the terms of the JPA (Second Amendment).

**City of Apopka Comprehensive Plan Policies:**

**Future Land Use Element:**

Policy 3.1.j

Office

Primary uses shall be for business and professional offices or institutional land uses with a maximum floor area ratio of .30 gross floor area. Public facilities or utilities of less than five acres shall also be primary uses.

**Transportation Element:** Policies 1.1 and 1.2 state that the City of Apopka is a Transportation Concurrency Exception Area.

**Infrastructure Element:** Policies 1.1.1, 2.1.1 and 5.1.2 state the minimum levels of service for the City's wastewater and water systems as well as the City's solid waste collection service.

**Conservation Element:** A habitat study will not be required as the development is less than ten (10) acres.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

**FUNDING SOURCE:**

Not applicable.

**RECOMMENDED MOTION:**

**Development Review Committee (DRC):**

On April 1, 2026, the Development Review Committee (DRC) recommended approval of the change in Future Land Use designation from Residential Very Low Suburban to Office, finding the proposed amendment consistent with the Comprehensive Plan and Land Development Code, and compatible with the character of the surrounding areas, based on the findings and facts presented in the staff report and exhibits.

**Planning Commission:**

On June 9, 2026, the Planning Commission unanimously recommended denial of Ordinance No. 3158, the proposed Change of Future Land Use designation from Residential Very Low Suburban to Office, due to concerns of future office uses not being compatible with the surrounding area in the event the proposed child care facility was not constructed on the property.

**Recommended Motion – City Commission:**

Accept First Reading of Ordinance No. 3158 and hold it over for Second Reading and Adoption.

**Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

**ATTACHMENTS:**

1. Ordinance Number 3158
2. Map Series
3. Community Meeting Summary
4. Concept Site Plan
5. Concept Elevation
6. Advertisement May 29

1  
2  
3 **ORDINANCE NO. 3158**

4 **AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING**  
5 **THE FUTURE LAND USE ELEMENT OF THE APOPKA**  
6 **COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE**  
7 **FUTURE LAND USE DESIGNATION FROM RESIDENTIAL VERY LOW**  
8 **SUBURBAN TO OFFICE FOR PROPERTIES LOCATED AT 4410**  
9 **CHANDLER ROAD AND 4420 CHANDLER ROAD; OWNED BY**  
10 **RICHARD CHANDLER, COMPRISING 5.12 ACRES MORE OR LESS;**  
11 **PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE**  
12 **DATE.**

13 **WHEREAS**, the City Commission of the City of Apopka adopted the City's  
14 Comprehensive Plan by Ordinance No. 653 on October 2, 1991, in accordance with the laws of  
15 the State of Florida; and

16  
17 **WHEREAS**, the City of Apopka is committed to planning and managing the future growth  
18 and development of the City; and

19  
20 **WHEREAS**, the City Commission of the City of Apopka has the authority to amend its  
21 Comprehensive Plan pursuant to Chapter 163, *Florida Statutes*; and

22  
23 **WHEREAS**, the City of Apopka Planning Commission held a public hearing on June 9,  
24 2026, to consider this small-scale amendment to the Future Land Use Map of the Comprehensive  
25 Plan and determined that this amendment is internally consistent with the City's Comprehensive  
26 Plan; and

27  
28 **WHEREAS**, the City Commission of the City of Apopka held public hearings to consider  
29 this amendment, with due public notice having been provided, to obtain public comment, and  
30 considered all written and oral comments received during public hearings, including support  
31 documents; and

32  
33 **WHEREAS**, the City of Apopka has complied with all requirements and procedures of  
34 Florida law in processing this small-scale amendment to the City's Comprehensive Plan; and

35  
36 **WHEREAS**, the City Commission of the City of Apopka hereby finds and determines that  
37 this amendment is internally consistent with the City's Comprehensive Plan.

38  
39 **NOW THEREFORE, BE IT ORDAINED**, by the City Commission of the City of  
40 Apopka, Florida, as follows:

41  
42 **Section I. Purpose and Intent.** This Ordinance is enacted to carry out the purpose and  
43 intent of, and exercise the authority set out in, the Community Planning Act. The City of Apopka  
44 has complied with all requirements of Florida Law in processing this ordinance. The recitals set

**ORDINANCE NO. 3158**

**PAGE 2**

1 forth above recitals are hereby adopted.

2

3 **Section II. Future Land Use Map Amendment.** Page 1-32 (Map 1-6) of the Future Land  
4 Use Element of the City of Apopka Comprehensive Plan, is hereby amended to change the land  
5 use from Residential Very Low Suburban to Office for certain real property generally located West  
6 of Jason Dwelley Parkway and South of White Dahlia Drive, comprising 5.12 acres more or less;  
7 as shown and further described in Exhibit "A" attached hereto.

8

9 **Section III. Applicability and Effect.** The applicability and effect of the City of Apopka  
10 Comprehensive Plan shall be as provided by the Community Planning Act as set forth in Chapter  
11 163, *Florida Statutes*.

12

13 **Section IV. Severability.** If any provision or portion of this Ordinance is declared by any  
14 court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining  
15 provisions and portions of this Ordinance shall remain in full force and effect.

16

17 **Section V. Conflicts.** All Ordinances or parts of Ordinances in conflict with any of the  
18 provisions of this Ordinance are hereby repealed.

19

20 **Section VI. Effective Date.** This Ordinance shall become effective thirty-one (31) days  
21 after adoption. If challenged within thirty (30) days after adoption, the Ordinance shall become  
22 effective after the state land planning agency or the Administration Commission, respectively,  
23 issues a final order determining that the adopted small-scale development amendment is in  
24 compliance with applicable law.

25

26 ADOPTED at a regular meeting of the City Commission of the City of Apopka, Florida,  
27 this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

28

29 READ FIRST TIME: July 1, 2026

30

31 READ SECOND TIME AND  
32 ADOPTED: \_\_\_\_\_

33 ATTEST:

34

35

36

37 \_\_\_\_\_  
Susan Bone, City Clerk

\_\_\_\_\_   
Nicholas L. Nesta III, Mayor

38

39 Approved as to form and legal sufficiency:

40

41

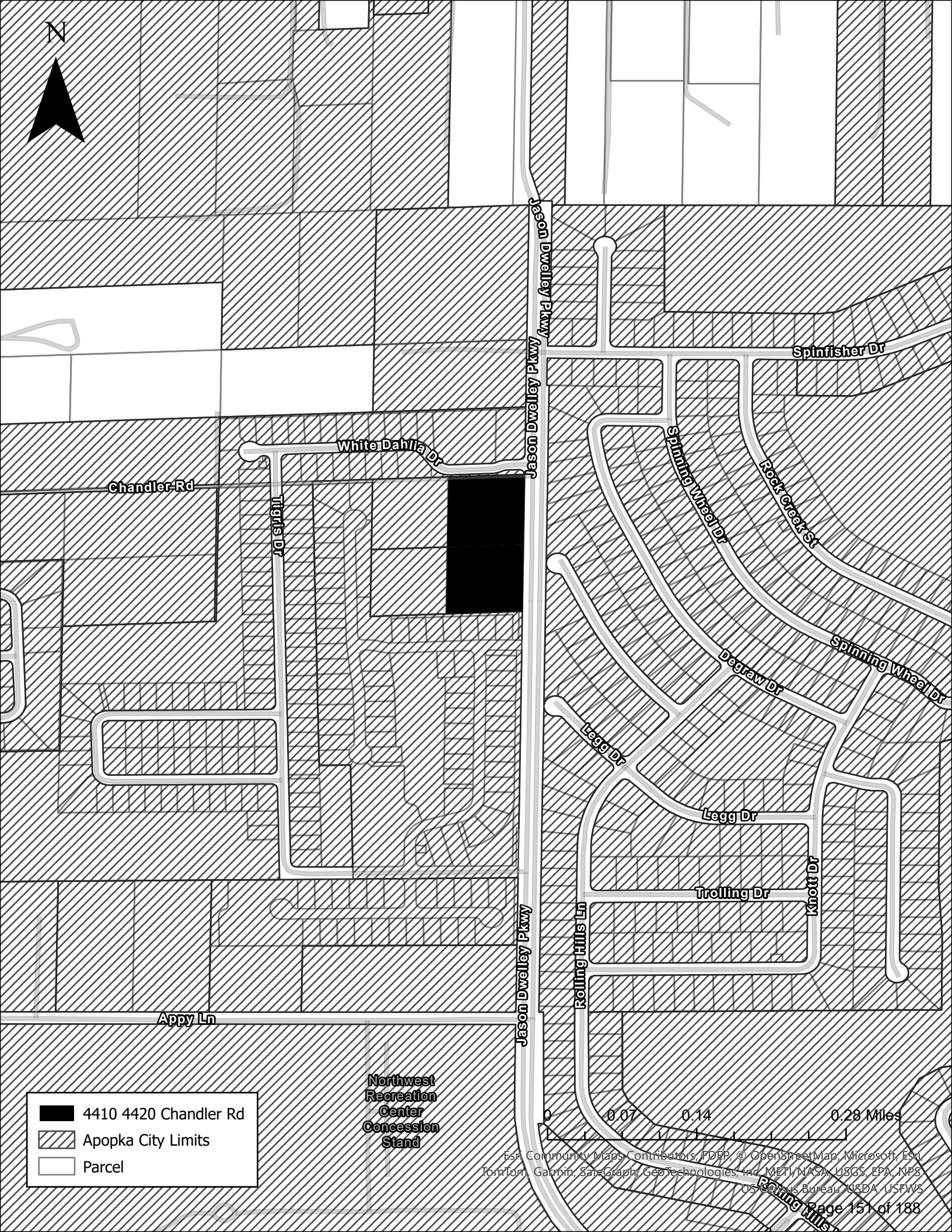
42




43 \_\_\_\_\_  
Clifford B. Shepard, City Attorney

44

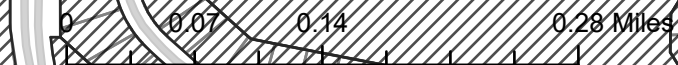
45 DULY ADVERTISED FOR PUBLIC HEARING: May 29, 2026





-  4410 4420 Chandler Rd
-  Apopka City Limits
-  Parcel

Northwest  
Recreation  
Center  
Concession  
Stand



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Chandler Rd

White Dahlia Dr

Tigris Dr

Jason Dweley Pkwy

Spinfisher Dr

Spinning Wheel Dr

Rock Creek St

Spinning Wheel Dr

Degraw Dr

Legg Dr

Legg Dr

Trolling Dr

Knott Dr


Appy Ln


Jason Dweley Pkwy

Rolling Hills Ln

Northwest  
Recreation  
Center  
Concession  
Stand



 4410 4420 Chandler Rd

 Parcel



4410 4420 Chandler Rd

Parcel

### Apopka Future Land Use

-  AG
-  AG-E
-  AG-HOME
-  COMM
-  CONSV
-  FLU-IP
-  HDR-25
-  IND
-  INST\_PU
-  MU
-  OFF
-  PR
-  RE
-  RH
-  RL
-  RLS
-  RM
-  RML
-  RS
-  RVLS

Northwest  
Recreation  
Center  
Concession  
Stand

0 0.07 0.14 0.28 Miles

Esri Community Maps Contributors, FDEP, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

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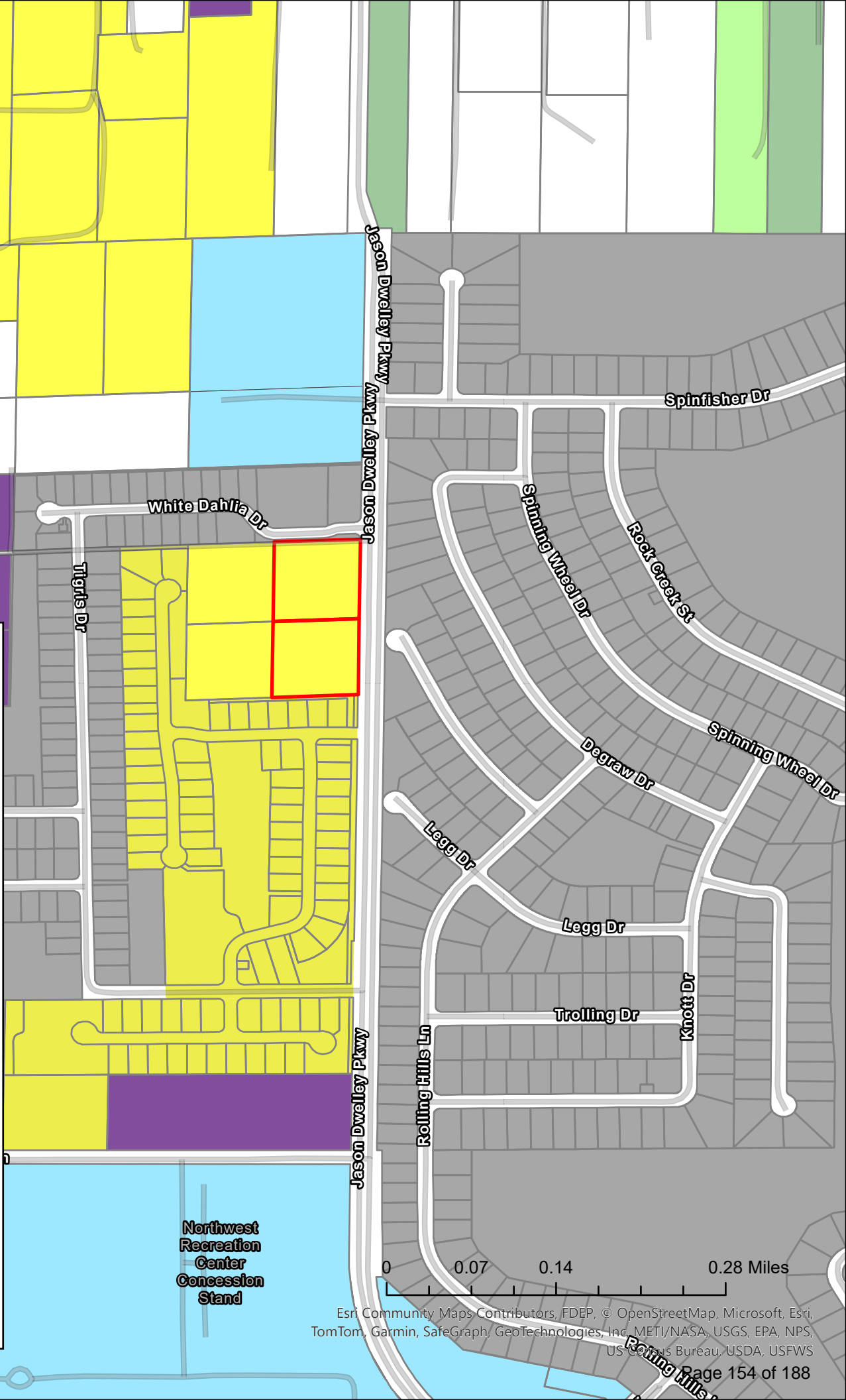


**4410 4420 Chandler Rd**

Parcel

**Apopka Zoning**

- AG
- AIR
- C-C
- C-COR
- C-N
- C-R
- I-H
- I-L
- INST
- MHP
- MU-D
- MU-ES-GT
- MU-INT
- MU-MED
- MU-N
- MU-T
- MU-VC
- O
- PD
- PR
- RCE
- RMF
- RSF-1A
- RSF-1B
- RTF
- T



**Joy Child Academy**  
4410 & 4420 Chandler Road  
Apopka, FL 32712

**Community Meeting Summary**  
**Special Exception Application**  
**Meeting Date:** September 18, 2025  
**Time:** 6:30 p.m. – 7:00 p.m.  
**Location:** Kelly Park School, Room 125

### **Project Information**

The community meeting was held to discuss the proposed rezoning and special exception request for the properties located at **4410 & 4420 Chandler Road**, identified by parcel numbers **18-20-28-0000-00-030 (2.62 acres ±)** and **18-20-28-0000-00-063 (2.50 acres ±)**.

The meeting was hosted by **Camila Neira** on behalf of the property owner and contract purchaser.

### **Meeting Attendance**

The following individuals attended the meeting:  
**Rick Chandler, Mark Arnold, Joanna Walrsh, Adam Walrsh, Danielle Devinicer, Tim, Chris Thomas, April Thomas, Jose Neira, Latife Neira, Joaquin Carvajal, Bobby Sanders, and Jessica Sanders.**

A sign-in sheet was provided during this second community meeting. No other notified members of the community attended.

### **Project Overview**

The proposed development consists of a **15,000-square-foot daycare facility** to be operated as **Joy Child Academy**, an early childhood education center designed to serve approximately **280 children**.

The project aims to meet the needs of the growing Apopka community by providing a safe, nurturing, and educational environment for young children.

### **Presentation Summary**

During the meeting, a **conceptual site plan and building elevations** were presented. Key design and operational elements discussed included:

- A single **right-in/right-out driveway** along **Jason Dwelley Parkway**.
- **On-site circulation** designed to maximize stacking and minimize off-site queuing.
- Daycare operations differ from schools; **drop-off and pick-up occur throughout the day**, requiring parents to park and walk children inside.

- **Tree preservation** efforts to maintain natural features on site.
- **Child-focused building design** prioritizing safety, visibility, and natural light.
- **Dedicated indoor and outdoor spaces** supporting play, learning, and family engagement.

### **Community Feedback**

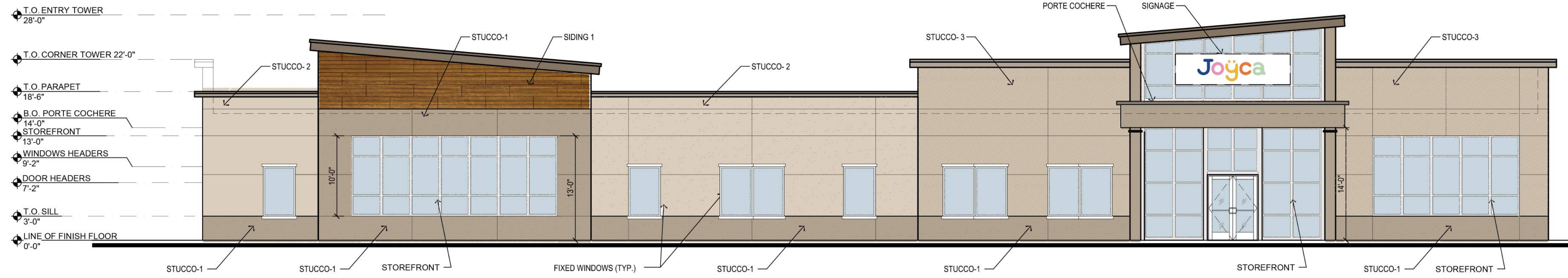
Neighbor feedback and questions were discussed during the meeting, including:

- **Use of White Dahlia Drive and Chandler Road** by **Kelly Park School** parents during **pick-up times** for parking while waiting for their children to arrive.
- **Fencing height** recommendations ranging from **4 to 6 feet** around the facility.

All community input will be taken into consideration as the project continues to progress.

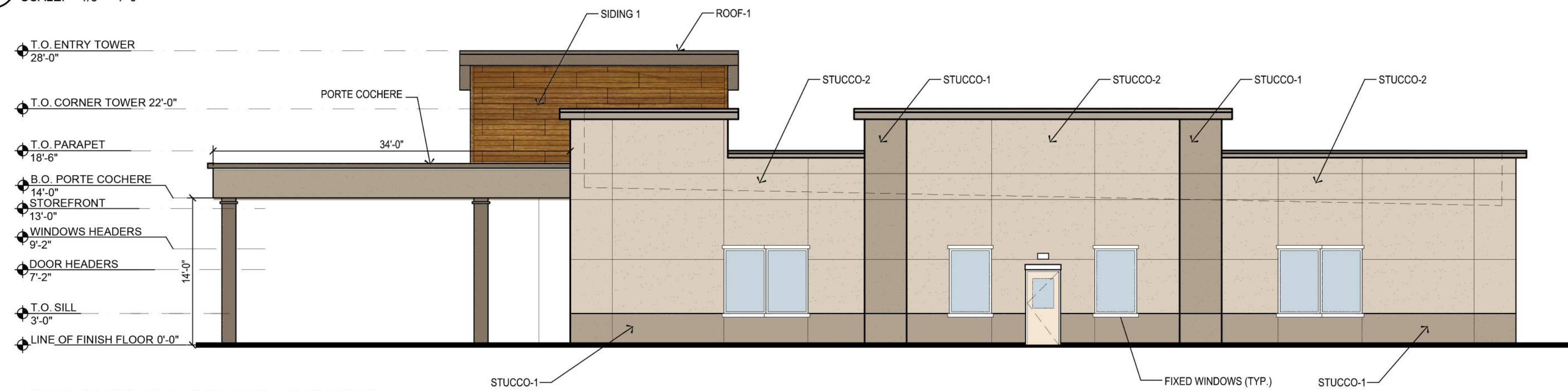


H:\DRAWINGS\JOY CHILD ACADEMY\25-2020 - JOY CHILD ACADEMY APOPKA FL - 4410 CHANDLER RD\SPACE PLANS\JOY25-2020-ELEVATIONS.DWG - FATMA ASADURIAN PLOTTED: 9/12/2025 5:50 PM



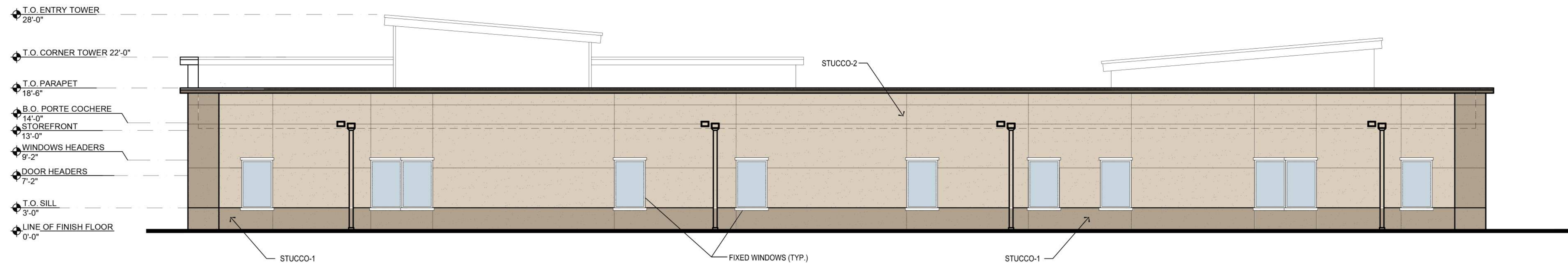
**1 PROPOSED NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



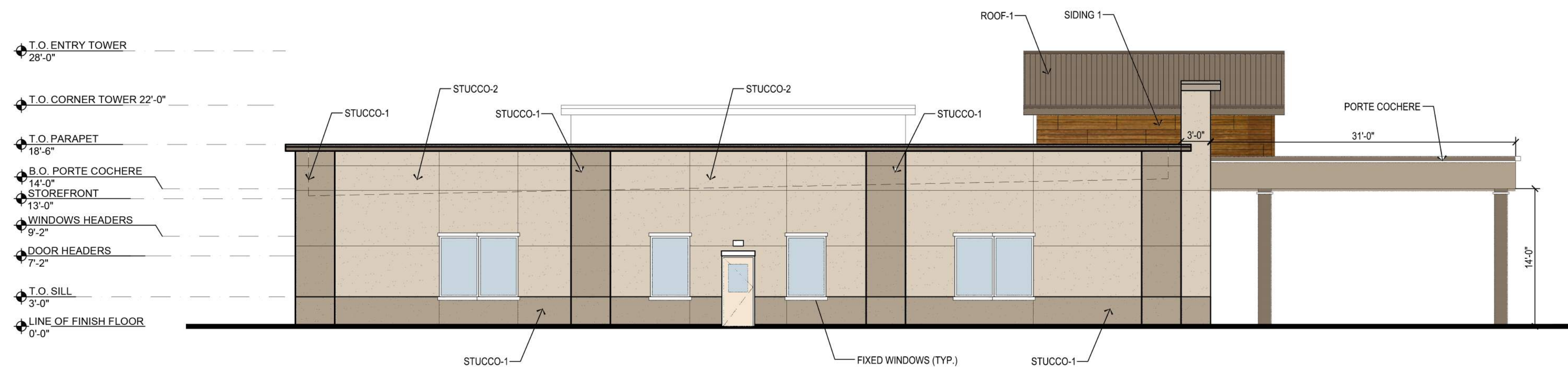
**2 PROPOSED EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**3 PROPOSED SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**4 PROPOSED WEST ELEVATION**

SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STOREFRONT	KAWNEER	TRIFAB 451T / 350	ANODIZED ALUMINUM
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED, BEIGE
FIXED WINDOW		VINYL FIXED WINDOWS	ANODIZED ALUMINUM
SANDSTONE WALL PANELS			
SIDING-1	NICHIHA	17 7/8 H X 71 9/16, STAGGERED	TBD
SILL-1	MODERN PRECAST	3 3/4 H X 3 1/2 W W/2" FLAT W/2" DRIP EDGE	TBD
STUCCO-1	DRYVIT		SW 7038 Tony Taupe
STUCCO-2	DRYVIT		SW 7517 Rivers edge
STUCCO-3	DRYVIT		SW 7524 Dhurrie Beige
ROOF-1	TBD	METAL ROOF	TBD



**Jarmel Kizel**

ARCHITECTS AND ENGINEERS INC.  
42 OKNER PARKWAY  
LIVINGSTON, NEW JERSEY 07039  
TEL: 973-994-9669  
FAX: 973-994-4069

www.jarmelkizel.com

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Interior Design  
Implementation Services

NJ State Board Of Architects Authorization No. 21AC00016100  
NJ State Board Of Engineers & Land Surveyors Authorization No. 245428503000

**ISSUE**

NO.	DATE	DESCRIPTION	INT.

**REVISION**

NO.	DATE	DESCRIPTION	INT.

**PRINCIPALS**

- MATTHEW B. JARMEL, AIA, MBA
- RICHARD A. JARMEL, PE
- IRWIN H. KIZEL, AIA, PP
- ARCHITECTS & ENGINEERS**
- BEATRIZ BARRERES, RA
- JEREMY D. BOYER, AIA
- ANDRZEJ B. BRZDZOWSKI, PE
- RUIXIN CHEN, PE
- SHANNON CROWNOVER, PE
- THOMAS D'AMBROSA, PE
- ANDRZEJ E. OBI, PE
- ANTHONY FACCHINO, PE, PLS, PP
- GERARD P. GERARD, PE
- JONATHAN KRYBKA, AIA
- KAROLINA PODKONOWICZ, AIA
- RENATA MALDONADO REZENDE, AIA, LEED AP
- CHERYL SCHWIEKER, AIA
- STEVEN J. VAZ, PE

Project:  
**JOY CHILD ACADEMY**  
4410 CHANDLER ROAD  
APOPKA, FL

Project Number: JOY25-2020      Scale: AS NOTED  
Drawn By: FA      Approved By: CS

Drawing Name:  
**PROPOSED ELEVATIONS**

Drawing Number:  
**SA-1.2**

Initial Date:

ARCHITECT OF RECORD

MATTHEW B. JARMEL, AIA, MBA  
NJ LIC. 21A012787

# CITY OF APOPKA PUBLIC HEARING NOTICE CHANGE OF FUTURE LAND USE AND CHANGE OF ZONING

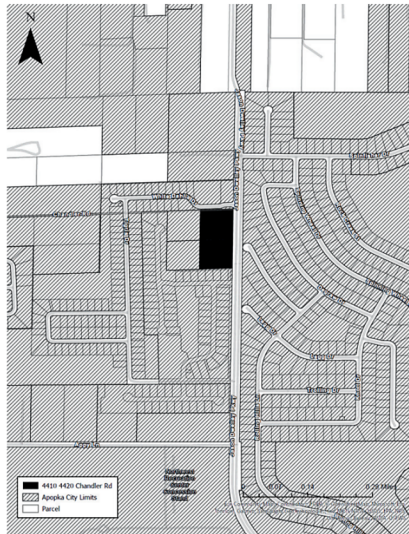
NOTICE is hereby given that **Camila Neira** has made application relating to the properties located at 4410 Chandler Road and 4420 Chandler Road, Apopka, Florida 32703 shown below for a change of future land use and a change of zoning and requested that the City of Apopka adopt the following ordinances:

## ORDINANCE NO. 3158

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE FUTURE LAND USE FROM RESIDENTIAL VERY LOW SUBURBAN TO OFFICE, FOR CERTAIN REAL PROPERTIES LOCATED AT 4410 CHANDLER ROAD AND 4420 CHANDLER ROAD; OWNED BY CHANDLER RICHARD, COMPRISING 5.12 ACRES, MORE OR LESS; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

## ORDINANCE NO. 3159

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM RSF-1A (RESIDENTIAL SINGLE-FAMILY ESTATE) TO O (OFFICE), FOR CERTAIN REAL PROPERTIES LOCATED AT 4410 CHANDLER ROAD AND 4420 CHANDLER ROAD; OWNED BY CHANDLER RICHARD, COMPRISING 5.12 ACRES, MORE OR LESS; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**



Parcel Identification Number(s): 18-20-28-0000-00-030 and 18-20-28-0000-00-063  
Contains: 5.12 +/- Acres

Notice is given that the **City of Apopka Planning Commission** will hold public hearings for **Ordinance Number 3158 and 3159** at its regularly scheduled meeting in the City Commission Chambers of the Apopka City Hall, 120 E. Main Street, Apopka, Florida on **Tuesday, June 9, 2026 beginning at 5:30 P.M.**, or as soon thereafter as possible.

FURTHER NOTICE is given that public hearings for **Ordinance Number 3158 and 3159** will be held by the **City of Apopka City Commission** at its regularly scheduled meeting in the City Commission Chambers of the Apopka City Hall, 120 E. Main Street, Apopka, Florida on **Wednesday, July 1, 2026 beginning at 1:30 P.M., and Wednesday, July 15, 2026 beginning at 7:00 P.M.**, or as soon thereafter as possible.

Interested parties and the public may appear at the above-listed hearings to speak. The proposed ordinances, along with any additional information regarding the application and review process, may be inspected at the Apopka Community Development Department located at Apopka City Hall, 120 E. Main Street, Apopka, Florida 32703, on weekdays between the hours of 8:00 a.m. and 4:30 p.m. Please be advised that, under State law, if you decide to appeal a decision made with respect to this matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made, which record includes the testimony and evidence upon which the appeal is to be based. Written public comments regarding the application for the proposed ordinance may be submitted by mail to the City Clerk's Office at 120 East Main Street, Apopka FL 32703. In accordance with the Americans with Disabilities Act (ADA), persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka FL 32703, Telephone: 407-703-1704, at least 48 hours prior to the proceeding.

**May 29, 2026**

**Apopka City Commission  
Apopka Planning Commission  
Community Development Department**



# City of Apopka CITY COMMISSION STAFF REPORT

**Section:** PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

**Item #:** 2.

**Meeting Date:** July 1, 2026

**Department:** Community Development

**SUBJECT:**

**Ordinance Number 3159 – First Reading - Quasi-Judicial – Change of Zoning – 4410 Chandler Road and 4420 Chandler Road**

**ACTION ITEM INFORMATION:**

Owner(s): Richard Chandler

Applicant: Camila Neira

Parcel Identification Number(s): 18-20-28-0000-00-030, 18-20-28-0000-00-063

Location: 4410 Chandler Road, 4420 Chandler Road

Existing Zoning: RSF-1A (Residential Single-Family-Estate)

Proposed Zoning: O (Office)

Existing Use(s): Residential

Existing Future Land Use: Residential Very Low Suburban

Proposed Future Land Use: Office

Tract Size: 5.12 +/- Acres

Proposed Use: Child care facility

Project Manager: Jun Sohn, Ph.D.

**REQUEST:**

Accept First Reading of Ordinance No. 3159 and hold it over for Second Reading and Adoption.

**SUMMARY:**

Owner(s): Richard Chandler

Applicant: Camila Neira

Parcel Identification Number(s): 18-20-28-0000-00-030, 18-20-28-0000-00-063

Location: 4410 Chandler Road, 4420 Chandler Road

Existing Zoning: RSF-1A (Residential Single-Family-Estate)

Proposed Zoning: O (Office)

Existing Use(s): Residential

Existing Future Land Use: Residential Very Low Suburban

Proposed Future Land Use: Office

Tract Size: 5.12 +/- Acres

Proposed Use: Child care facility

Direction	Future Land Use	Zoning	Present Use
North	Residential Very Low Suburban	PD	Residential
East	Residential Estate	PD	Residential

<b>South</b>	Residential Very Low Suburban	RSF-1B	Residential
<b>West</b>	Residential Very Low Suburban	RSF-1A	Residential

**PROJECT SUMMARY:**

The subject properties, which are approximately 5.12 acres in size, are located at 4410 Chandler Road and 4420 Chandler Road. The current use is residential.

The applicant is requesting rezoning of the properties from RSF-1A (Residential Single-Family-Estate) to O (Office) for 4410 Chandler Road and 4420 Chandler Road for the new development of a child care facility to be consistent with the Comprehensive Plan and Land Development Code.

Per the Apopka Land Development Code, Table 4.2.2.C. Principal Use Table, the child care facility is under the category of Public, Civic, and Institutional Uses, and it is permitted in the Office zoning district with an approved Special Exception from the Planning Commission. Therefore, the requested zoning of Office will be compatible with the proposed use of the child care facility on the subject parcels. The zoning of the Jason Dwelley K-8 school located to the north is Office.

A Special Exception for the Child Care Facility use was approved on July 24, 2025 by the Planning Commission, with the current land use and zoning of Residential Very Low Suburban and RSF-1A. After approval of the Special Exception, the applicant submitted a Site Plan for a maximum student capacity of 275 students, and, per the applicant, this is the number of students that meets Florida Statute requirements.

During the site plan review process, staff indicated to the applicant that Land Development Code (LDC) Section 4.2.3.D.2.b.7,(c) states the maximum number of children to attend the facility shall be limited in residential zoning districts by the number of persons per household, as projected in the Apopka Comprehensive Plan and the maximum number of dwellings per acre permitted in the Future Land Use District in which the proposed site is located. Per the 2030 Comprehensive Plan, Table 2-1 Population projections, the total population in 2030 is projected at 125,538. Per the 2030 Comprehensive Plan, Table 2-19 Population projections, Estimated and Projected Households by Size, the total households in 2030 are projected at 44,193. Therefore, the number of persons per household is approximately 2.84 (125,538 ÷ 44,193).

With the existing Future Land Use designation of Residential Very Low Suburban allowing a maximum density of 2 dwelling units per acre for a property of 5.12 acres, the maximum student capacity is 29 students (2.84 persons per household \* 5.12 acres \* 2 dwelling units per acre = 29.08).

Upon notification of this requirement to the applicant, it was noted that changing the future land use and zoning of the subject properties from residential to Office would remove the maximum student capacity as that is not applicable in the Office future land use and zoning categories, if approved. The K-8 school located to the north of the subject parcels on Jason Dwelley Parkway has a zoning of Office and a future land use designation of Institutional/Public Use as Policy 3.1.p of the future land use element of the Comprehensive Plan only permits public buildings and facilities to have a Institutional/Public Use future land use designation. If the change of future land use and rezoning are approved, the applicant is required to obtain approval for a new Special Exception permit from the Planning Commission within the Office zoning district of the properties. If the change of future land use and zoning to Office is not approved, the maximum student restriction will remain on the property in accordance with LDC Section 4.2.3.D.2.b.7,(c).

After the change of future land use and rezoning, the applicant is required to obtain approval for a new special exception permit within the new zoning district of the properties.

**TABLE 2- 1: POPULATION PROJECTIONS, 2010-2030**

Year	Permanent and Institutional Population	Seasonal Population*	Total Population
2010	41,382**	601	41,983
2015	56,138	815	56,953
2020	73,226	1,063	74,289
2025	97,330	1,413	98,743
2030	123,741	1,797	125,538

\* Seasonal population based on 2000 Census percentage of seasonal units (.0013%)

\*\*2010 estimate calculated based on building permits issued between 4/1/09 and 3/31/10.

Source: U.S. Census 2000; City of Apopka, 2010

**TABLE 2- 19: ESTIMATED AND PROJECTED HOUSEHOLDS BY SIZE, 2000-2030**

Household Size	2000		2010		2015		2020		2025		2030	
	# Units	% of Total	# Units	% of Total	# Units	% of Total	# Units	% of Total	# Units	% of Total	# Units	% of Total
1-2 Persons	5,083	53	7,833	53	10,626	53	13,861	53	18,423	53%	23,422	53
3-4 Persons	3,348	35	5,173	35	7,017	35	9,153	35	12,166	35%	15,468	34
5 or more Persons	1,188	12	1,774	12	2,406	12	3,138	12	4,171	12%	5,303	13
<b>Total Households</b>	<b>9,619</b>	<b>100</b>	<b>14,779</b>	<b>100</b>	<b>20,049</b>	<b>100</b>	<b>26,152</b>	<b>100</b>	<b>34,761</b>	<b>100</b>	<b>44,193</b>	<b>100</b>

Source: Shimberg Center for Affordable Housing, 2006; Land Design Innovations (projections).

Land Development Code Section 2.5.1.D.3 requires the Council to weigh the relevance of and consider whether and the extent to which the proposed amendment:

- a. Is consistent with and furthers the goals, objectives and policies of the comprehensive plan and other adopted City plans;
  - Applicant's response: The proposed Future Land Use amendment supports the goals and objectives of the City's Comprehensive Plan by allowing development that provides a needed community service while maintaining compatibility with surrounding uses. The proposed daycare facility will support local families and promote access to early childhood education. The request also supports orderly growth by allowing an institutional use that is consistent with nearby educational and office uses.
  - Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use has a zoning of Office. Similar uses are found in the surrounding area.
  
- b. Is in conflict with any provisions of the LDC;
  - Applicant's response: The proposed amendment is not in conflict with the City's Land Development Code. Any future development of the site will comply with all applicable requirements of the Land Development Code, including site development standards, buffering, landscaping, parking, access, and stormwater management regulations.
  - Staff response: Staff has no objection. Development plans will be required to be consistent with the Comprehensive Plan and Land Development Code.

c. Addresses a demonstrated community need;

- Applicant's response: The amendment addresses a demonstrated need for childcare services within the community. As the population in the area continues to grow, access to quality daycare and early childhood education facilities becomes increasingly important for working families. The proposed daycare will provide a valuable service to nearby residents and families associated with the neighboring school.
- Staff response: Staff has no objection.

d. Is required by changed conditions;

- Applicant's response: Changed conditions in the surrounding area support the requested amendment. The subject property is located adjacent to an existing school that is already zoned for office or institutional use. Over time, the area has evolved to include educational and community-oriented services. The proposed amendment reflects this transition and allows the property to be used in a manner compatible with surrounding development.
- Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use has a zoning of Office. Similar uses are found in the surrounding area.

e. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;

- Applicant's response: The proposed use is compatible with surrounding development. The property is located next to an existing school and other institutional or office-type uses, making the Office designation appropriate for the site. A daycare facility is a low-intensity use that operates primarily during daytime hours and complements the educational character of the surrounding area.
- Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use has a zoning of Office. Similar uses are found in the surrounding area.

f. Would result in a logical and orderly development pattern;

- Applicant's response: Approving this amendment would create a logical and orderly development pattern by aligning the land use designation with nearby properties that already support institutional and office uses. The proposed daycare facility represents a transitional use that fits well between residential areas and existing educational facilities.
- Staff response: Staff has no objection. Kelly Park School (K-8) is approximately 350 feet north of 4410 and 4420 Chandler Road, which is Institutional use has a zoning of Office. Similar uses are found in the surrounding area.

g. Would not result in significant adverse impacts on the natural environment—including, but not limited to, water, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and

- Applicant's response: The proposed development is not expected to result in significant adverse environmental impacts. The project will comply with all applicable environmental regulations and City development standards related to stormwater management, drainage, landscaping, and environmental protection. As a low-intensity use, a daycare facility is not expected to generate substantial noise, emissions, or environmental disturbance. Operational hours are Monday thru Friday from 6AM to 6:30 PM.
- Staff response: Staff has no objection.

h. Would result in development that is adequately served by public facilities (e.g., streets, potable water, sewerage, stormwater management, solid waste collection and disposal, schools, parks, police, and fire and emergency medical facilities).

- Applicant's response: The property is located in an area that is already served by existing public infrastructure and municipal services. The proposed development will have access to existing streets and will connect to available potable water, sanitary sewer, and stormwater management

systems in accordance with City requirements. The site is also served by existing public services including solid waste collection, police, fire, and emergency medical services, ensuring that the development can be adequately supported by public facilities.

- Staff response: Staff has no objection.

**SCHOOL CAPACITY REPORT:**

Not applicable.

**ORANGE COUNTY NOTIFICATION:**

The JPA (Joint Planning Agreement) requires the City to notify the County 30 days before any public hearing or advisory board. The City notified Orange County on March 12, 2026.

**PUBLIC HEARING SCHEDULE:**

June 9, 2026 – Planning Commission (5:30 P.M.)

July 1, 2026 – City Commission (1:30 P.M.), First Reading

July 15, 2026 – City Commission (6:00 P.M.), Second Reading and Adoption

**DULY ADVERTISED:**

May 29, 2026 – Apopka Chief

May 26, 2026 – Mailed notices to adjacent property owners

April 20, 2026 – Posters placed on property

**FUNDING SOURCE:**

Not applicable.

**RECOMMENDED MOTION:**

**Development Review Committee (DRC):**

On April 1, 2026, the Development Review Committee (DRC) recommended approval of the Change of Zoning from RSF-1A (Residential Single-Family-Estate) to O (Office), finding the proposed change consistent with the Comprehensive Plan and Land Development Code, and compatible with the character of the surrounding areas, based on the findings and facts presented in the staff report and exhibits.

**Planning Commission:**

On June 9, 2026, the Planning Commission unanimously recommended denial of Ordinance No. 3159, the proposed Change of Zoning from RSF-1A (Residential Single-Family-Estate) to O (Office), due to concerns of future office uses not being compatible with the surrounding area in the event the proposed child care facility was not constructed on the property.

**Recommended Motion – City Commission:**

Accept First Reading of Ordinance No. 3159 and hold it over for Second Reading and Adoption.

**Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

**ATTACHMENTS:**

1. Ordinance Number 3159
2. Map Series
3. Community Meeting Summary
4. Concept Site Plan
5. Concept Elevation
6. Advertisement May 29

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**ORDINANCE NO. 3159**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM RSF-1A (RESIDENTIAL SINGLE-FAMILY-ESTATE) TO O (OFFICE) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED AT 4410 CHANDLER ROAD AND 4420 CHANDLER ROAD; OWNED BY RICHARD CHANDLER, COMPRISING 5.12 MORE OR LESS; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

**WHEREAS**, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

**WHEREAS**, Camila Neira has requested a change in zoning on said properties as identified in Section I of this ordinance; and

**WHEREAS**, the proposed O (Office) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

**NOW THEREFORE, BE IT ORDAINED**, by the City Commission of the City of Apopka, Florida, as follows:

**Section I.** That the zoning classification of the property described in Exhibit A, being situated in the City of Apopka, Florida, is hereby O District, as defined in the Apopka Land Development Code, and with the following provision:

**Section II.** That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida. The applicant shall obtain all approvals as required, if any, per the Orange County Charter and the Amended Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency.

**Section III.** That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

**Section IV.** That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

**Section V.** That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section VI.** That this Ordinance shall take effect upon the date of adoption.

**ORDINANCE NO. 3159**

**PAGE 2**

49  
50 ADOPTED at a regular meeting of the City Commission of the City of Apopka, Florida,  
51 this \_\_\_\_ day of \_\_\_\_\_, 2026.

52  
53 READ FIRST TIME: July 1, 2026

54 READ SECOND TIME AND  
ADOPTED: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Susan Bone, City Clerk

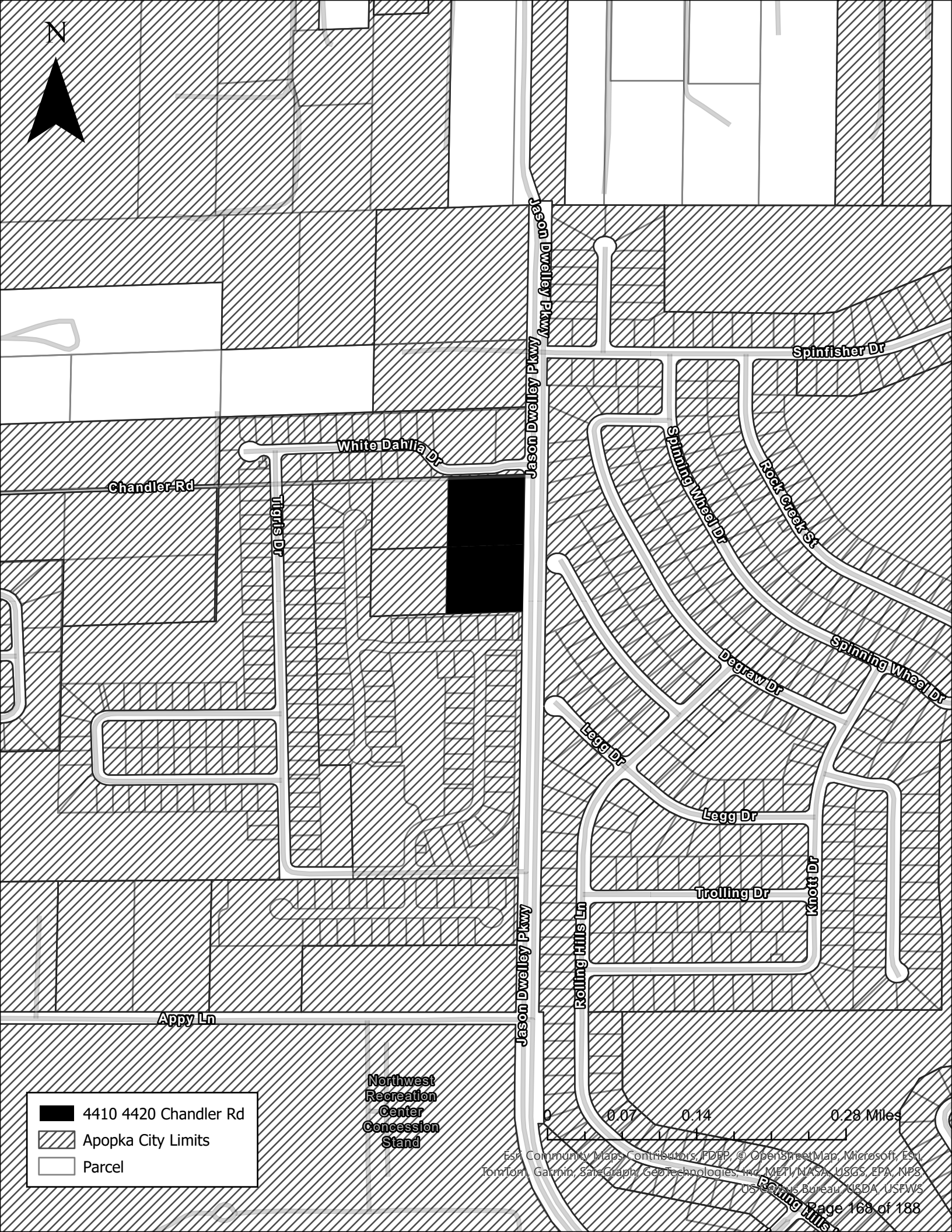
\_\_\_\_\_  
Nicholas L. Nesta III, Mayor




Approved as to form and legal sufficiency:

\_\_\_\_\_  
Cliff Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: May 29, 2026





-  4410 4420 Chandler Rd
-  Apopka City Limits
-  Parcel

Northwest  
Recreation  
Center  
Concession  
Stand

Esri, Community Maps Contributors, FDEP, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SateGraph, GeoTechnologies, Inc, METI, NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS



Chandler Rd

White Dahlia Dr

Tigris Dr

Jason Dweley Pkwy

Spinfisher Dr

Spinning Wheel Dr

Rock Creek St

Spinning Wheel Dr

Degraw Dr

Legg Dr

Legg Dr

Trolling Dr

Knott Dr


Appy Ln


Jason Dweley Pkwy

Rolling Hills Ln


Northwest  
Recreation  
Center  
Concession  
Stand




 4410 4420 Chandler Rd





















 Parcel



 4410 4420 Chandler Rd

 Parcel

### Apopka Future Land Use

-  AG
-  AG-E
-  AG-HOME
-  COMM
-  CONSV
-  FLU-IP
-  HDR-25
-  IND
-  INST\_PU
-  MU
-  OFF
-  PR
-  RE
-  RH
-  RL
-  RLS
-  RM
-  RML
-  RS
-  RVLS

**Northwest  
Recreation  
Center  
Concession  
Stand**



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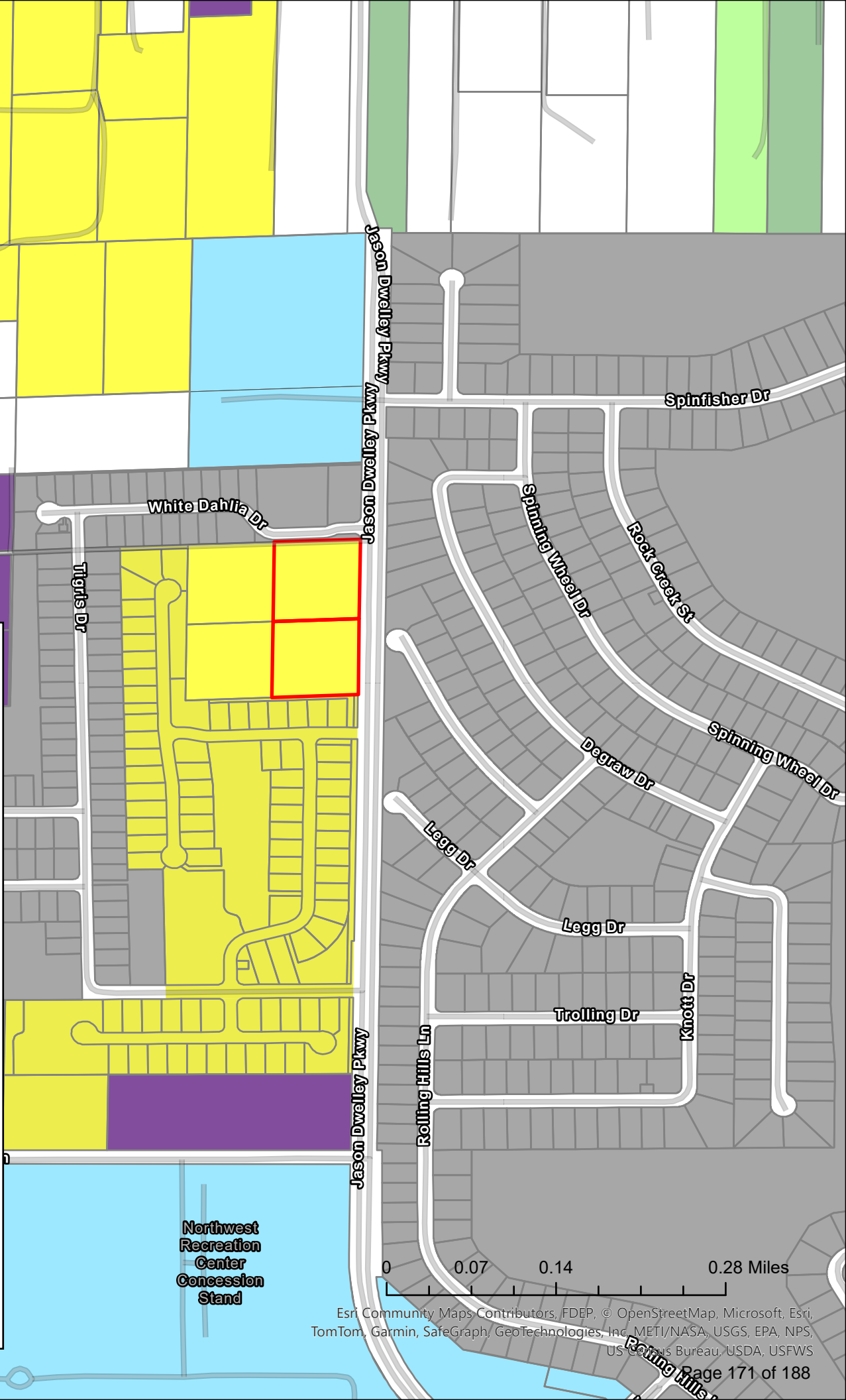


**4410 4420 Chandler Rd**

Parcel

**Apopka Zoning**

- AG
- AIR
- C-C
- C-COR
- C-N
- C-R
- I-H
- I-L
- INST
- MHP
- MU-D
- MU-ES-GT
- MU-INT
- MU-MED
- MU-N
- MU-T
- MU-VC
- O
- PD
- PR
- RCE
- RMF
- RSF-1A
- RSF-1B
- RTF
- T



COMMUNITY MEETING NOTIFICATION LETTER

Subject: Rezoning of 4410 & 4420 Chandler Rd , Apopka, FL, 32712

Dear Property Owner,

Apopka Child Academy LLC would like to invite you to attend a Community Awareness and Participation (CAP) Meeting to discuss the proposed development. The proposed rezoning is located at 4410 & 4420 Chandler Rd , Apopka, FL, 32712. The meeting will be held in person on the following date and Time:

**September 18th, 2025 at 6:30pm - 7:30pm**  
**Join us at Kelly Park School**  
**4700 Jason Dwelley Pkwy, Apopka, FL, 32712**  
**Library- Room # 125**

A daycare center will be constructed as part of this development.

I would like to address any comments or concerns you may have regarding this project. If you are unable to attend the meeting , please feel free to email your comments to [apopkachild@gmail.com](mailto:apopkachild@gmail.com) or mail to our office at 170 e magnolia st, Apopka, fl, 32703.

Please call me at 407-848-9294 or email at [apopkachild@gmail.com](mailto:apopkachild@gmail.com) if you have any questions regarding the development prior to the meeting.

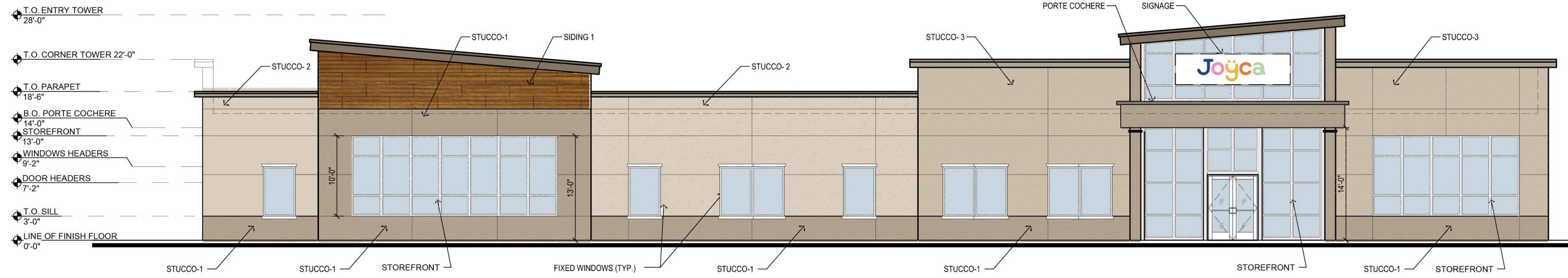
I look forward to hearing from you or meeting you to discuss this development.

Sincerely,

Camila Neira

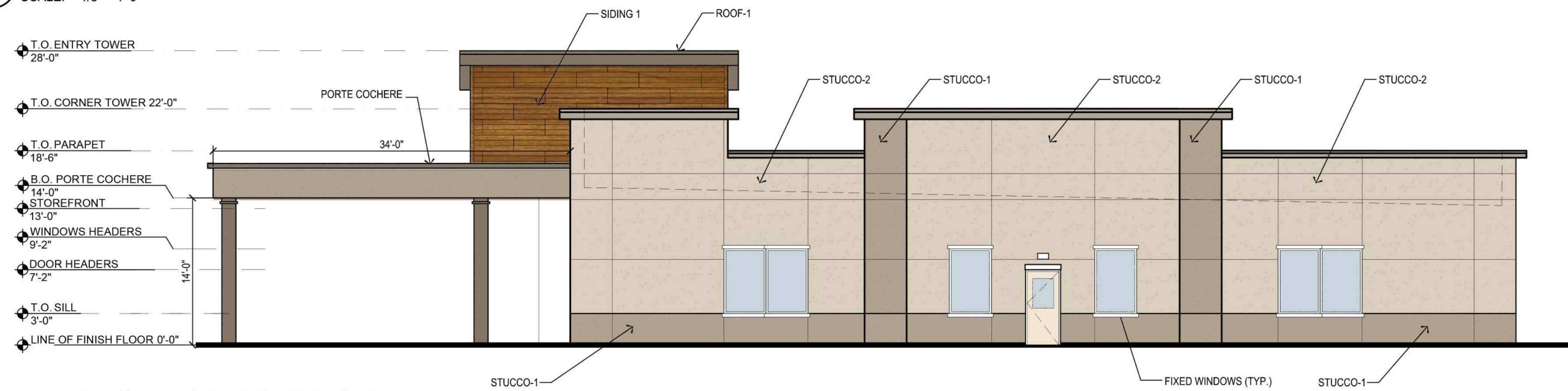


H:\DRAWINGS\JOY CHILD ACADEMY\25-2020 - JOY CHILD ACADEMY APOPKA FL - 4410 CHANDLER RD\SPACE PLANS\JOY25-2020-ELEVATIONS.DWG - FATMA ASADURIAN PLOTTED: 9/12/2025 5:50 PM



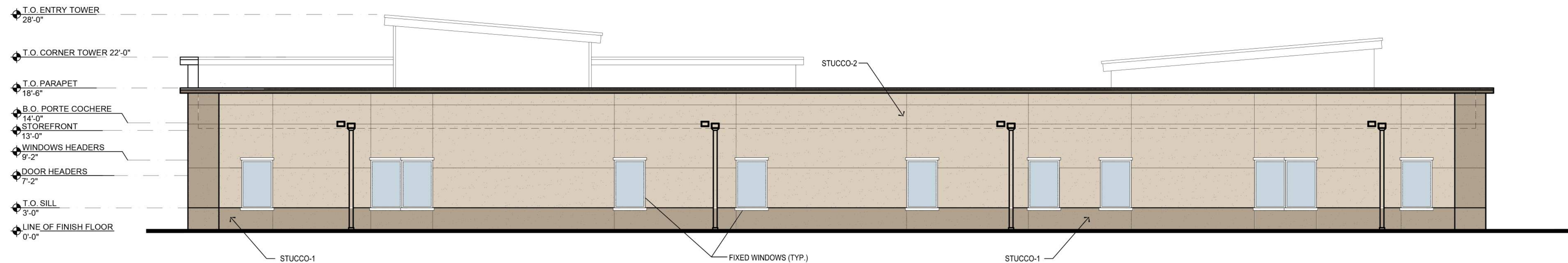
**1 PROPOSED NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



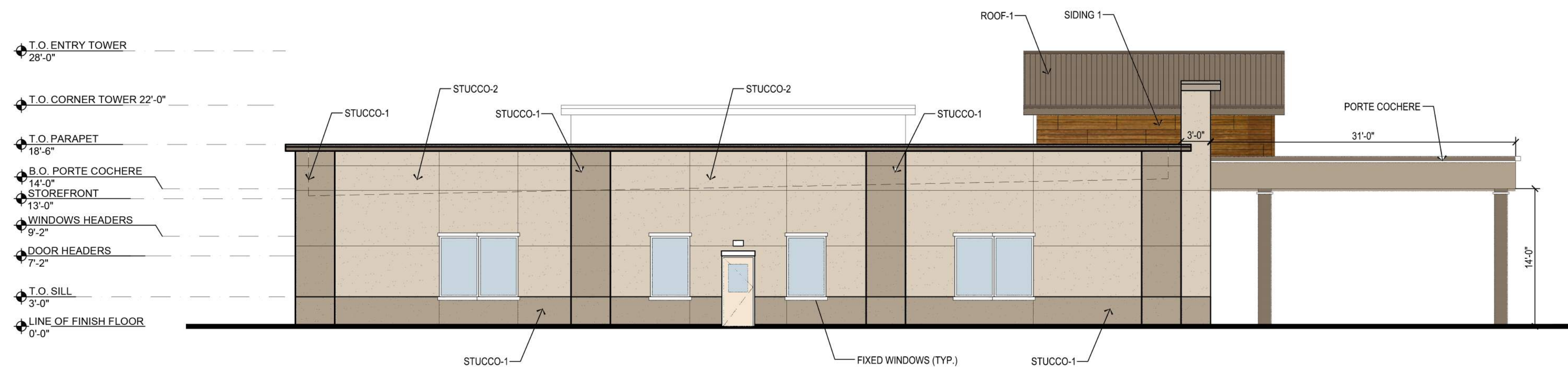
**2 PROPOSED EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**3 PROPOSED SOUTH ELEVATION**

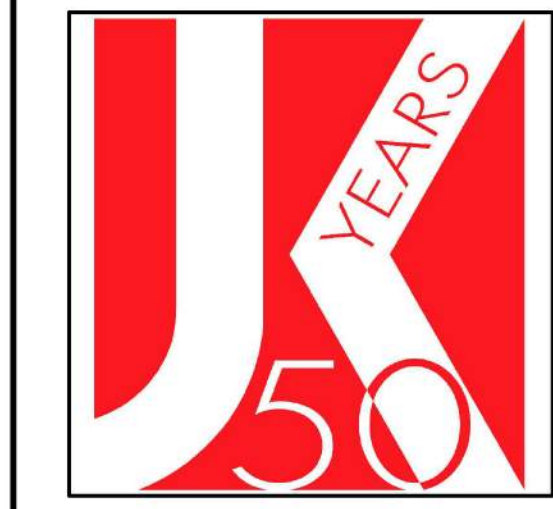
SCALE: 1/8" = 1'-0"



**4 PROPOSED WEST ELEVATION**

SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STOREFRONT	KAWNEER	TRIFAB 451T / 350	ANODIZED ALUMINUM
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED, BEIGE
FIXED WINDOW		VINYL FIXED WINDOWS	ANODIZED ALUMINUM
SANDSTONE WALL PANELS			
SIDING-1	NICHIHA	17 7/8 H X 71 9/16, STAGGERED	TBD
SILL-1	MODERN PRECAST	3 3/4 H X 3 1/2 W W/2" FLAT W/2" DRIP EDGE	TBD
STUCCO-1	DRYVIT		SW 7038 Tony Taupe
STUCCO-2	DRYVIT		SW 7517 Rivers edge
STUCCO-3	DRYVIT		SW 7524 Dhurrie Beige
ROOF-1	TBD	METAL ROOF	TBD



**Jarmel Kizel**  
 ARCHITECTS AND ENGINEERS INC.  
 42 OKNER PARKWAY  
 LIVINGSTON, NEW JERSEY 07039  
 TEL: 973-994-9669  
 FAX: 973-994-4069  
 www.jarmelkizel.com  
 Architecture  
 Engineering  
 Interior Design  
 Implementation Services

NY State Board Of Architects Authorization No. 21AC00016100  
 NJ State Board Of Engineers & Land Surveyors Authorization No. 24542853000

**ISSUE**

NO.	DATE	DESCRIPTION	INT.

**REVISION**

NO.	DATE	DESCRIPTION	INT.

**PRINCIPALS**  
 MATTHEW B. JARMEL, AIA, MBA  
 RICHARD A. JARMEL, PE  
 IRWIN H. KIZEL, AIA, PP  
**ARCHITECTS & ENGINEERS**  
 BEATRIZ BARRERES, RA  
 JEREMY D. BOYER, AIA  
 ANDRZEJ B. BRZDZOWSKI, PE  
 RUIXIN CHEN, PE  
 SHANNON CROWNOVER, PE  
 THOMAS D'AMBROSE, PE  
 ANDRZEJ E. OBI, PE  
 ANTHONY FACCHINO, PE, PLS, PP  
 GERARD P. GERARD, PE  
 JONATHAN KRYBKA, AIA  
 KAROLINA PODKONOWICZ, AIA  
 RENATA MALDONADO REZENDE, AIA, LEED AP  
 CHERYL SCHWIEKER, AIA  
 STEVEN J. VAZ, PE

Project:  
**JOY CHILD ACADEMY**  
 4410 CHANDLER ROAD  
 APOPKA, FL

Project Number: JOY25-2020  
 Scale: AS NOTED  
 Drawn By: FA  
 Approved By: CS

Drawing Name:  
**PROPOSED ELEVATIONS**

Drawing Number:  
**SA-1.2**

Initial Date:

ARCHITECT OF RECORD  
 MATTHEW B. JARMEL, AIA, MBA  
 NJ LIC. 21A012787

# CITY OF APOPKA PUBLIC HEARING NOTICE CHANGE OF FUTURE LAND USE AND CHANGE OF ZONING

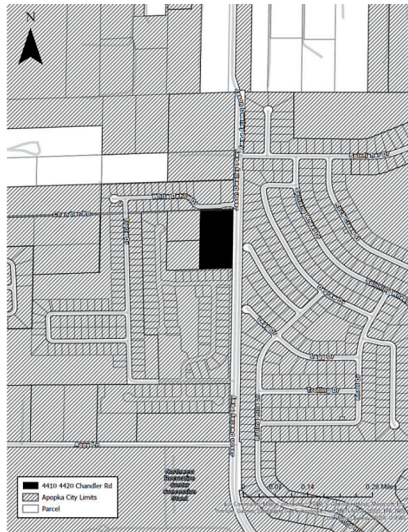
NOTICE is hereby given that **Camila Neira** has made application relating to the properties located at 4410 Chandler Road and 4420 Chandler Road, Apopka, Florida 32703 shown below for a change of future land use and a change of zoning and requested that the City of Apopka adopt the following ordinances:

## ORDINANCE NO. 3158

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE FUTURE LAND USE FROM RESIDENTIAL VERY LOW SUBURBAN TO OFFICE, FOR CERTAIN REAL PROPERTIES LOCATED AT 4410 CHANDLER ROAD AND 4420 CHANDLER ROAD; OWNED BY CHANDLER RICHARD, COMPRISING 5.12 ACRES, MORE OR LESS; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

## ORDINANCE NO. 3159

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM RSF-1A (RESIDENTIAL SINGLE-FAMILY ESTATE) TO O (OFFICE), FOR CERTAIN REAL PROPERTIES LOCATED AT 4410 CHANDLER ROAD AND 4420 CHANDLER ROAD; OWNED BY CHANDLER RICHARD, COMPRISING 5.12 ACRES, MORE OR LESS; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**



Parcel Identification Number(s): 18-20-28-0000-00-030 and 18-20-28-0000-00-063  
Contains: 5.12 +/- Acres

Notice is given that the **City of Apopka Planning Commission** will hold public hearings for **Ordinance Number 3158 and 3159** at its regularly scheduled meeting in the City Commission Chambers of the Apopka City Hall, 120 E. Main Street, Apopka, Florida on **Tuesday, June 9, 2026 beginning at 5:30 P.M.**, or as soon thereafter as possible.

FURTHER NOTICE is given that public hearings for **Ordinance Number 3158 and 3159** will be held by the **City of Apopka City Commission** at its regularly scheduled meeting in the City Commission Chambers of the Apopka City Hall, 120 E. Main Street, Apopka, Florida on **Wednesday, July 1, 2026 beginning at 1:30 P.M., and Wednesday, July 15, 2026 beginning at 7:00 P.M.**, or as soon thereafter as possible.

Interested parties and the public may appear at the above-listed hearings to speak. The proposed ordinances, along with any additional information regarding the application and review process, may be inspected at the Apopka Community Development Department located at Apopka City Hall, 120 E. Main Street, Apopka, Florida 32703, on weekdays between the hours of 8:00 a.m. and 4:30 p.m. Please be advised that, under State law, if you decide to appeal a decision made with respect to this matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made, which record includes the testimony and evidence upon which the appeal is to be based. Written public comments regarding the application for the proposed ordinance may be submitted by mail to the City Clerk's Office at 120 East Main Street, Apopka FL 32703. In accordance with the Americans with Disabilities Act (ADA), persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka FL 32703, Telephone: 407-703-1704, at least 48 hours prior to the proceeding.

**May 29, 2026**

**Apopka City Commission  
Apopka Planning Commission  
Community Development Department**

Page 1 of 188



# City of Apopka CITY COMMISSION STAFF REPORT

**Section:** PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

**Item #:** 3.

**Meeting Date:** July 1, 2026

**Department:** Community Development

**SUBJECT:**

**Ordinance No. 3165 – First Reading – Annexation – Bateman Properties**

**ACTION ITEM INFORMATION:**

Owner(s): LMB Capital, LLC

Applicant(s): Denny Shiver

Parcel Identification Number(s): 07-20-28-0000-00-029, 07-20-28-0000-00-049, and 07-20-28-0000-00-063

Location: 2850 and 2864 Dowman Drive

Future Land Use: County Rural

Zoning: County A-1 (Citrus Rural)

Existing Use: Vacant

Tract Size: 4.85 +/- acre(s)

Project Manager: Jean Sanchez

**REQUEST:**

Accept the first reading of Ordinance Number 3165 and hold it over for second reading and adoption.

**SUMMARY:**

**ZONING REPORT:**

Direction	Future Land Use	Zoning	Present Use
North	County Rural	County A-1 (Citrus Rural)	Single-family residence
East	County Rural	County A-1 (Citrus Rural)	Single-family residence
South	Mixed-Use	KPI-MU (Kelly Park Interchange - Mixed-Use)	Agricultural facility and single-family residence
West	Mixed-Use	KPI-MU (Kelly Park Interchange - Mixed-Use)	Windrose Residential Subdivision

**SUMMARY:**

The subject properties are located within the Kelly Park Interchange Form-Based Code (KPI-FBC) Area. The applicant has also submitted a companion Future Land Use Map amendment application requesting to change the Future Land Use designation from Orange County Rural to City Mixed-Use. If approved, the City Mixed-Use designation would allow the property to be evaluated under the City’s Comprehensive Plan and applicable land development standards for the Kelly Park Interchange - Form-Based Code (KPI-FBC) area. Future zoning and development approvals will be required prior to development of the property.

The properties are located within the Transition Overlay District of the KPI-FBC regulating plan. The Transition character zone is intended to provide a buffer between the higher-density and higher-intensity Village Center zone

and lower-density and lower-intensity areas outside the form-based code area. The zone is intended to maintain pedestrian function and scale and is generally characterized by single-use or multi-use office buildings, medium-density residential buildings, and urban single-family homes. Table 2 of the KPI-FBC identifies the uses allowed in the Transition Overlay District to include multifamily dwellings, single-family dwellings, duplexes, office, medical and professional uses, financial institutions, laboratories and clinics, outpatient care facilities, restaurants, child care facilities, parks and private recreational facilities, indoor recreation, assisted living facilities, live-work units, nursing homes, bed and breakfast uses, animal boarding with soundproof kennels, and certain civic, cultural, institutional, and utility-related uses. Other uses may be allowed by special exception, as identified in Table 2.

If annexed, future land use and zoning decisions for the property would be processed through the City's adopted Comprehensive Plan and Land Development Code. The annexation itself does not approve a specific development plan or authorize development of the property. The applicant has indicated that there is no current development agreement or specific proposed use lined up for the subject properties at this time. The properties are being marketed for future development, which would be subject to applicable City review and approval processes.

The subject property is contiguous to the City limits and is eligible for annexation pursuant to Florida Statute 171.044, which provides the following general requirements:

- Property must be in an unincorporated area of the county.
- The property must be contiguous to the municipality.
- The area must be reasonably compact.
- All property owners in the proposed annexation area must sign the petition.
- The municipality may adopt a nonemergency ordinance approving the annexation after required public notice.

Florida Statute 171.044 does not require a municipality to annex property. Furthermore, the Joint Planning Area (JPA) Agreement between the City of Apopka and Orange County does not require the City of Apopka City Commission to annex property into the City. If the City Commission opts to annex the subject parcel, the annexation ordinance becomes effective immediately upon adoption, and it is based on the existing County Future Land Use and Zoning Designations. The assignment of City Future Land Use and Zoning designations will occur at a later date and through actions by the City Commission.

As shown on the Vicinity Map, the subject properties are located near existing City limits to the west and south, as well as, within the Kelly Park Interchange Form-Based Code Area. The annexation itself does not approve a specific development plan or authorize development of the property. Future land use, zoning, and development approvals will be required before development may proceed.

**ORANGE COUNTY NOTIFICATION:**

The Joint Planning Agreement (JPA) requires the City to notify the County 30 days before any public hearing or advisory board. The City notified Orange County on June 1, 2026.

**PUBLIC HEARING SCHEDULE:**

July 1, 2026 (1:30 P.M.– City Council, First Reading

July 15, 2026 (7:00 P.M.)– City Council, Second Reading and Adoption

**DULY ADVERTISED:**

June 19, 2026 – Apopka Chief

June 26, 2026 – Apopka Chief

**FUNDING SOURCE:**

N/A

**RECOMMENDED MOTION:**

**Development Review Committee:**

At its meeting on February 18, 2026, the Development Review Committee reviewed the proposed annexation and found that the request is consistent with the requirements of Florida Statute 171.044.

**Requested Action — City Commission:**

Accept the first reading of Ordinance Number 3165 and hold it over for second reading and adoption on July 15, 2026.

**ATTACHMENTS:**

- 1. Ordinance No. 3165
- 2. Bateman Properties - Map Series
- 3. Bateman Properties - Survey
- 4. Advertisement June 19



**ORDINANCE NO. 3165**

**PAGE 2**

46 Being compact and contiguous to the City of Apopka, and being situated in Orange County,  
47 Florida, totaling 4.85 +/- acres (Graphically depicted by the attached Exhibit A), is hereby annexed  
48 into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Section  
49 171.044, Florida Statutes.

50  
51 **SECTION II:** That the corporate territorial limits of the City of Apopka, Florida, are  
52 hereby redefined to include said land herein described and annexed.

53  
54 **SECTION III:** That the City Commission will designate the land use classification and  
55 zoning category of these annexed lands in accordance with applicable City ordinances and State  
56 laws.

57  
58 **SECTION IV:** That the land herein described and future inhabitants of the land herein  
59 described shall be liable for all debts and obligations to all species of taxation, laws, ordinances  
60 and regulations of the City.

61  
62 **SECTION V:** That if any section or portion of a section or subsection of this Ordinance  
63 proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the  
64 validity, force, or effect of any other section or portion of a section or subsection or part of this  
65 ordinance.

66  
67 **SECTION VI:** That all ordinances or parts of ordinances in conflict herewith are hereby  
68 repealed.

69  
70 **SECTION VII:** That this ordinance shall take effect upon passage and adoption, thereafter  
71 the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and  
72 for Orange County, Florida; and the Orange County Property Appraiser.

73  
74 READ FIRST TIME: July 1, 2026

75  
76 READ SECOND TIME AND  
77 ADOPTED: \_\_\_\_\_

78  
79  
80 ATTEST:

81 \_\_\_\_\_  
82 Susan Bone, City Clerk

81 \_\_\_\_\_  
82 Nicholas L. Nesta, III, Mayor

83  
84  
85  
86 Approved as to form and legal sufficiency:

87 \_\_\_\_\_  
88 Clifford B. Shepard, City Attorney

89  
90  
91 DULY ADVERTISED FOR PUBLIC HEARING: June 19, 2026 and June 26, 2026

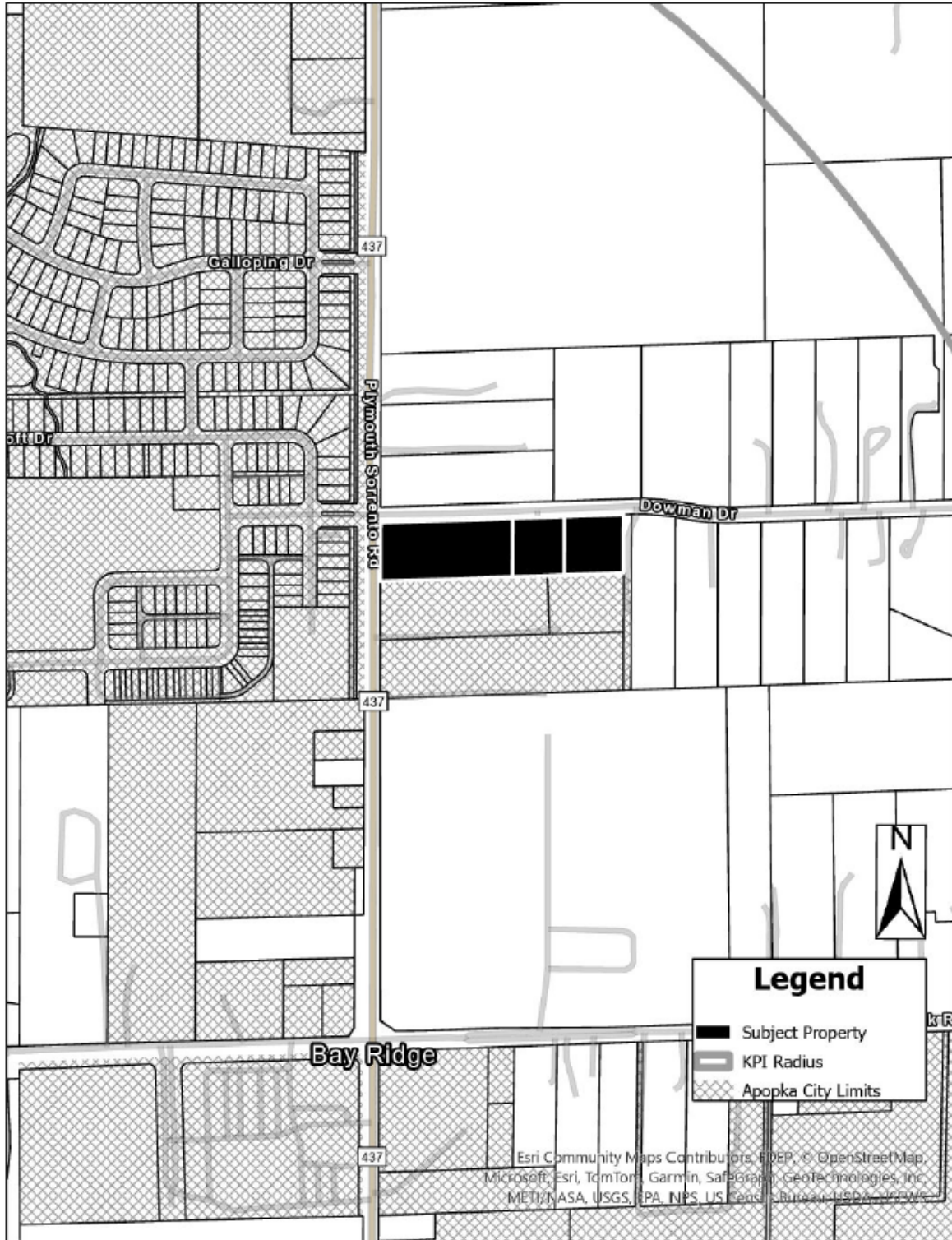
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EXHIBIT "A"

93

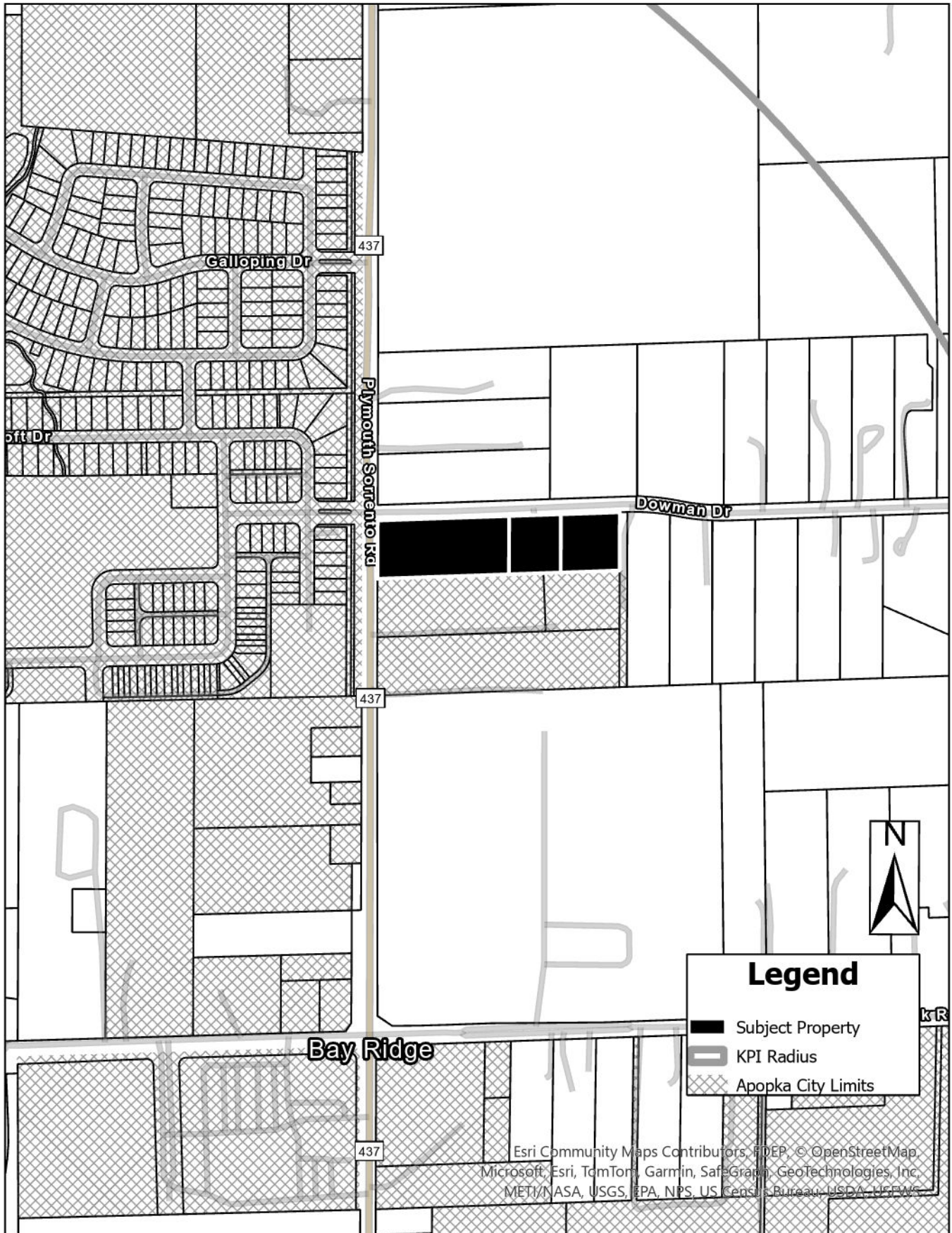
PARCEL IDENTIFICATION NUMBER(S): 07-20-28-0000-00-029, 07-20-28-0000-00-049, and 07-20-28-0000-00-063

94



95

# Vicinity



# KPI-FBC Regulating Plan



Note: City boundaries not depicted in this graphics as they change overtime.

## Legend:

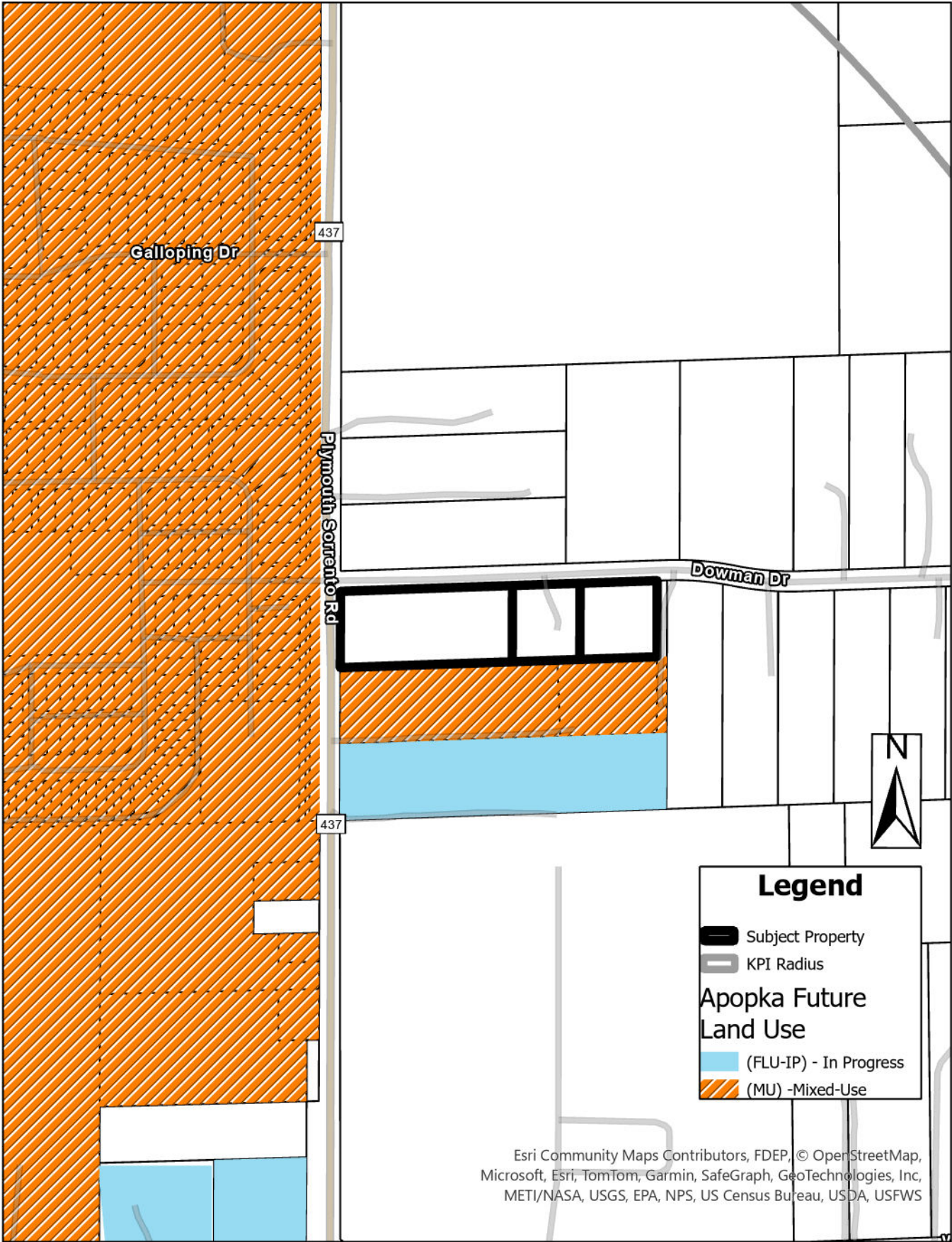
### Design Districts

- Village Center
- Employment
- Interchange
- Transition
- Neighborhood
- Recreation

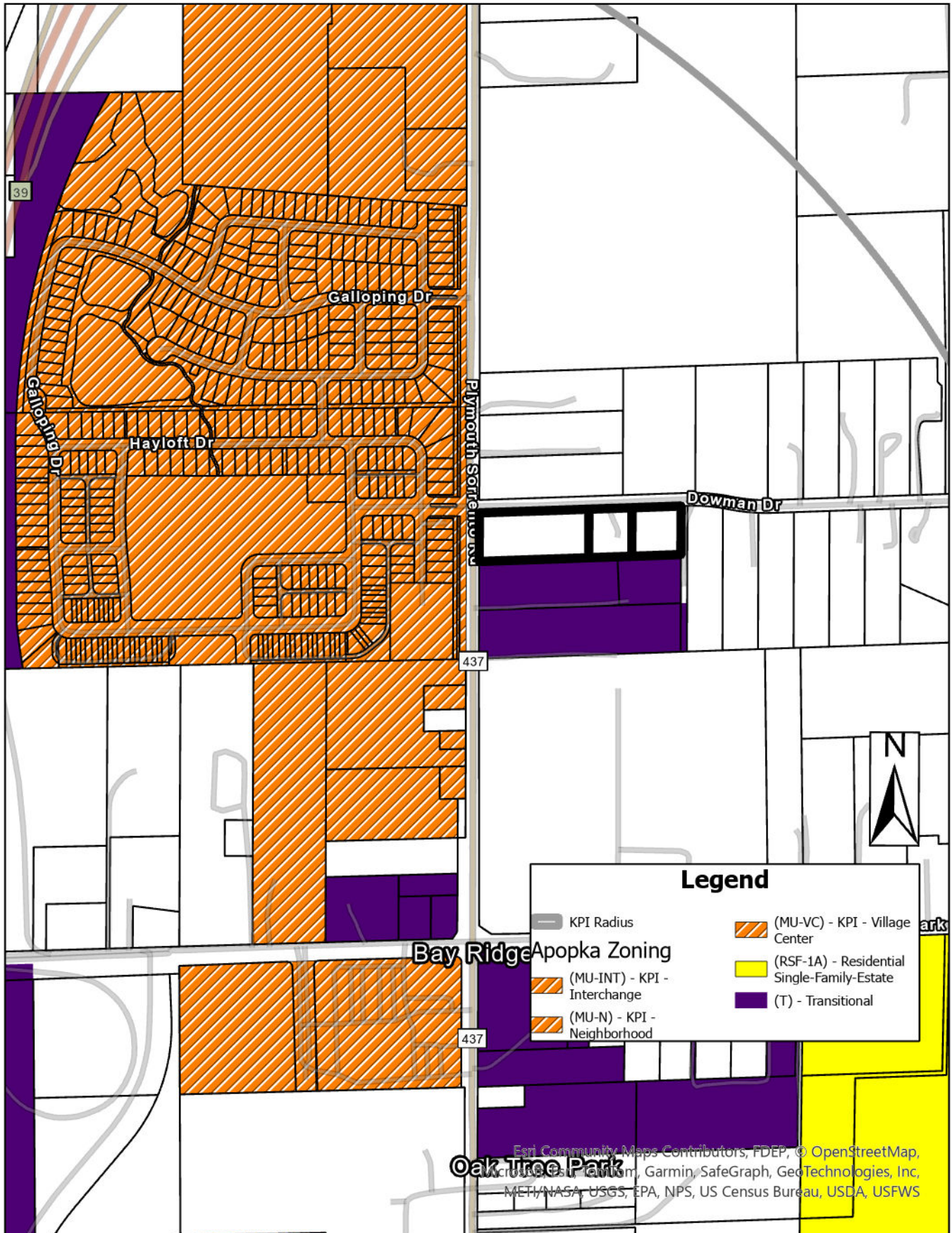
- Existing Roads
- 1 Mile Radius
- ✱ Interchange
- ✱ Activity Nodes

Rainbow Ridge Rural Settlement

# Future Land Use



# Zoning



# Aerial



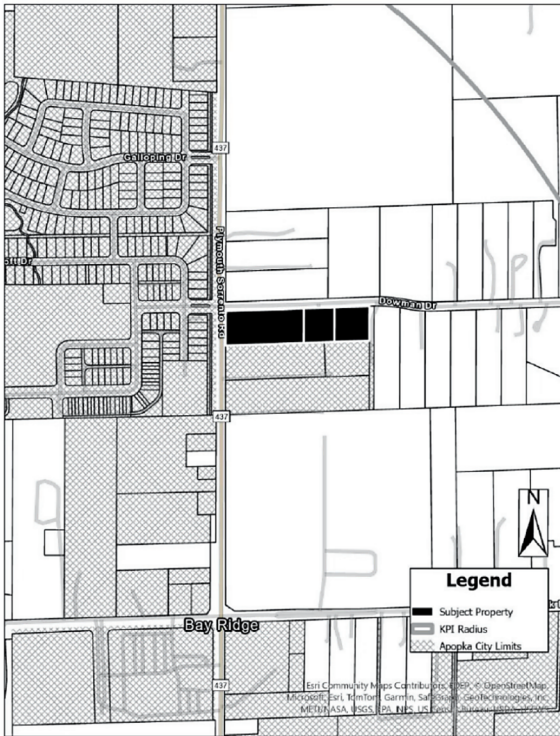


# PUBLIC HEARING NOTICE ANNEXATION CITY OF APOPKA

NOTICE is hereby given pursuant to Florida Statutes Section 171.044, the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.5.1.A, that **DENNY SHIVER** has made an application to the City of Apopka City Commission for an **ANNEXATION** of a property located at 2850 and 2864 Dowman Drive, generally located east of Plymouth Sorrento Road and south of Dowman Drive. This application relates to the following described property:

## ORDINANCE NO. 3165

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY LMB CAPITAL, LLC; LOCATED ON THE SOUTHEAST CORNER OF PLYMOUTH SORRENTO ROAD AND DOWMAN DRIVE; COMPRISING 4.85 ACRES, MORE OR LESS; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**



Parcel Identification Number(s): 07-20-28-0000-00-029,  
07-20-28-0000-00-049, and 07-20-28-0000-00-063  
Contains: 4.85 +/- acres

NOTICE is given that public hearings for Ordinance No. 3165 will be held by the **City of Apopka City Commission** at its regularly scheduled meetings in the City Commission Chambers of the Apopka City Hall, 120 E. Main Street, Apopka, Florida on **Wednesday, July 1, 2026 beginning at 1:30 P.M** and **Wednesday, July 15, 2026 beginning at 6:00 P.M.** or as soon thereafter as possible.

Affected parties and the public may appear at the above listed hearings to speak. The proposed Annexation can be inspected at the Apopka Community Development Department located at Apopka City Hall on weekdays between the hours of 8:00 A.M. and 4:30 P.M. City Hall address shown below. Please be advised that, under State law, if you decide to appeal a decision made with respect to this matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made, which record includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act (ADA), persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka FL 32703, Telephone: 407-703-1704, no less than 48 hours prior to the proceeding.